

THE SCHOOL DISTRICT OF PHILADELPHIA
Office of Capital Programs
440 North Broad Street, 3rd Floor – Suite 371
Philadelphia, PA 19130

TELEPHONE: (215) 400-4730

Addendum No. 001

Subject: George W. Childs School – Classroom Modifications
SDP Contract Nos. B-071C, B-074C of 2017/18

Location: George W. Childs School
1599 Wharton Street
Philadelphia, Pennsylvania 19146

This Addendum, dated May 9, 2018, shall modify and become part of the Contract Documents for the work of this project. Any items not mentioned herein, or affected by, shall be performed strictly in accordance with the original documents.

The following items, clarifications and/or revisions are to be included in the Contract Documents:

SPECIFICATIONS

Section: 01 1000 Summary of Work

Revisions: Delete the following classroom number from Paragraph 1.1, A.1. This room is not in scope.

- a. DELETE 121

DRAWINGS

Drawing: A101

Revisions:

- a. Renovation Notes: Revise note A34 to read as follows (typical for all drawings):
A34 INSTALL NEW COAT HOOKS (30 HOOKS) AND PLASTIC LAMINATE SHELVES WHERE INDICATED.
- b. Renovation Notes: Add notes A39, A40 and A41 to read as follows (typical for all drawings):
A39 INSTALL NEW WOOD WALL BASE, STAIN AND CLEAR COAT FINISH TO MATCH EXISTING COLOR AND PROFILE OF EXISTING ADJACENT WOOD WALL BASE.
A40 PAINT EXISTING CERAMIC TILE WALL WAINSCOT AND BASE. SCRAPE EXISTING LOOSE PAINT, LIGHTLY SAND, CLEAN AND PREP SURFACE FOR NEW FINISH.
A41 PAINT EXISTING BRICK WALL AND EXPOSED PIPES. SCRAPE EXISTING LOOSE PAINT, LIGHTLY SAND, CLEAN AND PREP SURFACE FOR NEW FINISH.
- c. Basement Partial Floor Plan Area A, 2/A101: Add revision note A41 in Pre-K 001, Storage 001A, Storage 001B and Pre-K 002.
- d. Floor Finish Area Legend: Delete VCT-7, VCT-8 and VCT-9. Add Rooms 209 and 210 to VCT-4, VCT-5 and VCT-6.

Drawing: A101.1

Revisions:

- a. Interior Elevation 5/A101.1: Add the dimension 2'-0" from the new markerboard to the adjacent wall on the right side.

Drawing: A103.1

Revisions:

- a. Interior Elevation 4/A103.1: The new plastic laminate shelving should have three support brackets at 36" o.c. in instead of two brackets.
- b. Interior Elevation 6/A103.1: See attached revised drawing A103.1 for revised coat hook layout.

Drawing: A102

Revisions:

- a. First Partial Floor Plan Area B, 2/A102: Add revision note A40 in Kindergarten 103.
- b. Floor Finish Area Legend: Delete VCT-7, VCT-8 and VCT-9. Add Rooms 209 and 210 to VCT-4, VCT-5 and VCT-6.

Drawing: A103

Revisions:

- a. Partial First Floor Plan Area C, 2/A103: Add revision note A40 in Classroom 105 and Classroom 106.
- b. Floor Finish Area Legend: Delete VCT-7, VCT-8 and VCT-9. Add Rooms 209 and 210 to VCT-4, VCT-5 and VCT-6.

Drawing: A105

Revisions:

- a. Partial Second Floor Plan Area E, 3/A105: See attached revised drawing A105 for new detail locations.
- b. Partial Second Floor Plan Area E, 3/A105: The renovation note tag A06 on both sides of the new wall between Classroom 212 and Classroom 214 should be changed to renovation note tag A39.
- c. See attached revised drawing A105 for revised Composite Second Floor Plan, 2/A105, renovation tag A34 changed to A30.

Drawing: A105.1

Revisions:

- a. Floor Finish Area Legend: Delete VCT-7, VCT-8 and VCT-9. Add Rooms 209 and 210 to VCT-4, VCT-5 and VCT-6.

Drawing: A105.2

Revisions:

- a. See attached revised drawing A105.2 for revised Interior Elevation 22/A105.2.

Drawing: A501

Revisions:

- a. New Partition Detail 4/A501: See attached revised drawing A501 for revised detail.
- b. See attached revised drawing A501 for new wood floor repair details.

Drawing: A901

Revisions:

- a. See attached revised drawing A901 for revised Finish Specifications and Room Finish Schedule.

Drawing: All Mechanical and Electrical Drawings

Revisions:

- a. Revised B-numbers on titleblock
- b. Revised Project title on titleblock

Drawing: All mechanical drawings

Revisions:

- a. ADD key plan and seal information on all mechanical sheets.

Drawing: M113

Revisions:

- a. ADD window AC model information on key note 1 on M113.

- b. ADD room 224 on M113
- c. DELETE one room not in scope of work on M113

Drawing: **E001**

Revisions:

- a. Add light fixture type B and C to lighting fixture schedule.

Drawing: **ED101**

Revisions:

- a. Revise existing lighting and power layout in rooms 001 and 002. Added key plan, graphic scale and north arrow.

Drawing: **ED111**

Revisions:

- a. Added existing lighting in toilets and storage rooms.
- b. Added IDF2 ROOM 102B.
- c. Added key plan, graphic scale and north arrow

Drawing: **ED112**

Revisions:

- a. Added IDF room 102B.
- b. Added key plan, graphic scale and north arrow.

Drawing: **ED121**

Revisions:

- a. Added existing lighting layout for rooms 208, 209, 210, 215 and 224.
- b. Added IDF3 room 202A, IDF4 room 222A and Girls Restroom 202.
- c. Added key note 1.
- d. Added key plan, graphic scale and north arrow.

Drawing: **ED122**

Revisions:

- a. Added existing receptacle and data layout in rooms 208, 209, 210, 212, 214, 215 and 224.
- b. Added IDF3 room 202A, IDF4 room 222A and Girls Restroom 202.
- c. Added key note 1.
- d. Added key plan, graphic scale and north arrow.

Drawing: **E101**

Revisions:

- a. Revise lighting and power layout in rooms 001 and 002.
- b. Added key plan, graphic scale and north arrow.
- c. Add key notes 1, 2 and 3.

Drawing: **E111**

Revisions:

- a. Revised lighting switching and added storage and toilet lighting.
- b. Added IDF room 102B.
- c. Added key plan, graphic scale and north arrow

Drawing: **E112**

Revisions:

- a. Added receptacles in rooms 102, 103, 105, 106 and 107.
- b. Added IDF room 102B.
- c. Added key notes 1, 2, 3, 4 and 5.
- d. Added key plan, graphic scale and north arrow.

Drawing: **E121**

Revisions:

- a. Revised lighting layout and switching in rooms 208, 209, 210, 212, 214, 215 and 224.
- b. Added IDF3 room 202A and girls restroom 202.
- c. Added key plan, graphic scale and north arrow.

Drawing: **E122**

Revisions:

- a. Added new receptacle and data layout in rooms 208, 209, 210, 212, 214, 215 and 224.
- b. Added IDF3 room 202A, IDF4 room 222A and Girls Restroom 202. Added key note 3 and 4.
- c. Added key plan, graphic scale and north arrow

Drawing: **E301**

Revisions:

- a. Deleted panelboard cover detail.
- b. Added note to data riser diagram.

BIDDER'S QUESTIONS

1. **Question:** Due to the scope of work for all projects, the substantial completion date is unachievable. Along with lost time for moving of furniture and equipment before start of project. Can the date for substantial completion be extended?

Response: No

2. **Question:** Visual Display Surfaces - in spec there is a note if new boards are not installed in time, to use temporary boards as necessary, how many temporary boards are we to provide per classroom?

Response: Temporary boards do not need to be provided.

3. **Question:** Do we need to provide temporary window shades, if new ones are not installed before start of school?

Response: No. Existing shades are to be removed and salvaged/protected and reinstalled until new shades can be installed.

4. **Question:** Wood Floor Refinishing- some projects call for 2 coats of stain, can we forgo the stain and just use 2 coats of sealer and 2 coats of finish for all projects. You are adding on time to an already accelerated schedule.

Response: Sand, seal, and finish the wood floors in accordance with the specifications. Omit staining of the floor.

5. **Question:** Have you checks on the choices of accent colors for the VCT tile? The colors may be a stock color, but do they have enough on hand, if not they may not be readily available for the substantial completion date.

Response: Armstrong has been made aware of this project and its approximate square footage needs. Contractor to provide updated information on each color's availability immediately after NTP.

6. **Question:** Can you please include and spec for electrostatic painting.

Response: See Electrostatic Paint spec in Addendum #2.

7. **Question:** Classroom 105 and 107 show type B 2x4 surface mounted fixtures, but the architectural RCP's shown existing ACT grid ceilings. Is the fixture specification correct?

Response: Classroom 105 has an existing ACT ceiling with surface mounted light fixtures and classroom 107 has an existing ACT ceiling with recessed mounted light fixtures.

8. **Question:** Panelboard cover detail 3 was shown on drawing E301 and a panelboard spec was included in the contract documents. No panel schedule and no one line diagram were shown on the drawings. Please confirm this spec and detail are not applicable to this project as we do not see any panelboards on this project.

Response: Panelboard cover detail and specification are not applicable for this school, specification applies to other schools also.

9. **Question:** Some speakers are tagged with the letter "E" meaning existing to remain, but some are not tagged with this. Please confirm all speakers are existing to remain on this project. If this is not the case, please provide basis of design manufacturer/model of speaker for rooms shown with providing a new speaker.

Response: Existing speakers are to remain unless otherwise noted on the existing drawings.

10. **Question:** Detail 1 drawing E301 shows (2) 2-jack data outlet and (1) 4-jack data outlet for each classroom; however these symbols with the D2 and D4 subscripts don't appear on the new work drawings. There are some data outlets shown with the subscript "2" for 2 data lines, but they don't appear in all the classrooms. Most of the data outlets are shown with a tag "E" for existing to remain. Please clarify design. Is each classroom supposed to get a (1) 2-jack data outlet and (1) 4-jack data outlet? If so please locate these devices on the floor plans.

Response: Yes, each classroom requires a minimum of (1) 2-jack data outlet and (1) 4-jack data outlet. Will locate data outlet location.

11. **Question:** Is each classroom supposed to get (1) 2" EMT conduit back to the data rack per detail 1 drawing E301?

Response: Detail 1 on drawing E301 is a typical detail, contractor may combine Cat 6 cables to a 2" inch conduit not to exceed allowable conduit fill.

12. **Question:** Detail 1 drawing E301 says a note about an existing data racks in MDF and IDF, but does not state whether the cables are supposed to go the MDF or IDF. Also the MDF and IDF rooms are not labeled on the floor plans. Please clarify where the existing data rack is located on the floor plan and whether the MDF or the IDF rack contains the rack mounted master clock.

Response: Note on detail 1/ E301 indicates "PROVIDE NEW PATCH PANEL TO MATCH EXISTING AND COORDINATE WITH OWNER PRIOR TO INSTALLTION TERMINATE EACH CABLE AT NEW PATCH PANEL". Room names and numbers are indicate on detail 1/E301. Existing Master clock is not located in existing MDF/IDF rooms, the existing wired master clock is to remain since all the classrooms are not being renovated. The new wireless clock shall be located as shown on detail 1/E301.

13. **Question:** (2) dimmer switches are shown in each classroom, but no zoning (a/b) is indicated on the electrical lighting plans. How are the fixtures supposed to be zoned?

Response: Will clarify and indicate classroom new lighting zoning control (a/b).

14. **Question:** Childs School- Mechanical note #1 What is your scope of work for refurbishment of the existing radiators and covers?

Answer: The scope of work for refurbishing steam radiators and covers include clean and remove dust from the radiator surface and cover. Disconnect radiator and remove sediment clogs from the coil and reconnect. Paint radiator cover.

15. **Question:** Can SDP provide pdf's of as built architectural or electrical drawings for takeoff purposes? We acknowledge that they may not be completely accurate, but we need them for takeoffs for data conduits back to the IT rack. The overall building floor plan for each floor is not shown on the architectural or electrical drawings.

Response: As-built drawings will not be provided.

16. **Question:** Classroom 002 shows what appears to be a 3 way dimmer configuration; however, one door has 3 dimmers and the other door has 2 dimmers. There is no zoning shown for the room and a wiring diagram on drawing E-301 was not provided. Please provide basis of design manufacturer/model #'s for the dimmers that can achieve required control intent. Are standalone digital lighting controls required to achieve control intent?

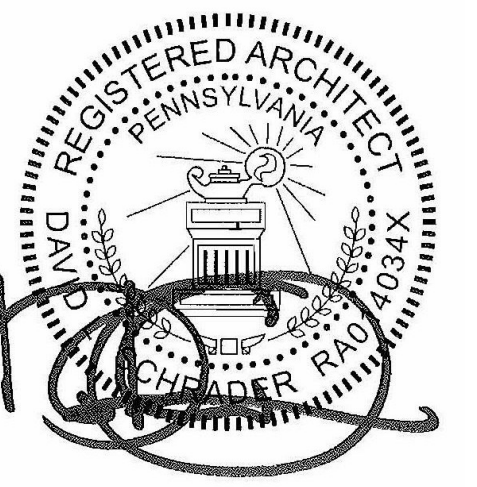
Response: There is no 3 way dimmer switching required. There are 3 dimmer switches in each classroom 001 and 002. For classrooms lighting zoning see Addendum 1 drawings E101 and E301. For dimmer switch basis of design control diagram and manufacturer see classroom LED lighting control diagram on drawing E301. The dimmer switches are standalone dimmer switches.

ATTACHMENTS

Drawing A103.1
Drawing A105
Drawing A105.2
Drawing A501
Drawing A901
Drawing M001
Drawing MD111
Drawing MD112
Drawing MD113
Drawing M111
Drawing M112
Drawing M113
Drawing M001
Drawing E001
Drawing ED101
Drawing ED111
Drawing ED112
Drawing ED121
Drawing ED122
Drawing E101
Drawing E111
Drawing E112
Drawing E121
Drawing E122
Drawing E301

End of Addendum No. 001

SEAL:



NAME (LICENSED PROFESSIONAL) DATE
STATE AND LICENSE NO. XXXXX/20XX

Architectural:

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Attn: Anil Giri

BID DOCUMENTS
April 20, 2018

10	
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6	
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3	
2	
1	5/9/18 ADDENDUM #1
NO. DATE	REVISION

SCHOOL & LOCATION

G.W. Childs School
1599 Wharton St. Philadelphia, PA 19146

PROJECT TITLE

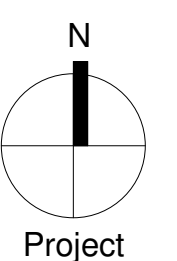
Classroom Modifications to G.W. Childs School

DRAWING TITLE

FIRST FLOOR INTERIOR ELEVATIONS AREA C

LOCATION NO. XX-XXX	FILE NO.
DRAWN BY Author	CHECKED BY Checker
B-071 C OF 2017/18 B-074 C OF 2017/18	

DRAWING NO.
A103.1



1 INTERIOR ELEVATION - CLASSROOM #105
A103.1 SCALE: 1/4" = 1'-0"

2 INTERIOR ELEVATION - CLASSROOM #105
A103.1 SCALE: 1/4" = 1'-0"

3 INTERIOR ELEVATION - CLASSROOM #105
A103.1 SCALE: 1/4" = 1'-0"

4 INTERIOR ELEVATION - CLASSROOM #105
A103.1 SCALE: 1/4" = 1'-0"

5 INTERIOR ELEVATION - CLASSROOM #106
A103.1 SCALE: 1/4" = 1'-0"

6 INTERIOR ELEVATION - CLASSROOM #106
A103.1 SCALE: 1/4" = 1'-0"

7 INTERIOR ELEVATION - CLASSROOM #106
A103.1 SCALE: 1/4" = 1'-0"

8 INTERIOR ELEVATION - CLASSROOM #106
A103.1 SCALE: 1/4" = 1'-0"

9 INTERIOR ELEVATION - CLASSROOM #107
A103.1 SCALE: 1/4" = 1'-0"

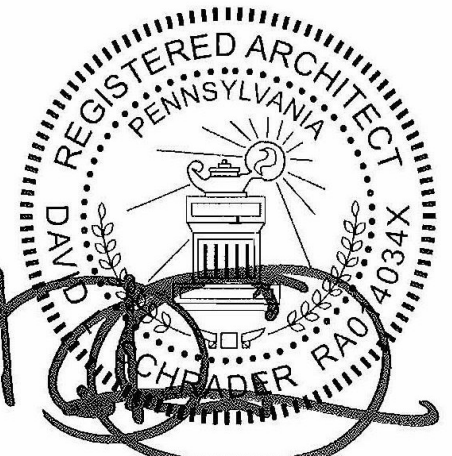
10 INTERIOR ELEVATION - CLASSROOM #107
A103.1 SCALE: 1/4" = 1'-0"

