

**THE SCHOOL DISTRICT OF PHILADELPHIA
SCHOOL REFORM COMMISSION
CAPITAL PROGRAMS
440 N. Broad Street, Philadelphia, PA 19130
Phone: (215) 400-5192 Fax: (215) 400-4732**

ADDENDUM NO. 1

**Subject: Roof Replacement
SDP Contract No.: B-057C OF 2016/17**

**Location: William F. Harrity Elementary School
5601 Christian Street
Philadelphia, PA 19143**

This Addendum No. 1 dated January 24, 2018 shall modify and become part of the proposed Contract Documents of the Work of this project. Any items not mentioned herein, or affected by, shall be performed strictly in accordance with the original Contract Documents. This Addendum contains (3) pages, plus (1) attachment totaling (1) page, for a total of (4) pages.

The following items, clarifications and/or revisions are to be included in the Contract Documents.

1. BIDS

- A. A copy of the pre-bid meeting sign-in sheet is attached.
- B. All demolition of the existing roof assembly and installation of the “new torch-applied modified bitumen construction membrane base ply” assembly (vapor retarder) must be completed by August 20, 2018.

2. DRAWINGS

- A. Modify Roof Drain details # 3/R-3, 4/R-3 & 5/R-3 to reflect the specified under-deck clamping ring assembly.
- B. Modify the “Proposed Conditions” chart on drawing R-1 to change the “1-Ply SBS Mod. Bit. Base Ply” under the “Membrane” heading to be a “2-Ply SBS Mod. Bit. Base Ply”.
- C. Modify the “Typical Roof Assembly Detail” #1/R-3 to change the note and referenced graphic representation of the “New torch applied smooth surfaced SBS modified bitumen ply sheet.” to be “New 2-Ply torch applied smooth surfaced SBS modified bitumen ply sheets.” The new roof membrane assembly is to consist of a 3-ply SBS Modified Bitumen membrane assembly with 2 smooth surfaced SBS base plies and a mineral granular surfaced SBS cap ply at all field membranes in all roof details and references. (SBS membrane base flashings are to remain 2-ply assemblies as noted at section #2/R-3.)
- D. Modify roof detail #1/R-7 to delete the reference to “Roof Area ‘A’ “
- E. Modify details #4/R-4 & 5/R-5 to add new 18 gauge, 1-1/2” max. opening stainless steel twisted hex netting (chicken wire) bird screening assembly secured to cover all vent openings with stainless steel draw-band or other approved methods.

- F. Clarify masonry restoration note on detail #3/R-4 & #5/R-5 and all other similar references to include the repairs to damaged masonry & mortar joints to be limited to 10% of the surface area of exposed masonry surfaces on the roof side(s) of parapets and masonry walls rising above all roof areas in the scope of work only. The interior side of the exposed bed joint of the terra cotta coping stones is part of this scope where damaged or deteriorated.

3. SPECIFICATIONS

- A. Refer to Specification section # 01 1000 "Summary of the Work". Add the following Paragraph 1.04 Work Sequences or Phase, sub-paragraph G: "All terra cotta or masonry repair work above any roof areas in the Scope of Work must be performed prior to the installation of the new 3-ply roof membrane and insulation assembly. Any repair work performed over the roofs after the installation of the new construction membrane must include protection of the membrane assembly including at a minimum ½" plywood over an insulation layer laid onto tarps. The construction membrane must be checked and repaired if any damage is experienced, and the surface of the membrane may require cleaning prior to installation of the new insulation and related adhesives."
- B. The "Asbestos Inspection Report" referenced following Specification section # 01 1100 "Environmental Coordination" will be provided to the successful bidder for the sole purpose of obtaining City of Philadelphia L & I Permits. The existing roof assembly which was specified and installed as PSD project #E700 of 96-97 consisted of a complete tear-off and roof replacement using all materials that are known to be asbestos free products. Roof cement repairs or other similar patches or materials that were installed subsequent to the installation of the roof assembly were not tested and are assumed to be asbestos containing materials, unless properly sampled and tested & determined to be asbestos free materials.
- C. Refer to Specification section # 03 7001 "Concrete & Terra Cotta Repairs". Delete the following item: Paragraph 1.02 Description of Work, sub-paragraph A. 2. (and all related additional paragraphs referencing concrete deck repairs).
- D. Refer to Specification section # 03 7001 "Concrete & Terra Cotta Repairs". Modify the following item: Paragraph 3.06 Terra Cotta Coping & Joint Repair, sub-paragraph A., Delete the words "and Water Table". The scope of work does not include any terra cotta joint or crack repairs to any exterior terra cotta water tables or other decorative terra cotta bands or architectural features on the exterior façade of the building, (other than the terra cotta coping assembly and penthouse sills as noted in the drawings).
- E. Refer to Specification section # 04 2150 "Masonry Repointing". Modify the following in Paragraphs 3.05 A.: Change "minimum ½ inch" to "minimum ¾ inch".
- F. Refer to Specification section # 04 2150 "Masonry Repointing". Delete the following item: Paragraphs 3.07 & 3.08 in their entirety.
- G. Refer to Specification section # 07 5216 "SBS Modified Bitumen Membrane Roofing". Modify the following items:
 - a. Paragraph 1.2 A. and all other similar / related paragraphs: Change "2-ply" to "3-ply".
 - b. Paragraph 1.6 A.1.i.: Change wording to "2-ply smooth surfaced, SBS modified bituminous roofing base ply membrane, torch applied. Second base ply shall be same as the first base ply."