11 INTERIOR ELEVATION - CLASSROOM #107
A103.1 SCALE: 1/4" = 1'-0"

12 INTERIOR ELEVATION - CLASSROOM #107
A103.1 SCALE: 1/4" = 1'-0"

13 INTERIOR ELEVATION - CLASSROOM #107A
A103.1 SCALE: 1/4" = 1'-0"

SEAL:



NAME (LICENSED PROFESSIONAL) DATE
STATE AND LICENSE NO. XX/XX/20XX

Architectural:

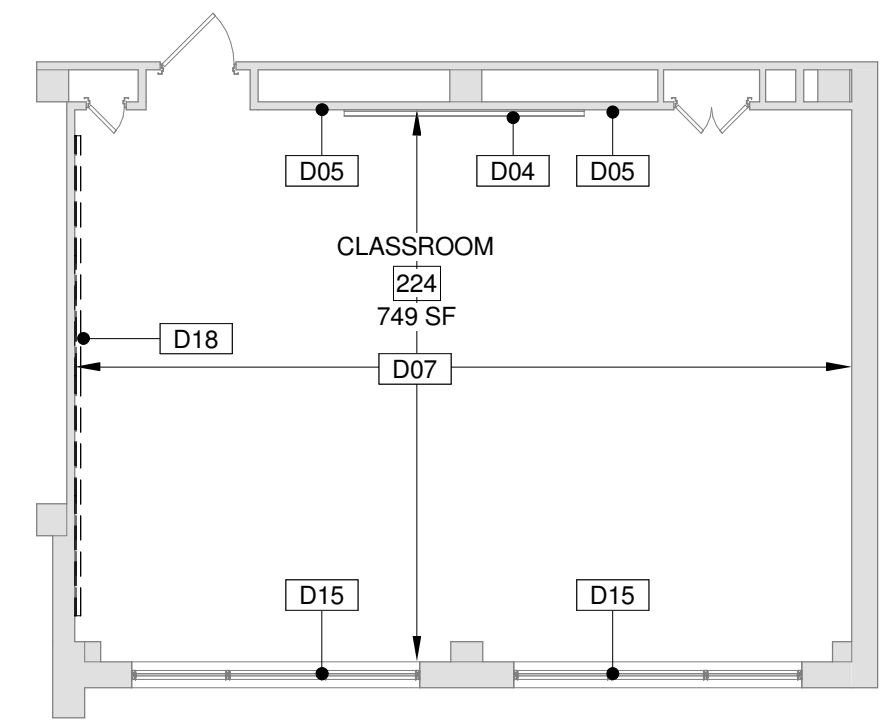
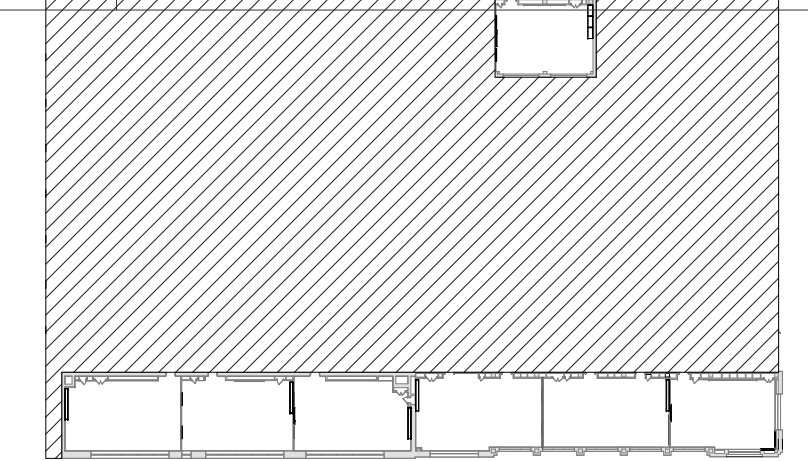
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MEP:

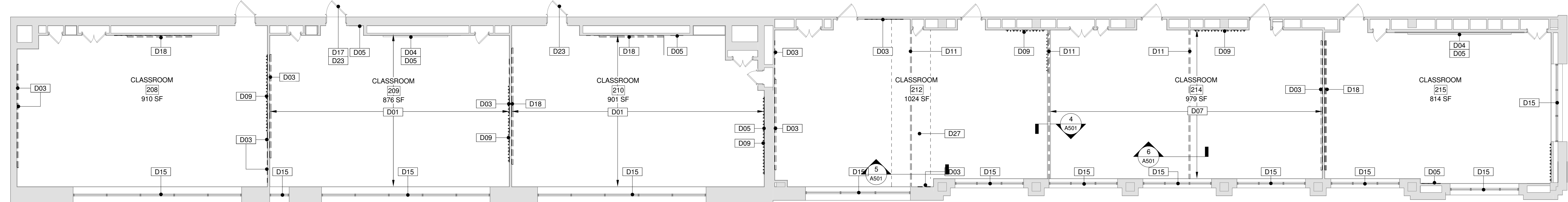
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Attn: Anil Giri

DEMOLITION NOTES	
Key Value	Keynote Text
D01	REMOVE EXISTING VCT FLOORING.
D03	REMOVE EXISTING CHALKBOARD/MARKERBOARD/TACKBOARD/TACKSTRIP/CHALKBOARD. INCLUDING ALL ASSOCIATED ACCESSORIES AND MASTIC/ADHESIVE. PATCH AND REPAIR EXISTING WALL AS REQUIRED TO MATCH ADJACENT EXPOSED SURFACES AND/OR TO ACCEPT NEW SPECIFIED DISPLAY SURFACE OR EQUIPMENT. REFER TO ENVIRONMENTAL COORDINATION SPECIFICATION.
D04	REMOVE EXISTING MARKERBOARD SKIN OVER CHALKBOARD. WOOD FRAME TO REMAIN.
D05	REMOVE EXISTING TACK SURFACE. WOOD FRAME TO REMAIN. INCLUDING ALL ASSOCIATED ACCESSORIES AND MASTIC/ADHESIVE. PATCH AND REPAIR EXISTING WALL AS REQUIRED TO MATCH ADJACENT EXPOSED SURFACES AND/OR TO ACCEPT NEW SPECIFIED DISPLAY SURFACE OR EQUIPMENT. REFER TO ENVIRONMENTAL COORDINATION SPECIFICATION.
D07	REMOVE EXISTING PAPER TOWEL DISPENSER/TOLET PAPER DISPENSER/SOAP DISPENSER/HAND SANITIZER DISPENSER. SALVAGE FOR REINSTALLATION AS PART OF NEW WORK.
D09	REMOVE EXISTING COAT HOOKS AND WOOD MOUNTING BRACKET.
D10	REMOVE EXISTING BASE CABINETS/TALL CABINETS/WALL CABINETS/COUNTER TOPS/BACKSPLASH/SHELVES. INCLUDING ALL ASSOCIATED ACCESSORIES. MOUNTING BRACKETS AND EXPOSED BLOCKING. PATCH AND REPAIR EXISTING WALL AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR TO ACCEPT NEW SPECIFIED DISPLAY SURFACE OR EQUIPMENT. REFER TO ENVIRONMENTAL COORDINATION SPECIFICATION. WHERE THE CASEWORK IS MOUNTED ON EXISTING STRUCTURAL GLAZED BLOCK BASE, THE STRUCTURAL GLAZED BLOCK BASE SHALL REMAIN AND BE PREPARED FOR NEW CASEWORK.
D11	REMOVE EXISTING FOLDING PARTITION, TRACK AND ASSOCIATED HARDWARE. PATCH AND REPAIR EXISTING WALL/TRIM AS REQUIRED TO MATCH ADJACENT SURFACES AND TO ACCEPT NEW FINISHES.
D15	REMOVE EXISTING WINDOW TREATMENT AND ASSOCIATED HARDWARE FROM ALL WINDOWS. PATCH AND REPAIR EXISTING WALL/TRIM AS REQUIRED TO MATCH ADJACENT SURFACES AND TO ACCEPT NEW SPECIFIED WINDOW TREATMENT.
D17	REMOVE EXISTING WOOD THRESHOLD AT DOOR OPENING.
D18	REMOVE EXISTING CHALKBOARD/TACKBOARD AND WOOD FRAME. INCLUDING ALL ASSOCIATED ACCESSORIES AND MASTIC/ADHESIVE. PATCH AND REPAIR EXISTING WALL AS REQUIRED TO MATCH ADJACENT EXPOSED SURFACES AND/OR TO ACCEPT NEW SPECIFIED DISPLAY SURFACE OR EQUIPMENT. REFER TO ENVIRONMENTAL COORDINATION SPECIFICATION.
D19	REMOVE EXISTING FREE-STANDING WOOD CUBBIES. COORDINATE WITH THE OWNER IF THE CUBBIES SHOULD BE DISPOSED OF OR SALVAGED AND DELIVERED TO THEM.
D20	REMOVE EXISTING WALL MOUNTED MIRROR. SALVAGE FOR REINSTALLATION AS PART OF NEW WORK.
D23	REMOVE EXISTING METAL BARS FROM TRANSOM WINDOWS.
D27	REMOVE SECTION OF EXISTING WOOD FLOORING +/- 8" WIDE X LENGTH OF THE FOLDING PARTITION TRACK.

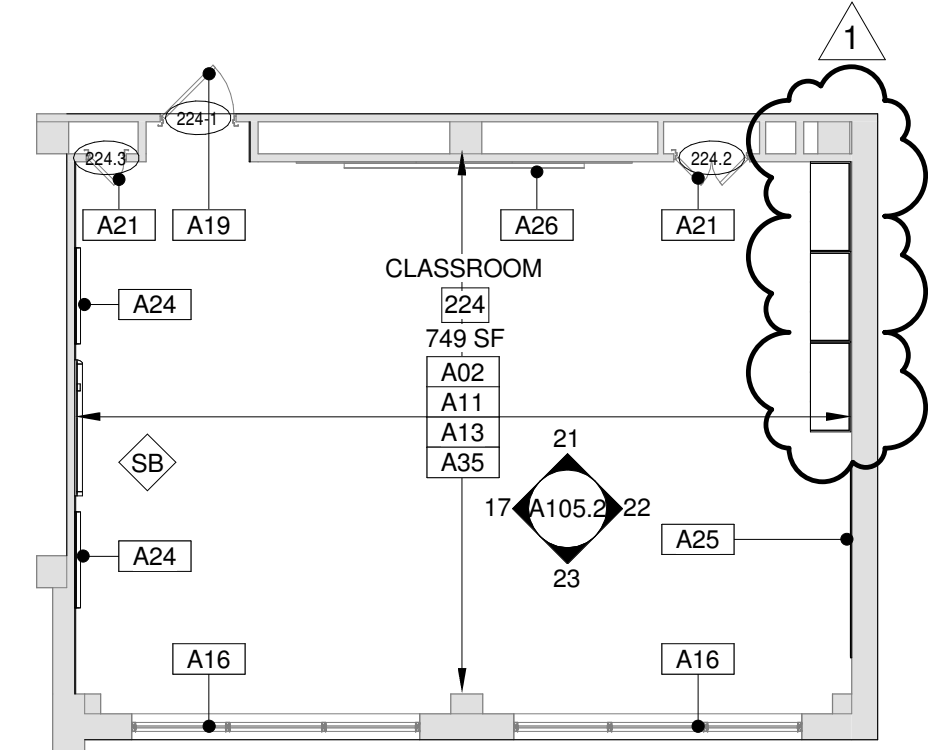
RENOVATION NOTES	
Key Value	Keynote Text
A01	INSTALL NEW VCT FLOORING. CLEAN, FLASH PATCH AND LEVEL FLOOR AS REQUIRED. PREP FLOOR TO RECEIVE NEW FINISH. REFER TO ENVIRONMENTAL COORDINATIONS SPECIFICATION.
A02	STRIP AND SAND, PATCH, CLEAN AND PREP EXISTING WOOD FLOORING AND PROVIDE A NEW CLEAR COAT FINISH. REPAIR ANY DAMAGED FLOORING AS REQUIRED. NEW FLOORING TO MATCH EXISTING ADJACENT FLOORING. COORDINATE LOCATIONS OF NEW FLOORING IN THE FIELD WITH THE OWNER.
A03	PAINT EXISTING METAL COVERS AT FLOOR PIPE CHASES. SCRAPE EXISTING LOOSE PAINT, SAND, CLEAN AND PREP SURFACE FOR NEW FINISH.
A06	INSTALL NEW RUBBER WALL BASE. CLEAN AND PREP EXISTING SURFACE FOR NEW FINISH.
A08	PAINT EXISTING CONCRETE WALL BASE. SCRAPE EXISTING LOOSE PAINT, SAND, CLEAN AND PREP SURFACE FOR NEW FINISH.
A11	PATCH, LIGHTLY SAND, CLEAN (INCLUDING THE REMOVAL OF ALL STAPLES, ETC.) AND PREP EXISTING WOOD WALL BASE/WALL TRIM/DOOR FRAME/TRIM/WINDOW TRIM/CHALKBOARD/TACKBOARD FRAME AND PROVIDE A NEW PAINT FINISH. REPAIR DAMAGED AREAS TO MATCH ADJACENT PROFILE.
A12	PAINT EXISTING CMU/PLASTER/GWB AND EXPOSED PIPES. SCRAPE EXISTING LOOSE PAINT, SAND, (INCLUDING THE REMOVAL OF ALL STAPLES, ETC.) CLEAN AND PREP SURFACE FOR NEW FINISH.
A13	REPAIR DAMAGED EXISTING PLASTER WALL/CEILING/BULKHEAD TO MATCH ADJACENT SURFACE. PREP REPAIRED AREAS TO RECEIVE NEW PAINT FINISH.
A15	PAINT EXISTING PLASTER/GWB CEILING/BULKHEAD AND EXPOSED PIPES. SCRAPE EXISTING LOOSE PAINT, SAND, CLEAN AND PREP SURFACE FOR NEW FINISH.
A16	INSTALL NEW INTERIOR WINDOW SHADES AS SPECIFIED ON ALL EXTERIOR WINDOW UNITS IN CLASSROOM.
A18	REPAIR/PATCH EXISTING DAMAGED WOOD DOOR AND/OR FRAME. FINISH TO MATCH ADJACENT SURFACE.
A19	REPAIR/PATCH EXISTING DAMAGED DOOR TRANSOM (INCLUDING FRAME, GRILLES AND GLASS). MATCH EXISTING ADJACENT. CLEAN, SAND, AND FINISH AS SCHEDULED.
A21	PATCH, LIGHTLY SAND, CLEAN (INCLUDING THE REMOVAL OF ALL STAPLES, ETC.) AND PREP EXISTING WOOD DOOR AND PROVIDE NEW PAINT FINISH. REPAIR DAMAGED AREAS TO MATCH ADJACENT PROFILE, INCLUDING WOOD GRILLES AND GLASS WHERE OCCURS. DAMAGED WOOD AND GLAZING AREAS SHOULD BE REVIEWED WITH THE OWNER IN THE FIELD.
A23	INSTALL NEW ADA COMPLIANT DOOR THRESHOLD.
A24	INSTALL NEW MARKERBOARD AS SCHEDULED.
A25	INSTALL NEW TACKBOARD AS SCHEDULED.
A26	INSTALL NEW MARKERBOARD SKIN OVER EXISTING CHALKBOARD.
A27	INSTALL NEW TACK SURFACE IN EXISTING WOOD FRAME.
A28	INSTALL NEW STUD/GWB WALL AS SCHEDULED IN EXISTING FOLDING PARTITION OPENING. FINISH/PAINT AS SCHEDULED (BOTH SIDES).
A29	PATCH, LIGHTLY SAND, CLEAN (INCLUDING THE REMOVAL OF ALL STAPLES, ETC.) AND PREP EXISTING WOOD CASEWORK/COUNTER TOPS/SHELVES AND PROVIDE NEW CLEAR COAT FINISH. REPAIR DAMAGED AREAS/HARDWARE TO MATCH EXISTING ADJACENT.
A30	INSTALL NEW PLASTIC LAMINATE CASEWORK AS SCHEDULED.
A34	INSTALL NEW COAT HOOKS (6) HOOKS).
A35	RE-INSTALL SALVAGED PAPER TOWEL DISPENSER/TOILET PAPER DISPENSER/SOAP DISPENSER/HAND SANITIZER DISPENSER.
A36	CLEAN EXISTING MARBLE TOILET PARTITIONS AND WAINSCOT.
A38	INSTALL NEW WOOD FLOORING AND CLEAR COAT FINISH. MATCH EXISTING ADJACENT FLOOR SYSTEM.
A40	PAINT EXISTING CERAMIC TILE WALL WAINSCOT AND BASE. SCRAPE EXISTING LOOSE PAINT, LIGHTLY SAND, CLEAN AND PREP SURFACE FOR NEW FINISH.
A41	PAINT EXISTING BRICK WALL AND EXPOSED PIPES. SCRAPE EXISTING LOOSE PAINT, LIGHTLY SAND, CLEAN AND PREP SURFACE FOR NEW FINISH.



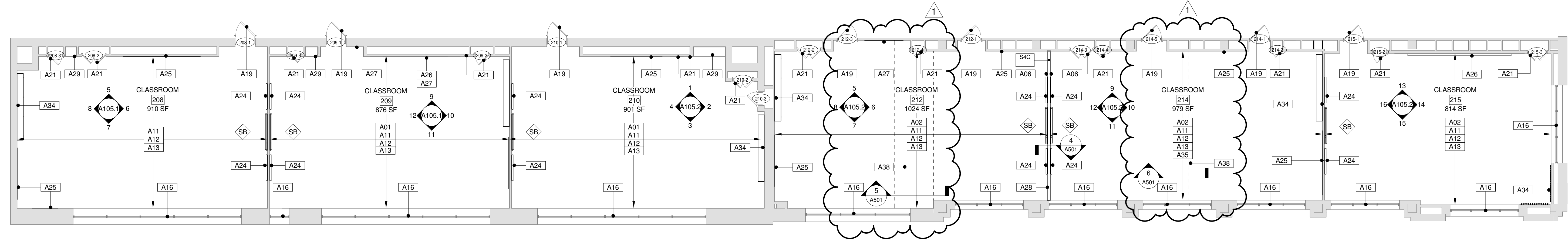
4 COMPOSITE SECOND FLOOR PLAN
A105 SCALE: 1/8" = 1'-0"



1 PARTIAL SECOND FLOOR DEMOLITION PLAN - AREA E
A105 SCALE: 1/8" = 1'-0"



2 COMPOSITE SECOND FLOOR PLAN
A105 SCALE: 1/8" = 1'-0"



3 PARTIAL SECOND FLOOR PLAN - AREA E
A105 SCALE: 1/8" = 1'-0"

BID DOCUMENTS
April 20, 2018

10		
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2		
1	5/19/18	ADDENDUM #1
	NO. DATE	REVISION

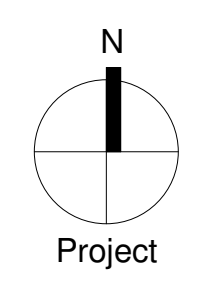
SCHOOL & LOCATION
G.W. Childs School
1599 Wharton St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

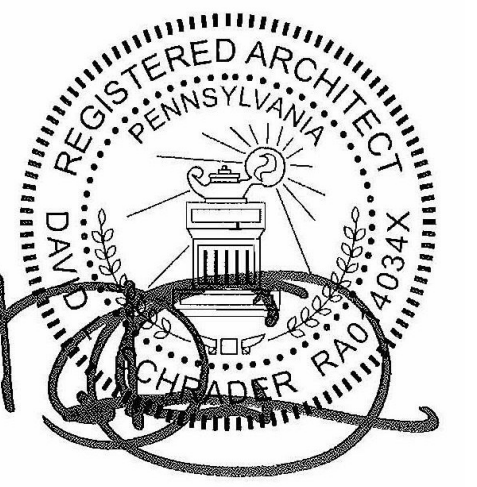
DRAWING TITLE
PARTIAL SECOND FLOOR FLOOR PLANS AREA E

LOCATION NO. XX-XXX	FILE NO.
DRAWN BY Author	CHECKED BY Checker
B-071 C OF 2017/18	B-074 C OF 2017/18

DRAWING NO.
A105



SEAL:



NAME (LICENSED PROFESSIONAL) DATE
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BID DOCUMENTS
April 20, 2018

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2		
1	5/9/18 ADDENDUM #1	
NO.	DATE	REVISION

SCHOOL & LOCATION

G.W. Childs School
1599 Wharton St. Philadelphia, PA 19146

PROJECT TITLE

Classroom Modifications to G.W. Childs School

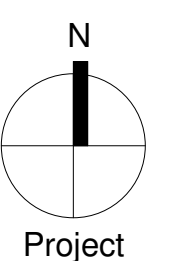
DRAWING TITLE

PARTIAL SECOND FLOOR INTERIOR ELEVATIONS AREA E

LOCATION NO.	FILE NO.
XX-XXX	
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Author	Checker
B-071 C	OF 2017/18
B-074 C	OF 2017/18

DRAWING NO.

A105.2



1 INTERIOR ELEVATION - CLASSROOM #210
A105.2 SCALE: 1/4" = 1'-0"

2 INTERIOR ELEVATION - CLASSROOM #210
A105.2 SCALE: 1/4" = 1'-0"

3 INTERIOR ELEVATION - CLASSROOM #210
A105.2 SCALE: 1/4" = 1'-0"

4 INTERIOR ELEVATION - CLASSROOM #210
A105.2 SCALE: 1/4" = 1'-0"

5 INTERIOR ELEVATION - CLASSROOM #212
A105.2 SCALE: 1/4" = 1'-0"

6 INTERIOR ELEVATION - CLASSROOM #212
A105.2 SCALE: 1/4" = 1'-0"

7 INTERIOR ELEVATION - CLASSROOM #212
A105.2 SCALE: 1/4" = 1'-0"

8 INTERIOR ELEVATION - CLASSROOM #212
A105.2 SCALE: 1/4" = 1'-0"

9 INTERIOR ELEVATION - CLASSROOM #214
A105.2 SCALE: 1/4" = 1'-0"

10 INTERIOR ELEVATION - CLASSROOM #214
A105.2 SCALE: 1/4" = 1'-0"

11 INTERIOR ELEVATION - CLASSROOM #214
A105.2 SCALE: 1/4" = 1'-0"

12 INTERIOR ELEVATION - CLASSROOM #214
A105.2 SCALE: 1/4" = 1'-0"

13 INTERIOR ELEVATION - CLASSROOM #215
A105.2 SCALE: 1/4" = 1'-0"

14 INTERIOR ELEVATION - CLASSROOM #215
A105.2 SCALE: 1/4" = 1'-0"

15 INTERIOR ELEVATION - CLASSROOM #215
A105.2 SCALE: 1/4" = 1'-0"

16 INTERIOR ELEVATION - CLASSROOM #215
A105.2 SCALE: 1/4" = 1'-0"

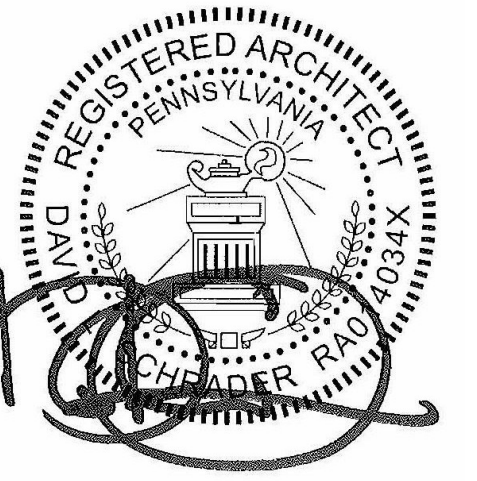
21 INTERIOR ELEVATION - CLASSROOM #224
A105.2 SCALE: 1/4" = 1'-0"

22 INTERIOR ELEVATION - CLASSROOM #224
A105.2 SCALE: 1/4" = 1'-0"

23 INTERIOR ELEVATION - CLASSROOM #224
A105.2 SCALE: 1/4" = 1'-0"

17 INTERIOR ELEVATION - CLASSROOM #224
A105.2 SCALE: 1/4" = 1'-0"

SEAL:



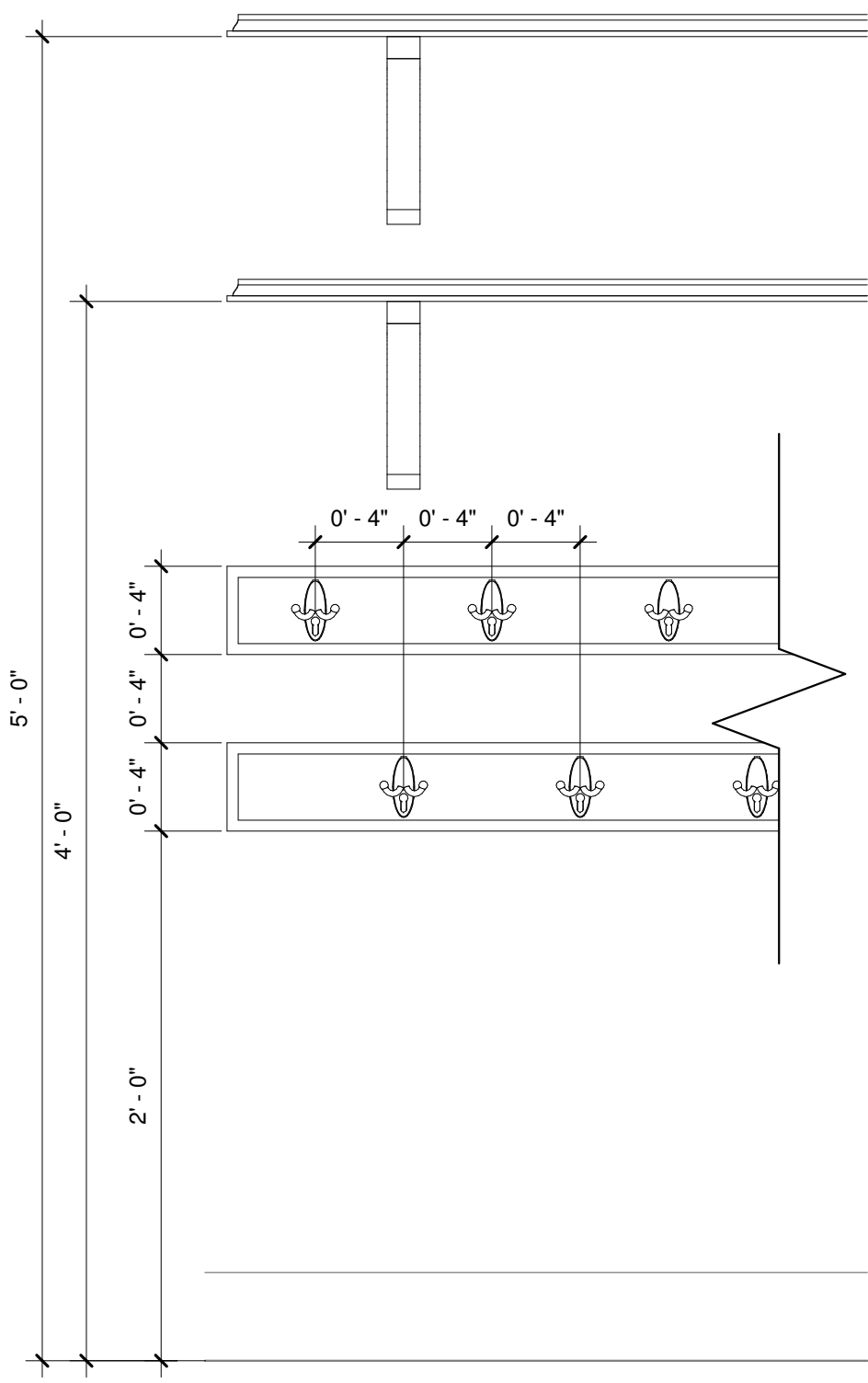
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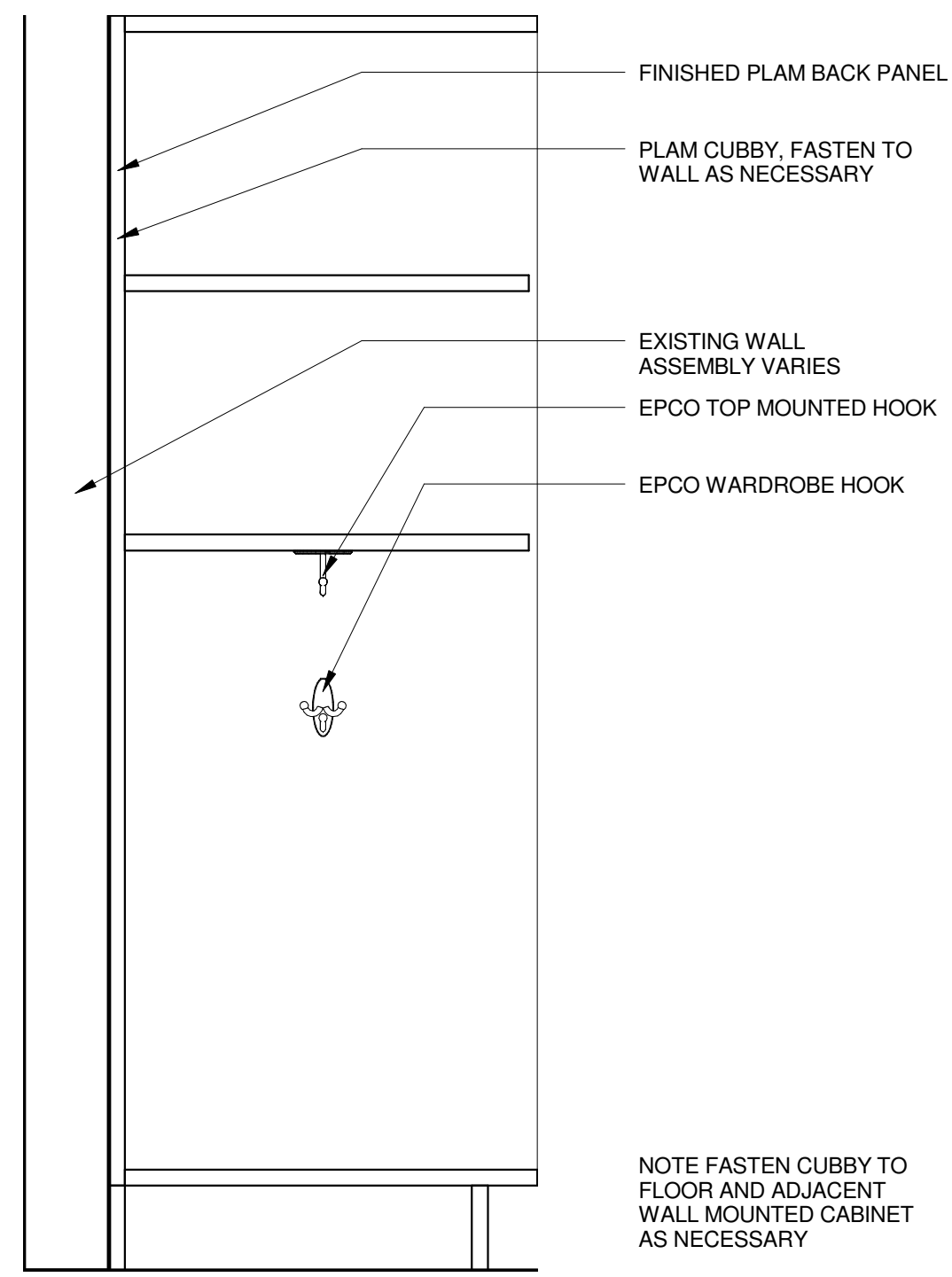
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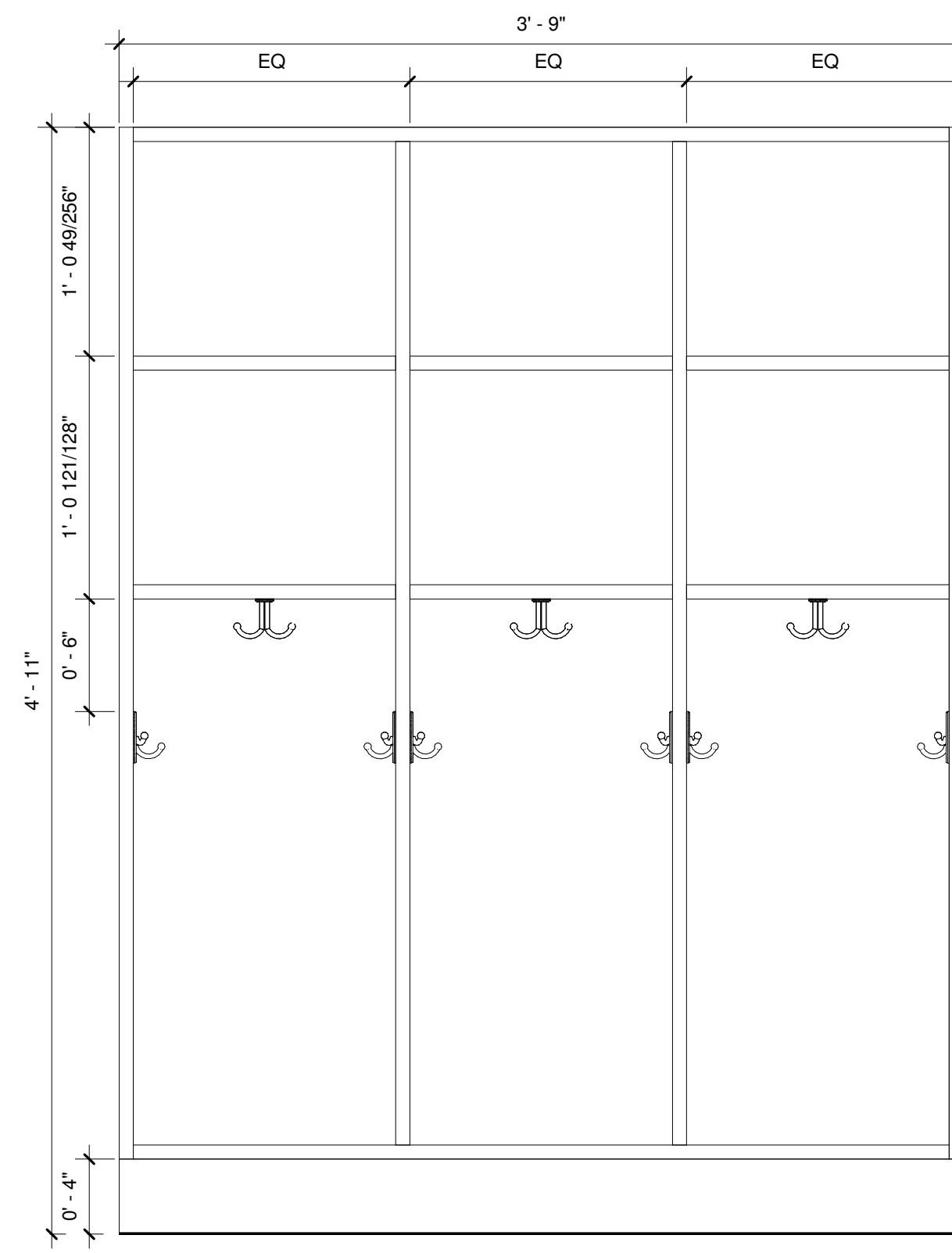
1 TYPICAL COAT HOOK DETAIL