4. BIDDER QUESTIONS

- A. *Please clarify if this will be a 2 ply or 3 ply assembly. The spec calls for 2 ply, 3 ply was brought up at the walkthrough.*
Reply: The new roof membrane is to be a 3 SBS membrane assembly. Refer to drawing and specification modifications above.
- B. *The asbestos report is not included in the spec, Can we assume there is no asbestos in the existing assembly?*
Reply: Refer to item #3.B. above.
- C. *There are not many subs on the project to meet the MBE/WBE goals in the spec, can the subcontractor MBE-15/20% and WBE 10-15% be consolidated to a single MWBE goal?*
Reply: Project to be bid in accordance with specified requirements unless the District provides additional information modifying those requirements.
- D. *Please confirm the existing deck is sloped and the only tapered insulation needed in the assemblies is for drain sumps and new crickets as shown on Drawing R-2*
Reply: Correct.
- E. *Are there any wall conditions that R-3 Det 2. Typical Membrane Flashing applies? The Roof plans and callouts for counterflashing details only show liquid flashings. (R-4 Det 3, R-5 det 5, R-6 det 4) Please confirm that Based on the plans, ALL parapet wall counterflashing (R5 det 5), thruwall and counterflashing details are to receive liquid flashing. Or, please provide a plan with the locations where the membrane flashing is to be applied.*
Reply: The new roof details #1/R-4, 6/R-4, & 1/R-7 all correctly show membrane flashings, the balance of the flashings are liquid-applied membrane as indicated..
- F. *Please provide a coatings of exterior steel/ metal work specification for the project. R4 det 4 calls for Prep prime and paint straps, R5 calls for window frame assembly, and R6 calls for the ladders to be coated. Are there any other metals to be painted on the project? Exhaust fans, Vents, Capes, Pipes, etc.?*
Reply: Bidder is to prep (to SSPC-SP3), prime and paint the items noted on the drawings with a primer and 2 coats of exterior rustoleum paint or approved equal.
- G. *Can you please provide base bid SF/LF quantities for the Masonry repointing and concrete and Terracotta repair to be included? The plan details call for 10% of exposed brick surface, but there are no wall elevations to base this on and is ambiguous for bidding purposes.*
Reply: The quantity of the masonry repair is based on the specified percentage of the exposed surfaces above roof areas in the scope of work, while the terra cotta repairs include all joints and existing cracks which are visible. The bidders were provided with an opportunity to visit the site, as well as an additional return site visit for observations and measurements with their subcontractors if necessary.
- H. *The lightning protection scope was not clear at the walk thru, and the plans call for both reusing and replacing the system. Is the lightning protection system to be reused or replaced at the chimney and roof penthouses? These are completely different costs. Or could you please provide the clarification that all existing to remain besides new down lead connections.*
Reply: The scope in the LP spec section provides the bidder and their LP subcontractor with the option of re-using sound materials &/or replacing with new materials where the existing materials are damaged or missing. The scope of LP work is limited to restoration of the original installation to functioning condition.

End of Addendum No. 1

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 Office of Capital Programs
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SIGN-IN SHEET

- School Name: HARRITY - ES
- Scope of Work: ROOF - PRE BLDG MTG.
- Conference Date: SAT. - 17.2.2018 @ 10:00 AM

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