A501 SCALE: 1 1/2" = 1'-0"



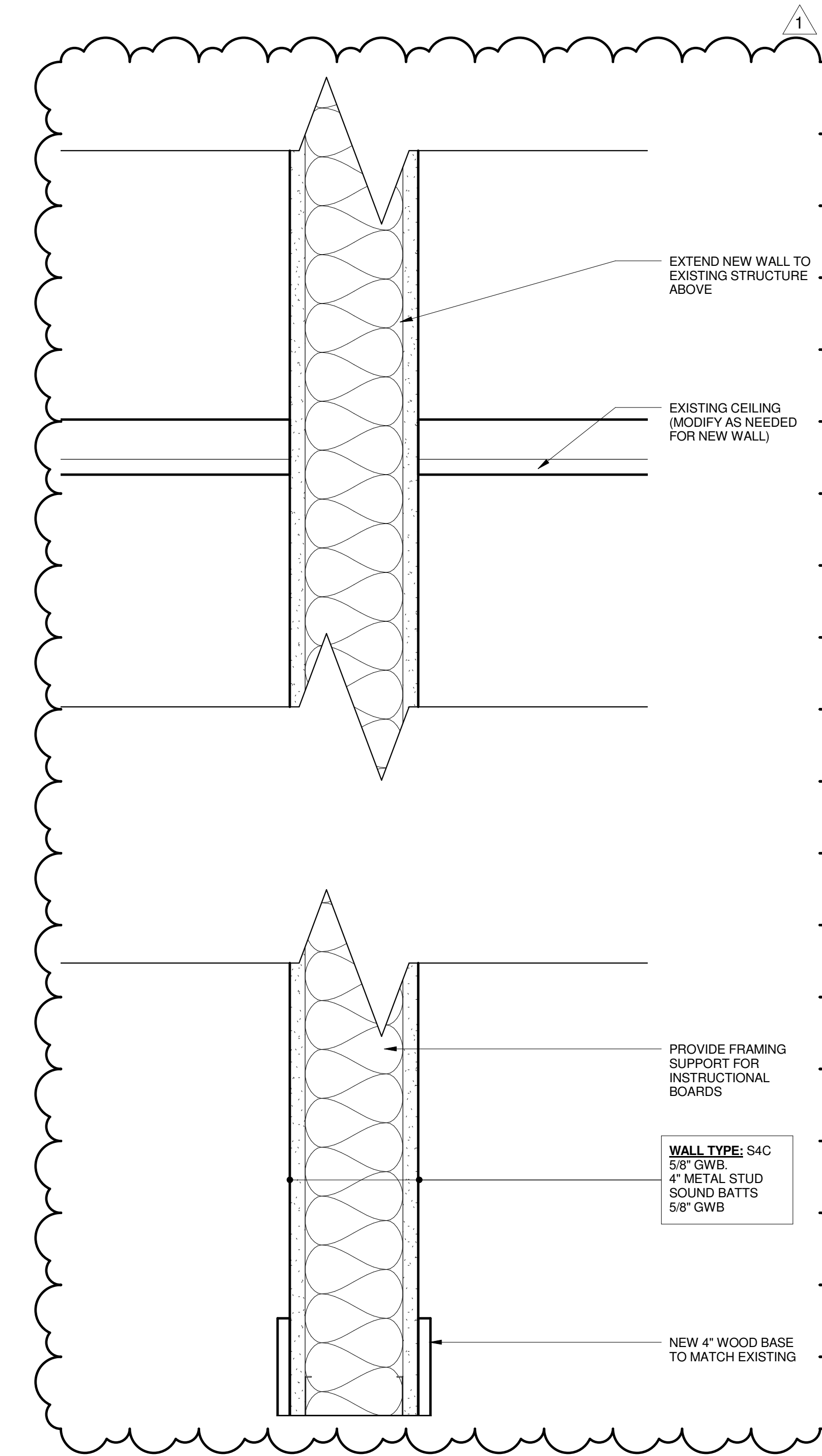
2 TYPICAL LOCKER SECTION DETAIL

A501 SCALE: 1 1/2" = 1'-0"



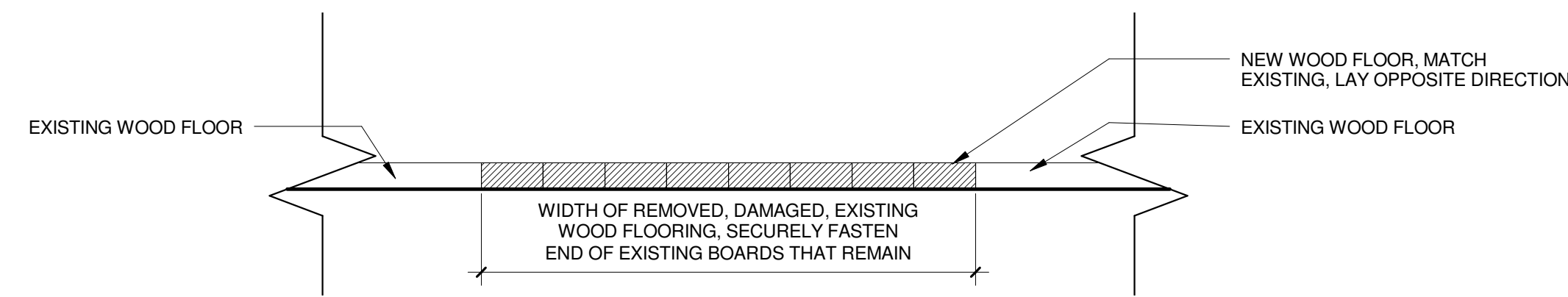
3 TYPICAL LOCKER ELEVATION

A501 SCALE: 1 1/2" = 1'-0"



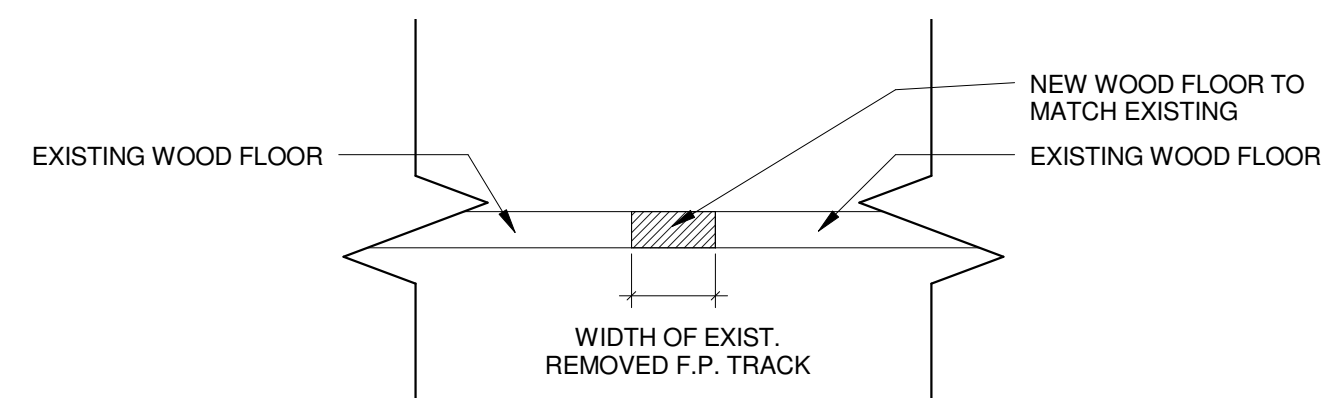
4 NEW PARTITION DETAIL

A501 SCALE: 3" = 1'-0"



5 WOOD FLOORING DETAIL

A501 SCALE: 1 1/2" = 1'-0"



6 WOOD FLOORING DETAIL

A501 SCALE: 1 1/2" = 1'-0"

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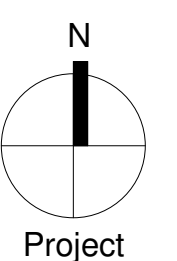
DRAWING TITLE

DETAILS

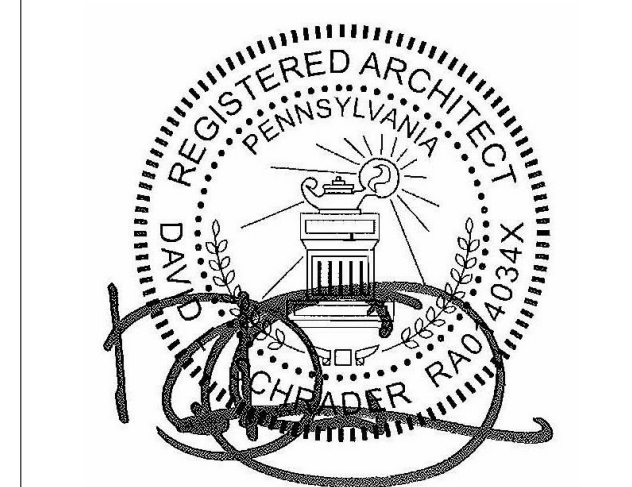
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Attn: Anil Giri

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR FINISH	BASE TYPE	WALL FINISH				CEILING FINISH		CASEWORK FINISH		COMMENTS
				NORTH	EAST	SOUTH	WEST	MATERIAL	FINISH	COUNTERTOP	CABINET	
001	PRE-K	VCT-4,5,6	PT-8	PT-6	PT-6	PT-6	PT-7	EX	-	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
001A	STORAGE	VCT-4	PT-8	PT-6	PT-6	PT-6	PT-6	EX	PT-9	-	PLAM-2	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES
001B	STORAGE	VCT-4	PT-8	PT-6	PT-6	PT-6	PT-6	EX	PT-9	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
002	PRE-K	VCT-4,5,6	PT-8	PT-7	PT-6	PT-6	PT-6	EX	-	-	PLAM-2	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES
102	KINDERGARTEN	VCT-1,2,3	PT-8	PT-3	PT-1	PT-1	PT-1	EX	-	-	PLAM-2	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES
102A	STORAGE	VCT-1	PT-8	PT-2	PT-2	PT-2	PT-1	EX	-	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
103	KINDERGARTEN	VCT-1,2,3	PT-8	PT-3	PT-1	PT-1	PT-1	EX	PT-9 (BULKHEAD)	-	PLAM-2	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES
103A	STORAGE	VCT-1	PT-8	PT-2	PT-2	PT-2	PT-2	EX	-	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
105	CLASSROOM	VCT-1,2,3	PT-8	PT-1	PT-3	PT-1	PT-1	EX	PT-9 (BULKHEAD)	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
105A	STORAGE	VCT-1	PT-8	PT-2	PT-2	PT-2	PT-2	EX	-	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
106	CLASSROOM	VCT-1,2,3	PT-8	PT-1	PT-1	PT-1	PT-3	EX	-	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
106A	STORAGE	VCT-1	PT-8	PT-2	PT-2	PT-2	PT-2	EX	-	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
106B	STORAGE	VCT-1	PT-8	PT-2	PT-2	PT-2	PT-2	EX	-	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
107	CLASSROOM	VCT-1,2,3	PT-8	PT-1	PT-1	PT-1	PT-3	EX	PT-9 (BULKHEAD)	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
107A	STORAGE	VCT-1	PT-8	PT-2	PT-2	PT-2	PT-2	EX	-	-	PLAM-2	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES
107B	TOILET	PT-8	PT-8	PT-1	PT-1	PT-1	PT-1	EX	-	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
208	CLASSROOM	EX	PT-8	PT-6	PT-7	PT-4	PT-6	EX	-	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES, EXISTING WOOD FLOOR TO RECEIVE CLEAR COAT FINISH
209	CLASSROOM	VCT-4,5,6	PT-8	PT-6	PT-6	PT-6	PT-7	EX	PT-9 (BULKHEAD)	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
210	CLASSROOM	VCT-4,5,6	PT-8	PT-6	PT-6	PT-6	PT-7	EX	PT-9 (BULKHEAD)	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC
212	CLASSROOM	EX	PT-8	PT-6	PT-7	PT-6	PT-6	EX	PT-9 (BULKHEAD)	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES, EXISTING WOOD FLOOR TO RECEIVE CLEAR COAT FINISH
214	CLASSROOM	EX	PT-8	PT-6	PT-6	PT-6	PT-7	EX	PT-9 (BULKHEAD)	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES, EXISTING WOOD FLOOR TO RECEIVE CLEAR COAT FINISH
215	CLASSROOM	EX	PT-8	PT-6	PT-6	PT-6	PT-7	EX	PT-9 (BULKHEAD)	-	-	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES, EXISTING WOOD FLOOR TO RECEIVE CLEAR COAT FINISH
224	CLASSROOM	EX	PT-8	PT-6	PT-6	PT-6	PT-7	EX	-	PLAM-2	-	PT-8 AT DOOR FRAMES, TRIM, ETC, B-1 AT CUBBIES, EXISTING WOOD FLOOR TO RECEIVE CLEAR COAT FINISH

FINISH SPECIFICATIONS

VINYL COMPOSITE TILE:

- VCT-1 VINYL COMPOSITION TILE (FIELD COLOR)
MFR: ARMSTRONG
STYLE: STANDARD EXCELON IMPERIAL TEXTURE
SIZE: 12" x 12" x 1/8"
COLOR: 51803 PEARL WHITE
- VCT-2 VINYL COMPOSITION TILE (ACCENT COLOR)
MFR: ARMSTRONG
STYLE: STANDARD EXCELON IMPERIAL TEXTURE
SIZE: 12" x 12" x 1/8"
COLOR: 51866 LITTLE GREEN APPLE
- VCT-3 VINYL COMPOSITION TILE (ACCENT COLOR)
MFR: ARMSTRONG
STYLE: STANDARD EXCELON IMPERIAL TEXTURE
SIZE: 12" x 12" x 1/8"
COLOR: 51884 GREENERY
- VCT-4 VINYL COMPOSITION TILE (FIELD COLOR)
MFR: ARMSTRONG
STYLE: STANDARD EXCELON IMPERIAL TEXTURE
SIZE: 12" x 12" x 1/8"
COLOR: 51803 PEARL WHITE
- VCT-5 VINYL COMPOSITION TILE (ACCENT COLOR)
MFR: ARMSTRONG
STYLE: STANDARD EXCELON IMPERIAL TEXTURE
SIZE: 12" x 12" x 1/8"
COLOR: 51867 CANTALOUPE
- VCT-6 VINYL COMPOSITION TILE (ACCENT COLOR)
MFR: ARMSTRONG
STYLE: STANDARD EXCELON IMPERIAL TEXTURE
SIZE: 12" x 12" x 1/8"
COLOR: 51803 PUMPKIN ORANGE

- VCT-7 NOT USED
- VCT-8 NOT USED
- VCT-9 NOT USED

PAINT:

- PT-1 (FIELD)
MFR: SHERWIN WILLIAMS
COLOR: SW7044 AMAZING GRAY
- PT-2 (STORAGE ROOM)
MFR: SHERWIN WILLIAMS
COLOR: SW9171 FELTED WOOL
- PT-3 (ACCENT)
MFR: SHERWIN WILLIAMS
COLOR: SW690 OSAGE ORANGE
- PT-4 NOT USED
- PT-5 NOT USED
- PT-6 (FIELD)
MFR: SHERWIN WILLIAMS
COLOR: SW1015 SKYLINE STEEL
- PT-7 (ACCENT)
MFR: SHERWIN WILLIAMS
COLOR: SW6627 EMBERGLOW
- PT-8 (DOOR FRAMES, BASE, TRIM, EXIST. PTD. DOORS, MECH. EQUIP.)
MFR: SHERWIN WILLIAMS
COLOR: SW7068 GRIZZLE GRAY
- PT-9 (CEILINGS/BULKHEADS)
MFR: SHERWIN WILLIAMS
COLOR: SW7757 HIGH REFLECTIVE WHITE

BASE:

- B-1 RUBBER BASE
MFR: JOHNSONITE TRADITIONAL
SIZE: 4"
- B-2 NOT USED
- PLASTIC LAMINATE:
- PLAM-1 NOT USED
- PLAM-2 (CUBBIES)
MFR: WILSONART STANDARD LAMINATE
COLOR: D96 SHADOW

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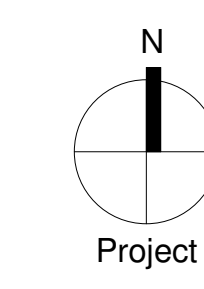
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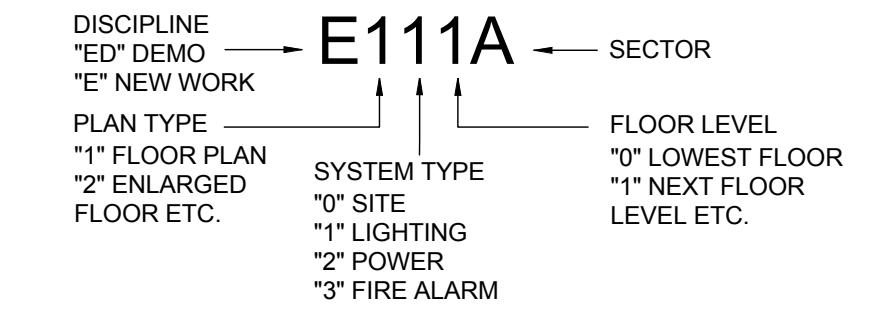
DRAWING TITLE
ELECTRICAL COVER SHEET

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ELECTRICAL LEGEND

SHEET NAMING LEGEND



ELECTRICAL LEGEND

SPECIAL SYSTEMS

- # DATA OUTLET, "N" INDICATES # OF DATA PORTS IF MORE THAN ONE. PROVIDE PLENUM RATED CAT6 CABLE IN 3/4" EMT. C, UNLESS OTHERWISE NOTED. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION.
- ▽ DATA OUTLET, PROVIDE PLENUM RATED CAT6 CABLE IN 3/4" EMT. C, UNLESS OTHERWISE NOTED.
- ▽ TELEPHONE OUTLET.
- AV WALL MOUNTED AUDIO/VISUAL OUTLET.
- S CEILING MOUNTED SPEAKER.
- S WALL MOUNTED SPEAKER.
- C W WIRELESS CLOCK BATTERY OPERATED. SEE SPECIFICATION 275313.
- C W WIRELESS ACCESS POINT.

ELECTRICAL LEGEND

LIGHTING

- NOTE: REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE TYPES.
- A: CAPITAL LETTER ADJACENT TO FIXTURE INDICATES TYPE.
 - a: LOWER CASE LETTER INDICATES SWITCHING.
 - NL: INDICATES NIGHT LIGHTING - UNSWITCHED FIXTURE.
 - SHADED CIRCLE INDICATES FIXTURE ON EMERGENCY CIRCUIT.
 - 2'X4' FLUORESCENT/LED LIGHT FIXTURE - SURFACE/RECESSED/PENDANT.
 - SQUARE DOWNLIGHT FIXTURE - SURFACE OR RECESSED.
 - CIRCULAR DOWN LIGHT FIXTURE - RECESSED.
 - ⊕ EMERGENCY BATTERY PACK LIGHT FIXTURE.
 - ⊕ CEILING/WALL MOUNTED EXIT SIGN - SINGLE FACE. PROVIDE DIRECTIONAL ARROWS PER PLANS.
 - ⊕ CEILING/WALL MOUNTED EXIT SIGN - DOUBLE FACE. PROVIDE DIRECTIONAL ARROWS PER PLANS.
 - S 20A, 1P, 120/277V TOGGLE TYPE LIGHT SWITCH.
 - S₃ 20A, 3-WAY, 120/277V TOGGLE TYPE LIGHT SWITCH.
 - DS DIMMER SWITCH. NUMBER INDICATES WATTAGE.
 - OS CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR. SIMILAR TO LUTRON MODEL # LOS-CDT-1000-WH OR APPROVED EQUAL.
 - PP POWER PACK SIMILAR TO LUTRON MODEL # PP-DV OR AN APPROVED EQUAL.

POWER

- NOTES: REFER TO ARCHITECTURAL DRAWINGS AND ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHTS.
- WP: WEATHER PROOF (NEMA 3R)
 - IG: ISOLATED GROUND.
 - GFI: GROUND FAULT INTERRUPTER.
 - GFCI: GROUND FAULT CIRCUIT INTERRUPTER.
 - ⊕ WALL MOUNTED 20A SINGLE RECEPTACLE (18" AFF UON).
 - ⊕ WALL MOUNTED 20A DUPLEX RECEPTACLE. (18" AFF UON).
 - ⊕ WALL 20A QUADRUPLX RECEPTACLE. (18" AFF UON).
 - ⊕ WALL MOUNTED 20A SINGLE TAMPER RESISTANT RECEPTACLE (18" AFF UON).
 - ⊕ WALL MOUNTED 20A DUPLEX TAMPER RESISANT RECEPTACLE. (18" AFF UON).
 - ⊕ WALL 20A QUADRUPLX TAMPER RESISTANT RECEPTACLE. (18" AFF UON).
 - ⊕ FLOOR MOUNTED 20A DUPLEX TAMPER RESISTANT RECEPTACLE.
 - ⊕ CEILING MOUNTED 20A SIMPLEX RECEPTACLE.
 - ⊕ CEILING MOUNTED 20A DUPLEX RECEPTACLE.
 - ⊕ CEILING MOUNTED QUADRUPLX RECEPTACLE.
 - ⊕ FLOOR MOUNTED 20A SIMPLEX RECEPTACLE.
 - ⊕ FLOOR MOUNTED 20A DUPLEX RECEPTACLE.
 - ⊕ FLOOR MOUNTED 20A QUADRUPLX RECEPTACLE.
 - ⊕ CEILING MOUNTED JUNCTION BOX.
 - ⊕ WALL MOUNTED JUNCTION BOX.
 - ⊕ DISCONNECT SWITCH - NON-FUSED.
 - SURFACE MOUNTED PANEL.
 - RECESSED PANEL.

ELECTRICAL LEGEND

DEMOLITION

- NOTE: REFER TO DEMOLITION DRAWINGS & NOTES FOR REQUIREMENTS.
- R: EXISTING TO BE REMOVED.
 - E: EXISTING TO REMAIN.
 - ER: EXISTING TO BE RELOCATED.
 - RE: RELOCATED EXISTING DEVICE IN NEW LOCATION.
 - ITEMS SHOWN DASHED INDICATE EXISTING TO BE REMOVED.
 - LIGHT LINES INDICATE EXISTING TO REMAIN.

ABBREVIATIONS

A, AMP AMPERES	G, GND GROUND
AB ABOVE	GC GENERAL CONTRACTOR
AC ALTERNATE CURRENT	GFI GROUND FAULT INRRRUPTER
AFF ABOVE FINISHED FLOOR	IG ISOLATED GROUND
ARCH ARCHITECTURAL, ARCHITECT	INCAND INCANDESCENT
BEL BELOW	KAIC KILOAMP INTERRUPTING CURRENT
BKR BREAKER	KVA KILOVOLT AMPERES
C CONDUIT	KW KILOWATTS
CEIL CEILING	LT(S) LIGHT(S)
CKT CIRCUIT	M METER
CM CENTIMETER	MECH MECHANICAL
DC DIRECT CURRENT	MH MOUNTING HEIGHT
D/S DISCONNECT SWITCH	MLO MAIN LUGS ONLY
DISC DISCONNECT SWITCH	MM MILLIMETER
DWG DRAWING	MTD MOUNTED
EC ELECTRICAL CONTRACTOR	NEC NATIONAL ELECTRICAL CODE
EF EXHAUST FAN	NO.# NUMBER
ELEC ELECTRICAL	NTS NOT TO SCALE
EM EMERGENCY	P POLE
EQUIP EQUIPMENT	PH, □ PHASE
EXIST EXISTING	PNL PANEL
FA FIRE ALARM	RECEP RECEPTACLE
FACP FIRE ALARM CONTROL PANEL	RM ROOM
FAAP FIRE ALARM ANNUNCIATOR PANEL	TELE TELEPHONE
FIXT FIXTURE	TYP TYPICAL
FLA FULL LOAD AMPERES	UON UNLESS OTHERWISE NOTED
FLUOR FLUORESCENT	V VOLTS
	W WATTS
	W WITH
	WP WEATHERPROOF

GENERAL

- # INDICATES PLAN NOTE.
- # INDICATES REVISION. CLOUDED AREA CONTAINS THE REVISION.
- # INDICATES ROOM NUMBER.
- ⊕ BRANCH CIRCUIT HOMERUN
- CONDUIT UP
- CONDUIT DOWN
- GROUND

ELECTRICAL NOTES

DEMOLITION NOTES

- WHERE EXISTING FACILITIES ARE BEING ALTERED, DISCONNECT AND REMOVE OR RELOCATE AND EXTEND ALL EXISTING ELECTRICAL WORK THAT INTERFERES WITH OR IS NECESSARY DUE TO SCOPE OF RENOVATION AS SPECIFIED, SHOWN OR REQUIRED. CONTRACTOR TO RELOCATE ANY CONDUIT IN THE WAY OF NEW CONSTRUCTION.
- WHERE SPECIFIED OR REQUIRED, EXTEND EXISTING SYSTEMS OR TIE INTO SAME TO PROVIDE A COMPLETE COORDINATED ELECTRICAL SYSTEM TO SATISFACTION OF OWNER AND ENGINEER.
- ALL EXISTING WORK TO REMAIN ACTIVE, BUT DITURBED OR DISCONNECT DUE TO ALTERATIONS PER THIS RENOVATION SHALL BE REPLACED AND PUT IN OPERATING CONDITION AS REQUIRED TO MAINTAIN CONTINUITY UNLESS INSTRUCTED OTHERWISE IN WRITING BY OWNER OR ENGINEER.
- ALL DISCONNECTED OR ABANDONED WIRE, CABLE AND SURFACE CONDUIT OR RACEWAYS WITHIN THIS CONTRACT SHALL BE REMOVED.
- ALL EXISTING BUILDING MATERIALS DAMAGED DURING RENOVATIONS SHALL BE REPAIRED AND REPLACED BY THE CONTRACTOR. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO CEILING TILES, GRIDS, FLOORING, PARTITIONS AND SIMILAR BUILDING ELEMENTS. ALL DAMAGES TO EXISTING ELEMENTS SHALL BE REPAIRED TO A QUALITY AND FINISH LEVEL OF ADJACENT AREAS/SURFACES AND SUBJECT TO THE APPROVAL OF OWNER AND ENGINEER.
- PROVIDE PHYSICAL AND DUST PROTECTION OF OWNER'S EQUIPMENT, FURNITURE AND FLOORING DURING RENOVATION. EQUIPMENT PROTECTION SHALL BE INSTALLED AND REMOVED ON A DAILY BASIS AS DIRECTED BY OWNER.
- ALL ELECTRICAL WORK DAMAGED DURING RENOVATION SHALL BE REPAIRED AND REPLACED BY THE CONTRACTOR. THIS SHALL INCLUDE, BUT NOT LIMITED TO, RACEWAYS, WIREWAYS, BACKBOXES, LIGHTING FIXTURES, LAMPS, WIRING DEVICES AND SIMILAR ELECTRICAL EQUIPMENT. ALL DAMAGE SHALL BE REPAIRED TO A QUALITY LEVEL SUBJECT TO APPLICABLE CODE AND APPROVAL OF OWNER AND ENGINEER.
- PROVIDE A FINISH GRADE COVERPLATE FOR ALL WALL AND FLOOR BOX DEVICES TO BE REMOVED.
- EXISTING CONDUIT WIREWAYS AND BACKBOXES (IF IT IS AT CODE APPROVED HEIGHT) MAY BE REUSED WHERE NOTED. THE CONTRACTOR SHALL FIELD VERIFY CONDUIT AND BOX SUITABILITY. PROVIDE NEW AS REQUIRED BY ACTUAL FIELD CONDITIONS.
- PROVIDE TOUCH-UP PAINT AND FINISH PAINTING AS REQUIRED IN AREAS AFFECTED BY REMOVAL OF EXISTING EQUIPMENT OR INSTALLATION OF NEW. FINISH AND QUALITY LEVEL SHALL MATCH ADJACENT AREAS AND BE SUBJECT TO APPROVAL OF OWNER AND ENGINEER.
- PERFORM ALTERATIONS AND CONNECTION TO EXISTING FACILITIES WITH A MINIMUM INTERRUPTION. WHERE INTERRUPTION IS REQUIRED, PREPARE A TIME SCHEDULE AND DURATION. COORDINATE AND OBTAIN WRITTEN APPROVAL FROM PRINCIPAL AND OWNER (SDP). PROVIDE AND PLACE NOTICES IN AFFECTED AREAS AND ON FIXTURES OR EQUIPMENT WHICH WILL BE TEMPORARILY OUT OF USE. REMOVE NOTICES WHEN INTERRUPTION IS COMPLETE.
- DISCONNECT AND REMOVE ALL EXISTING SWITCHES AND LIGHT FIXTURES. REMOVE EXISTING LIGHT FIXTURE CONTROL WIRING WITHIN THE ROOM. KEEP EXISTING LIGHTING CIRCUITS FOR REUSE AND CONNECTION FOR NEW LIGHTING FIXTURES WIRING.
- DURING RENOVATION PROVIDE ALL TEMPORARY LIGHTING AND POWER AS REQUIRED. COORDINATE WITH ALL OTHER TRADES FOR TEMPORARY POWER REQUIREMENTS.
- ALL DEMOLITION/REMOVAL SHALL BE PERFORMED IN A NEAT, WORKMANLIKE MANNER WITH GREAT EMPHASIS ON MINIMIZING COLLATERAL DAMAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIALS FROM THE SITE AND DISPOSAL THEREOF, UNLESS SPECIFICALLY NOTED OTHERWISE.
- IT IS INTENDED THAT ALL SURFACE BOXES, CONDUIT AND CABLES BE REMOVED. ALL WIRING TO BE REMOVED. BOXES AND CONDUIT EMBEDDED IN CONCRETE OR WALLS MAY REMAIN, CONDUIT TO BE CUT AT WALL BOUNDARY. BOXES TO BE COVERED WITH A STAINLESS STEEL BLANK COVER.

CODES

- PENNSYLVANIA UNIFORM CONSTRUCTION CODE (PA UCC)
- PHILADELPHIA EXISTING BUILDING CODE (2009)
- INTERNATIONAL BUILDING CODE (IBC 2003)
- PHILADELPHIA ENERGY CONSERVATION CODE
- PHILADELPHIA FIRE CODE
- PHILADELPHIA ELECTRICAL CODE
- PHILADELPHIA PERFORMANCE CODE
- PENNSYLVANIA DEPARTMENT OF EDUCATION REGULATION

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LIGHTING FIXTURE SCHEDULE

ID	DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMP DATA			VOLTS	NOTES
			NO	WATTS	TYPE		
A	2'X4' LED RECESSED FIXTURE	COLUMBIA LIGHTING LEP24-38V1G-LL-B	N/A	45	LED	277	N/A
B	2'X4' SURFACE MOUNT FIXTURE	2TLX44LED2X4-FW-SW-EZ1-LP305-EL14L-3QE	N/A	25	LED	120-277	N/A
C	1'X4' PENDANT WRAPAROUND	LITHONIA LBL4LP35	N/A	32	LED	120-277	N/A

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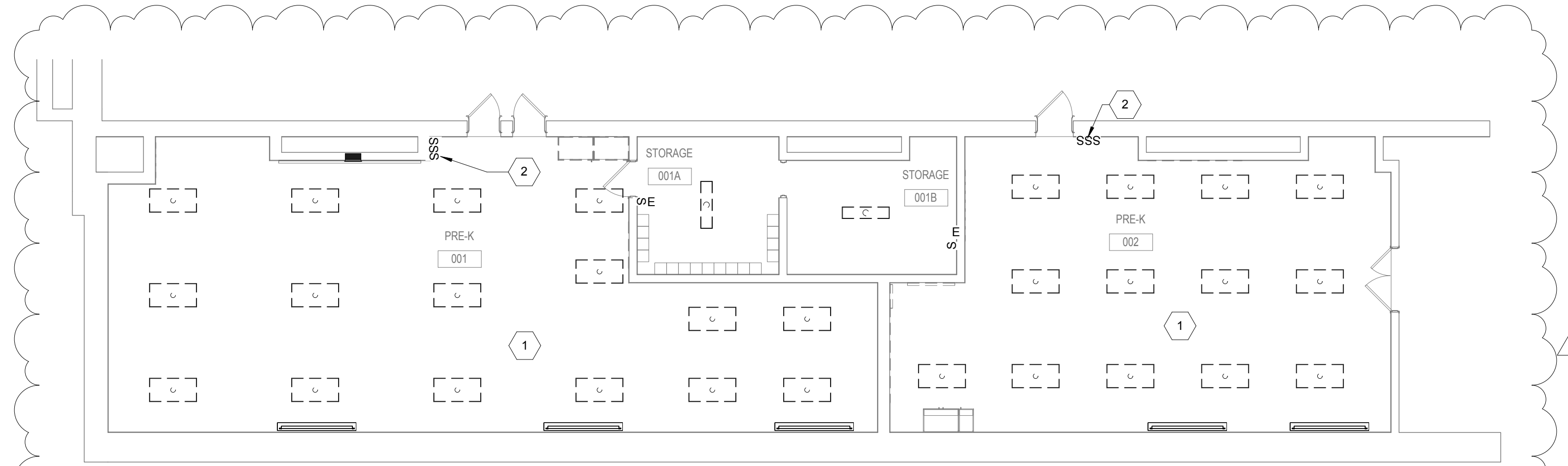
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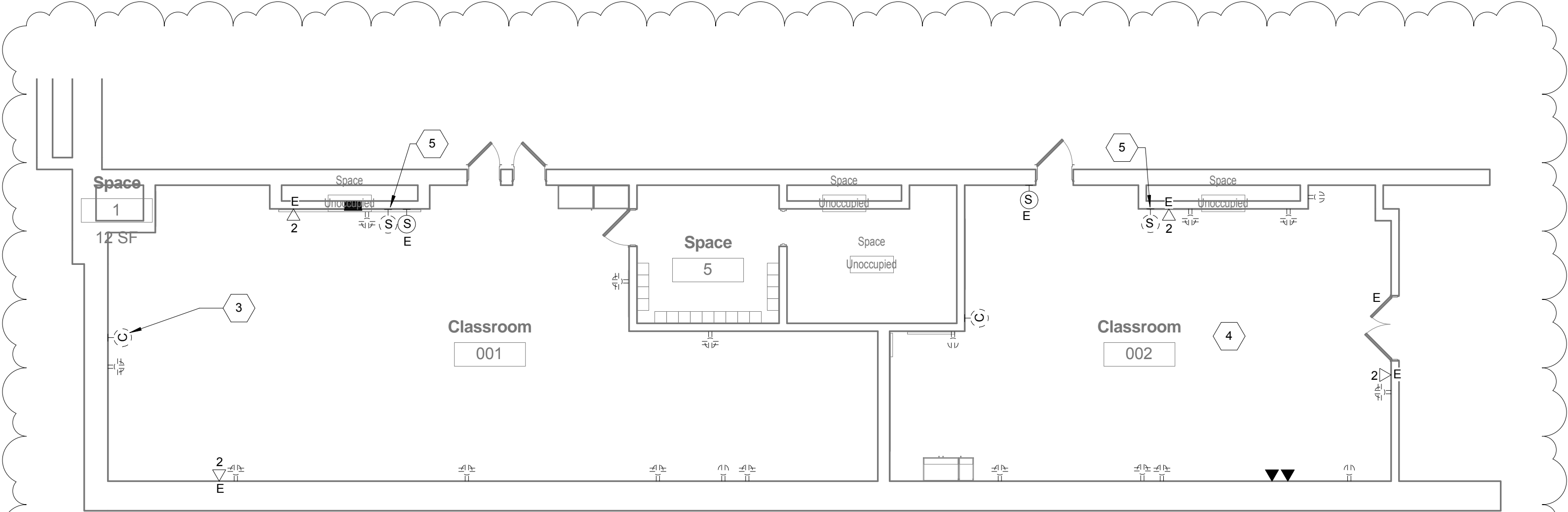
D

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1 BASEMENT LEVEL - LIGHTING FLOOR PLAN - DEMOLITION ROOMS 001 AND 002
1/8" = 1'-0"



2 BASEMENT LEVEL - POWER FLOOR PLAN - DEMOLITION ROOMS 001 AND 002
1/8" = 1'-0"

GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- DISCONNECT AND REMOVE ALL EXISTING LIGHT FIXTURE. EXISTING LIGHTING CIRCUIT TO REMAIN.
- DISCONNECT AND REMOVE ALL EXISTING LIGHT SWITCH WITH COVER PLATE. EXISTING CIRCUIT TO REMAIN. PROVIDE NEW DIMMER SWITCHES IN ITS PLACE WITH COVER PLATE, AND RECONNECT TO EXISTING LIGHTING CIRCUIT.
- DISCONNECT AND REMOVE ALL EXISTING SYNCHRONOUS CLOCKS. PATCH AND PAINT TO MATCH EXISTING SURFACES.
- DISCONNECT AND REMOVE ALL EXISTING RECEPTACLES WITH COVER PLATE. EXISTING CIRCUIT TO REMAIN. PROVIDE NEW TAMPER RESISTANT RECEPTACLES WITH COVER PLAT, AND RECONNECT TO EXISTING CIRCUIT.
- DISCONNECT, REMOVE, AND ABANDON OLD SPEAKER.

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BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

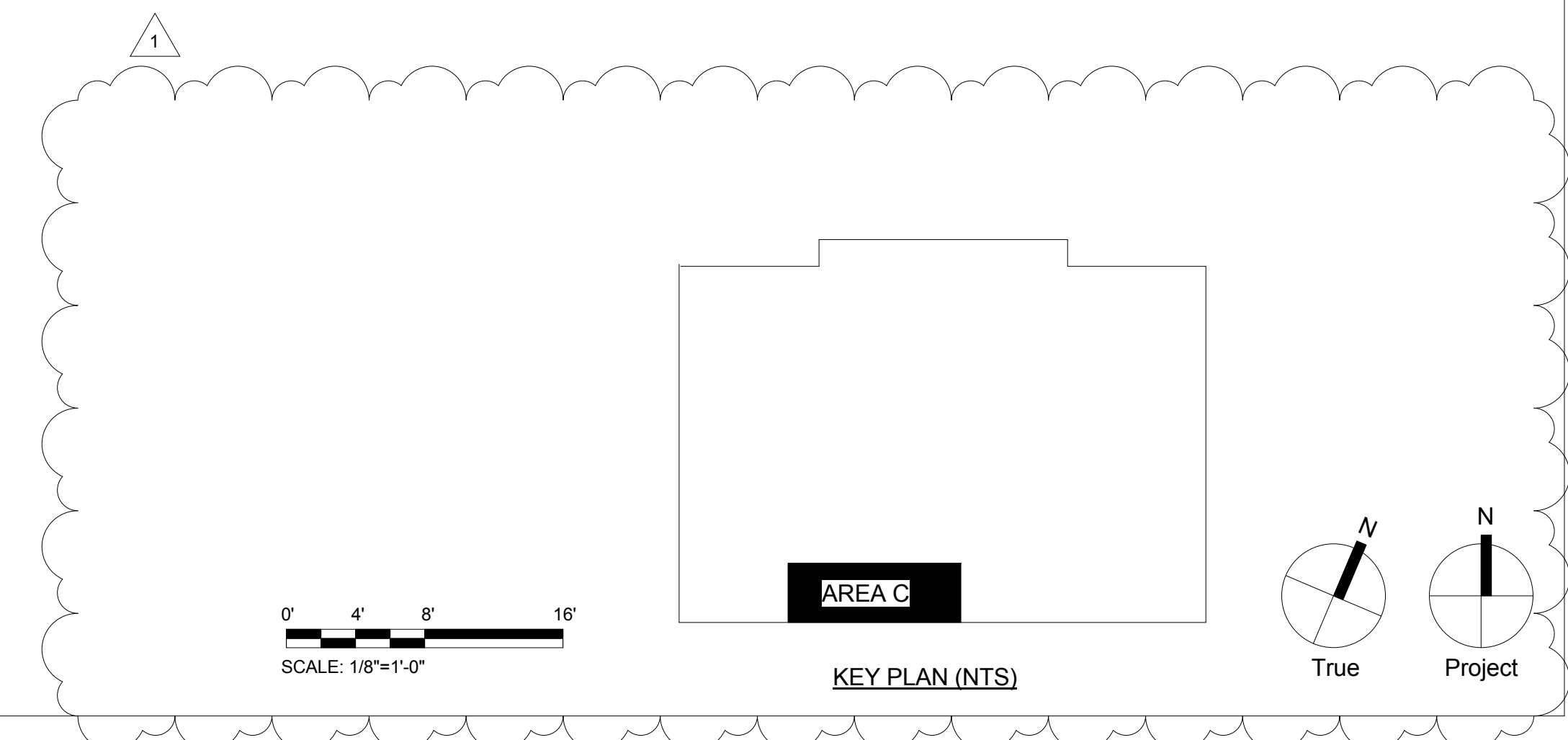
SCHOOL & LOCATION
G.W. Childs School
1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

DRAWING TITLE
BASEMENT LEVEL - ELECTRICAL FLOOR PLANS - DEMOLITION

LOCATION NO.	FILE NO.
XX-XXX	
DRAWN BY Author	CHECKED BY Checker
B-071 C B-074 C	OF 2017/18 OF 2017/18

DRAWING NO.
ED101



GENERAL NOTES

1. REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- 1 DISCONNECT AND REMOVE ALL EXISTING LIGHT SWITCH WITH COVER PLATE, EXISTING CIRCUIT TO REMAIN. PROVIDE NEW DIMMER SWITCHES IN ITS PLACE WITH COVER PLATE, AND RECONNECT TO EXISTING LIGHTING CIRCUIT.
- 2 DISCONNECT AND REMOVE ALL EXISTING LIGHT FIXTURE, EXISTING LIGHTING CIRCUIT TO REMAIN.

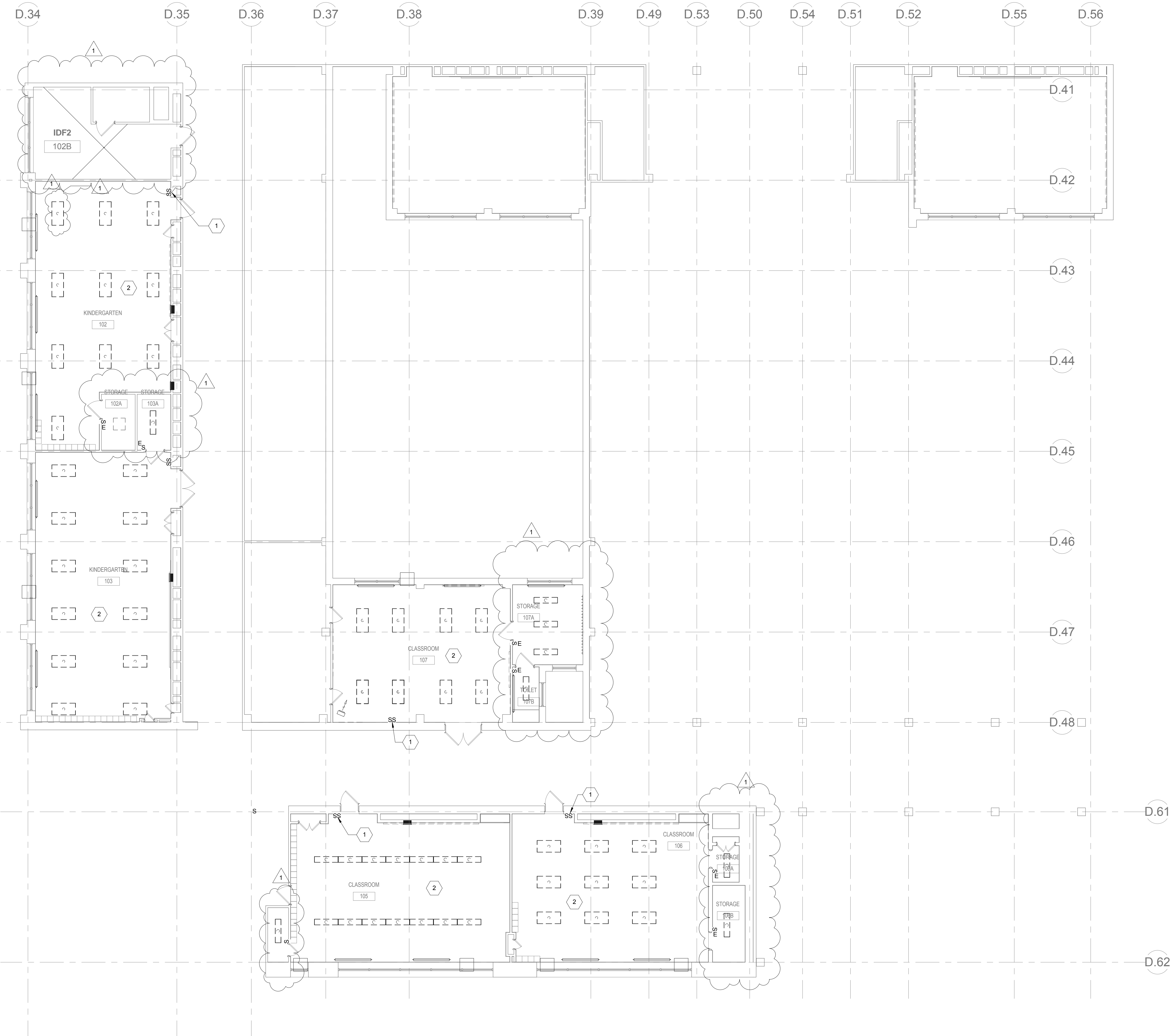
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1 FIRST LEVEL - LIGHTING FLOOR PLAN - DEMOLITION ROOMS 102, 103, 105, 106, 107, 118 AND 121
1/8" = 1'-0"

BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

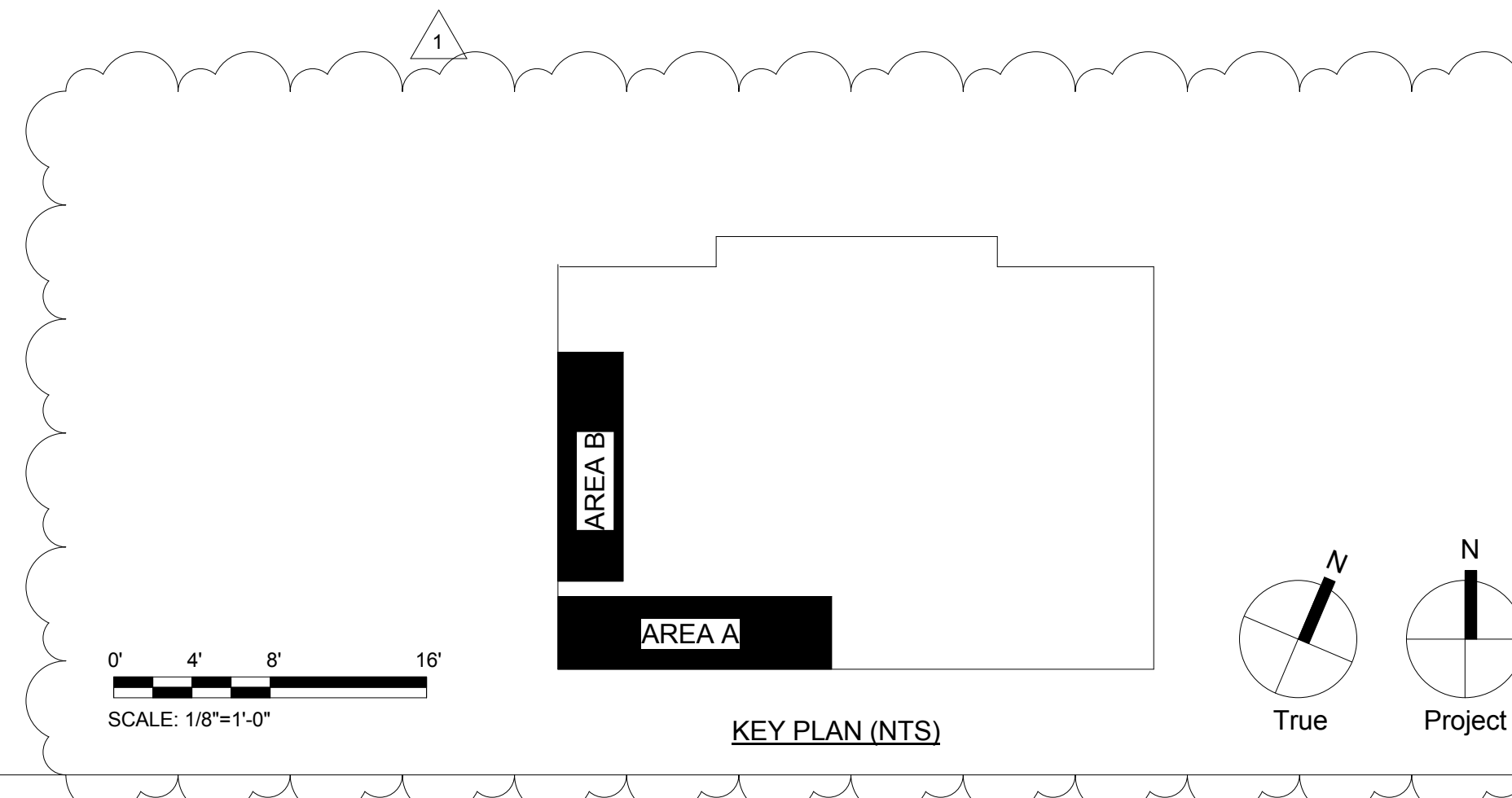
SCHOOL & LOCATION
G.W. Childs School
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PROJECT TITLE
Classroom Modifications to G.W. Childs School

DRAWING TITLE
FIRST LEVEL - LIGHTING FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
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ED111



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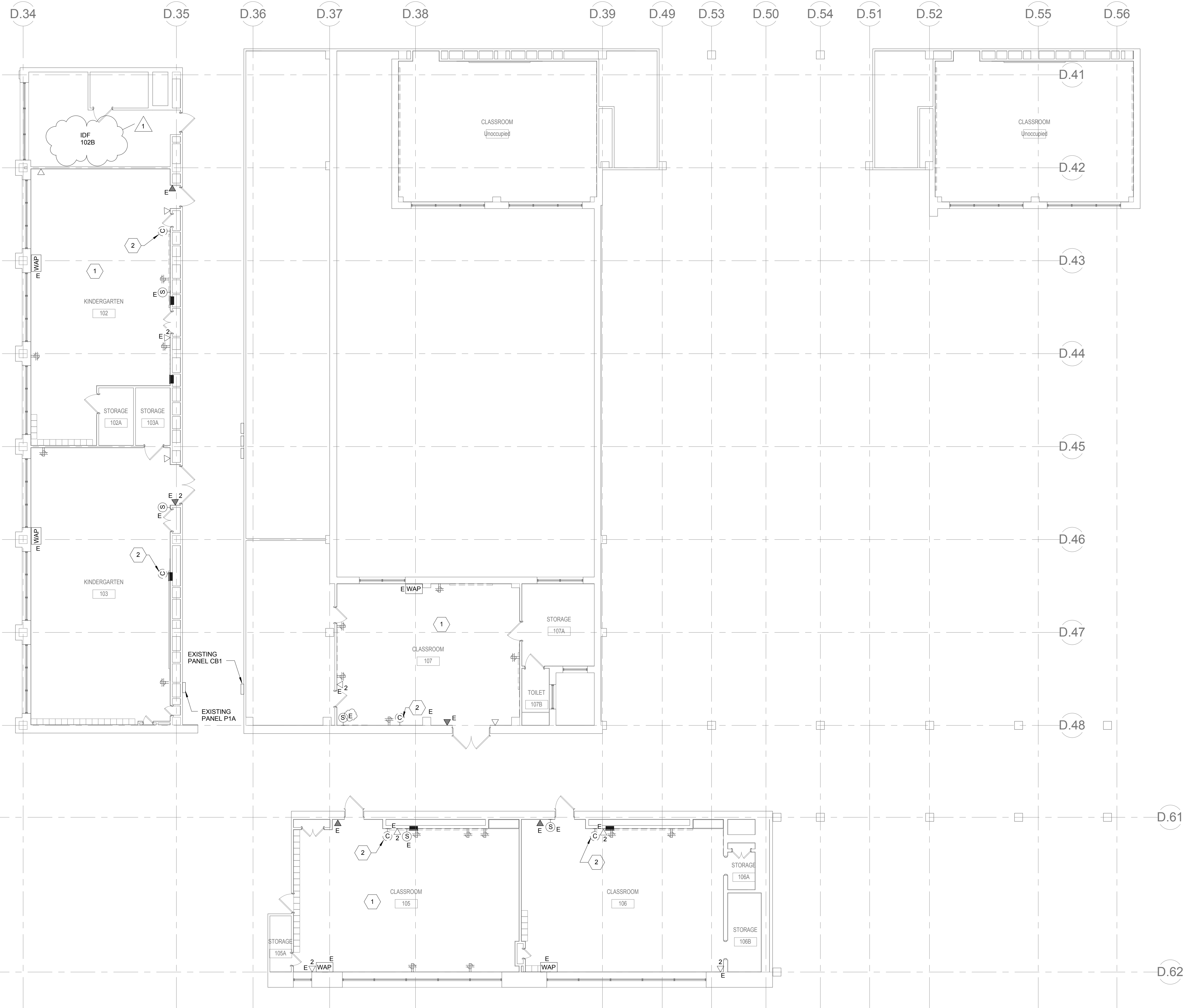
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1 FIRST LEVEL - POWER FLOOR PLAN - DEMOLITION ROOMS 102, 103, 105, 106, 107, 118 AND 121
 1/8" = 1'-0"

GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- DISCONNECT AND REMOVE ALL EXISTING RECEPTACLES WITH COVER PLATE. EXISTING CIRCUIT TO REMAIN. PROVIDE NEW TAMPER RESISTANT RECEPTACLES WITH COVER PLATE, AND RECONNECT TO EXISTING CIRCUIT.
- DISCONNECT AND REMOVE ALL EXISTING SYNCHRONOUS CLOCKS. PATCH AND PAINT TO MATCH EXISTING SURFACES.

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SCHOOL & LOCATION
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PROJECT TITLE
Classroom Modifications to G.W. Childs School

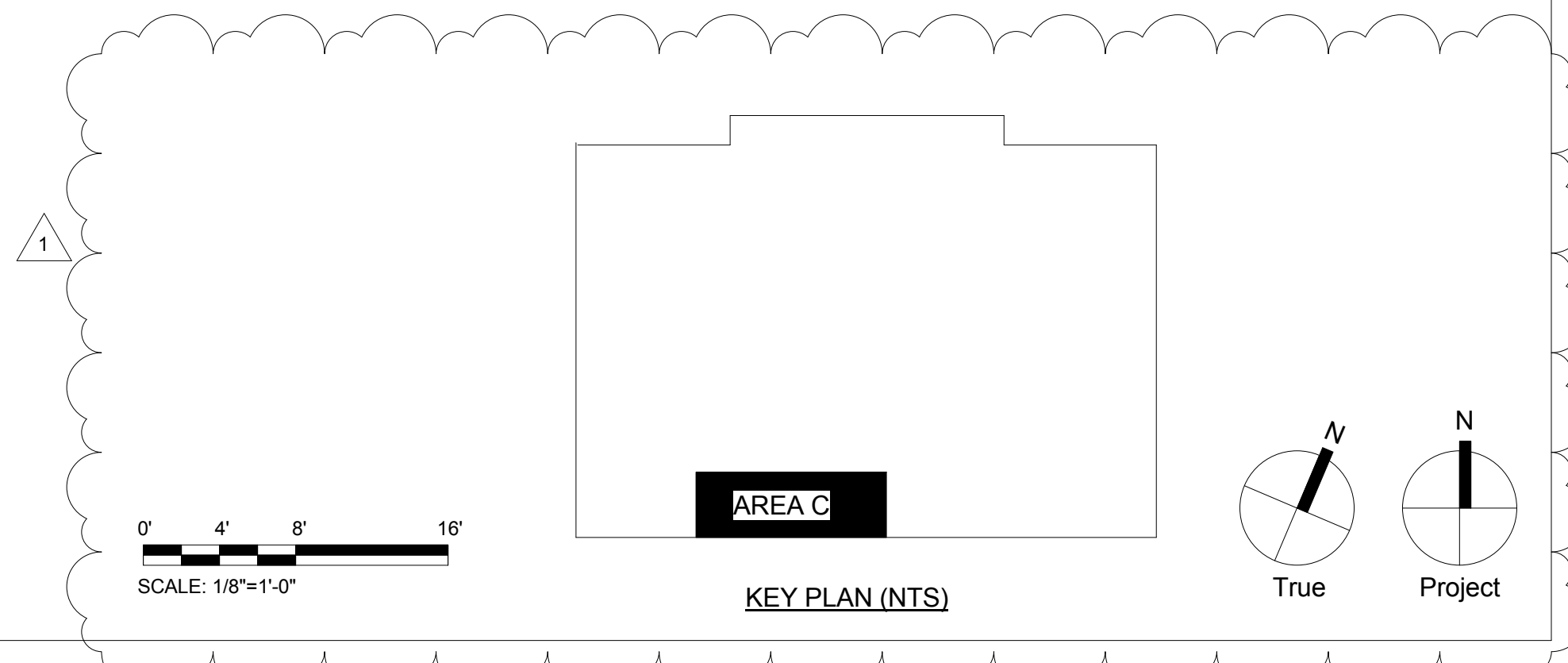
DRAWING TITLE
FIRST LEVEL - POWER FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
XX-XXX	

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B-071 C	OF	2017/18
B-074 C	OF	2017/18

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ED112



GENERAL NOTES

KEYED NOTES

1 DISCONNECT AND REMOVE ALL EXISTING LIGHT FIXTURE. EXISTING LIGHTING CIRCUIT TO REMAIN.

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APRIL 20, 2018

NO.	DATE	REVISION
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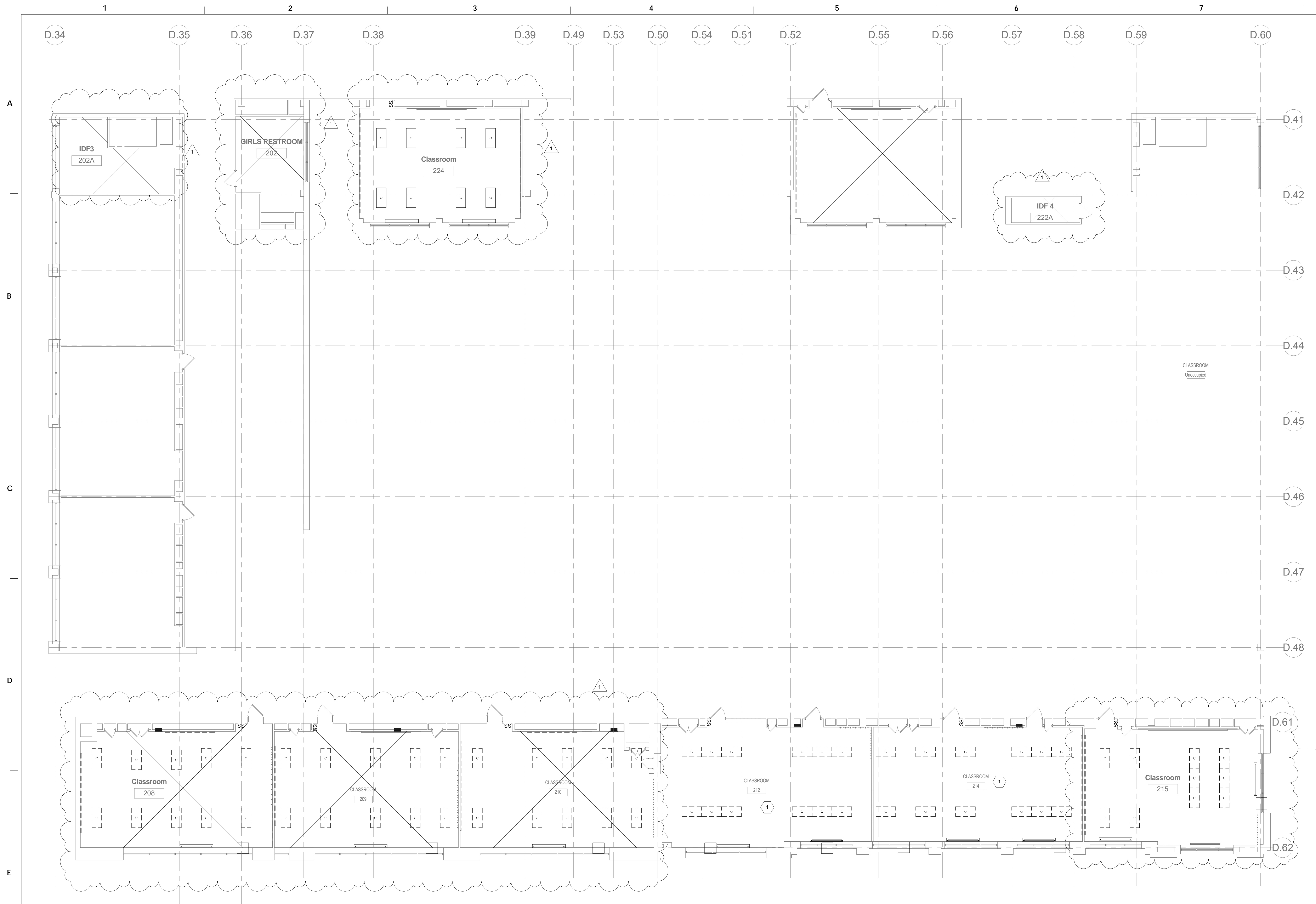
SCHOOL & LOCATION
G.W. Childs School
1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

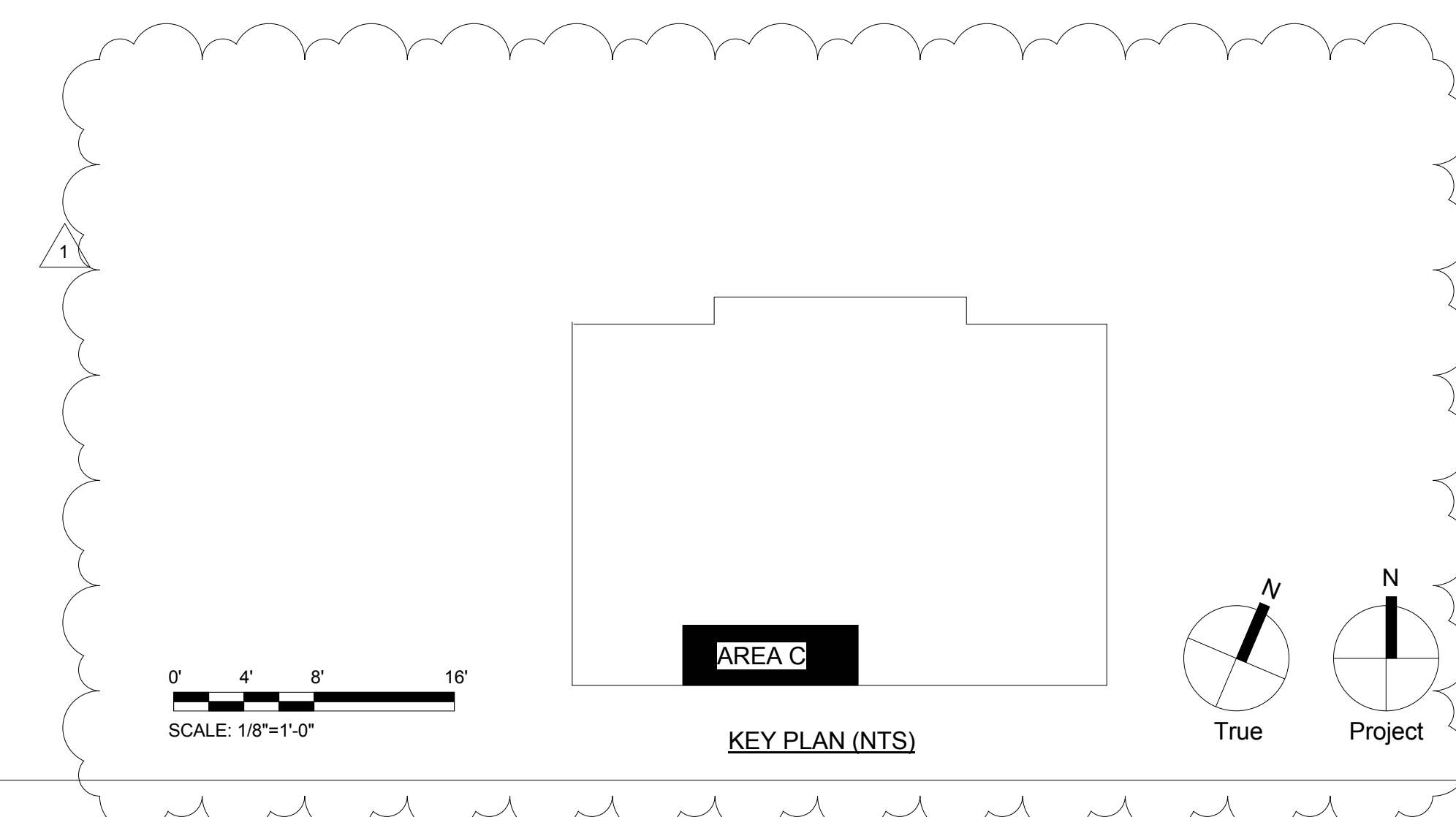
DRAWING TITLE
SECOND LEVEL - LIGHTING FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
XX-XXX	
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B-074 C	OF 2017/18

DRAWING NO.
ED121



1 SECOND LEVEL - LIGHTING FLOOR PLAN - DEMOLITION ROOMS 208, 209, 210, 212, 214, 215 AND 224
1/8" = 1'-0"



SEAL:

GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- DISCONNECT AND REMOVE ALL EXISTING RECEPTACLES WITH COVER PLATE. EXISTING CIRCUIT TO REMAIN. PROVIDE NEW TAMPER RESISTANT RECEPTACLES WITH COVER PLATE, AND RECONNECT TO EXISTING CIRCUIT.
- DISCONNECT AND REMOVE ALL EXISTING SYNCHRONOUS CLOCKS. PATCH AND PAINT TO MATCH EXISTING SURFACES.

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BID DOCUMENTS
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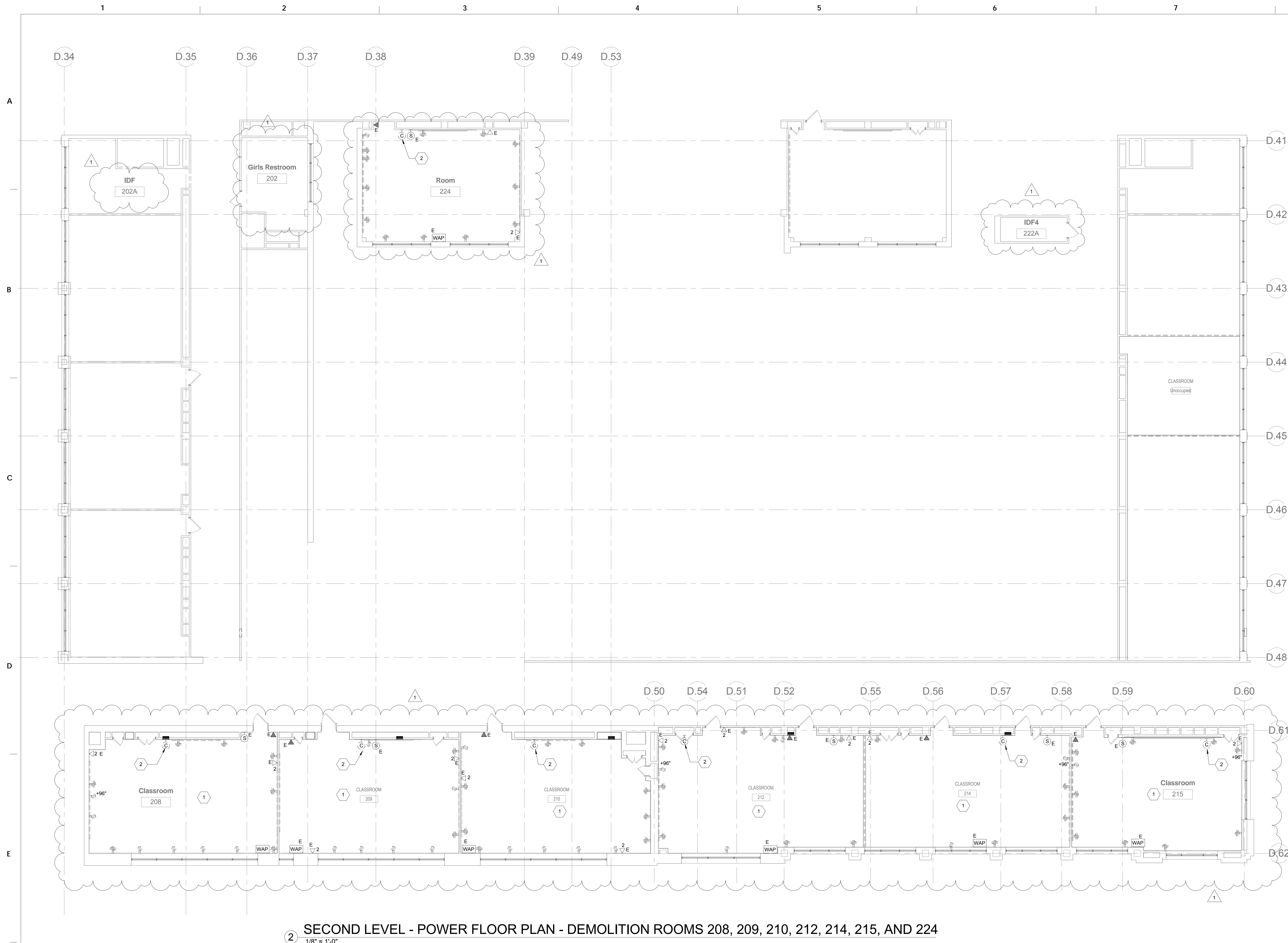
SCHOOL & LOCATION
G.W. Childs School
1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

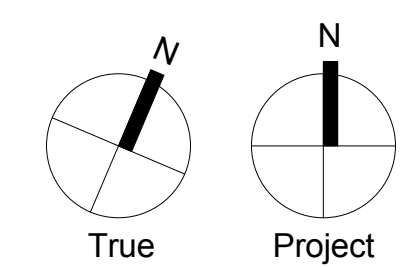
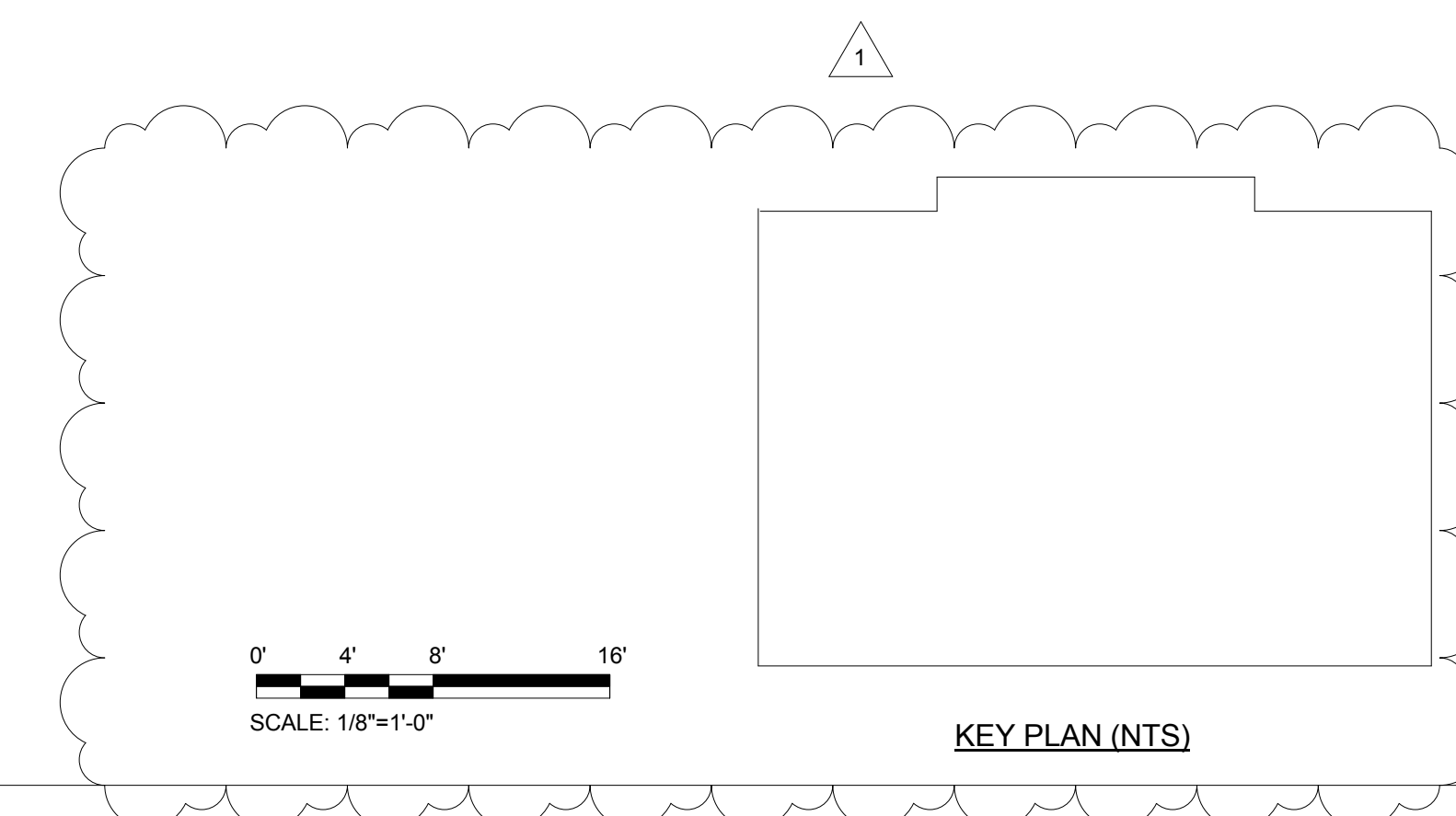
DRAWING TITLE
SECOND LEVEL - ELECTRICAL FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
XX-XXX	
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B-071 C	OF 2017/18
B-074 C	OF 2017/18

DRAWING NO.
ED122



2 SECOND LEVEL - POWER FLOOR PLAN - DEMOLITION ROOMS 208, 209, 210, 212, 214, 215, AND 224
1/8" = 1'-0"



GENERAL NOTES

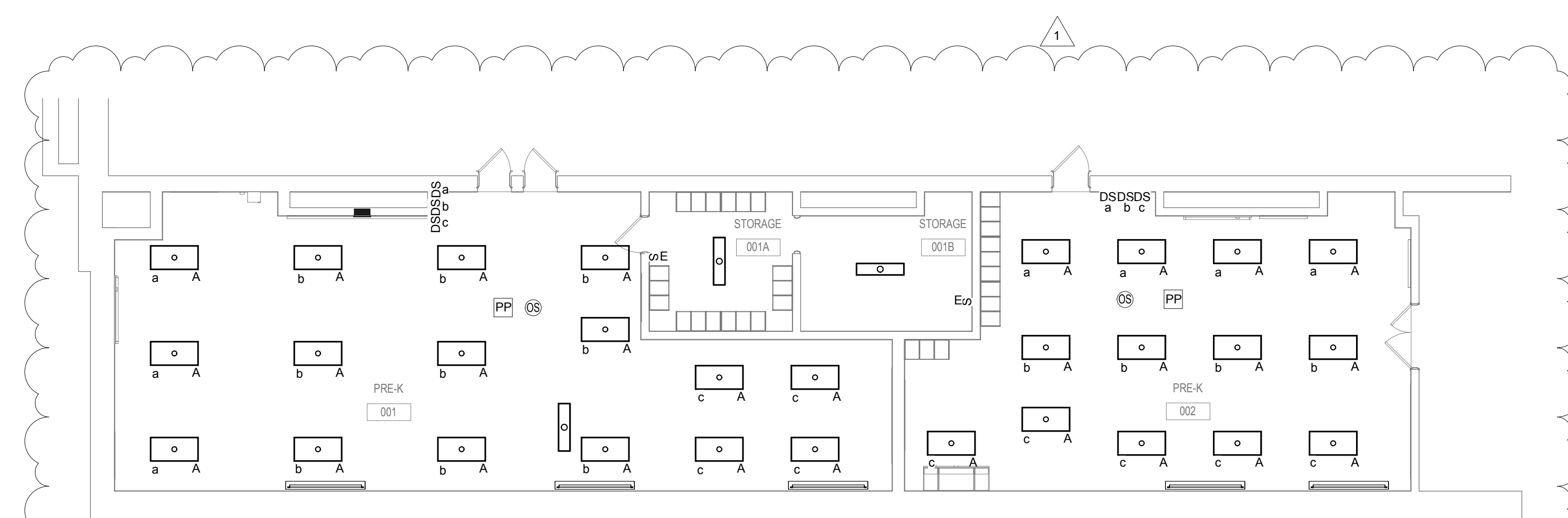
- 1. REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

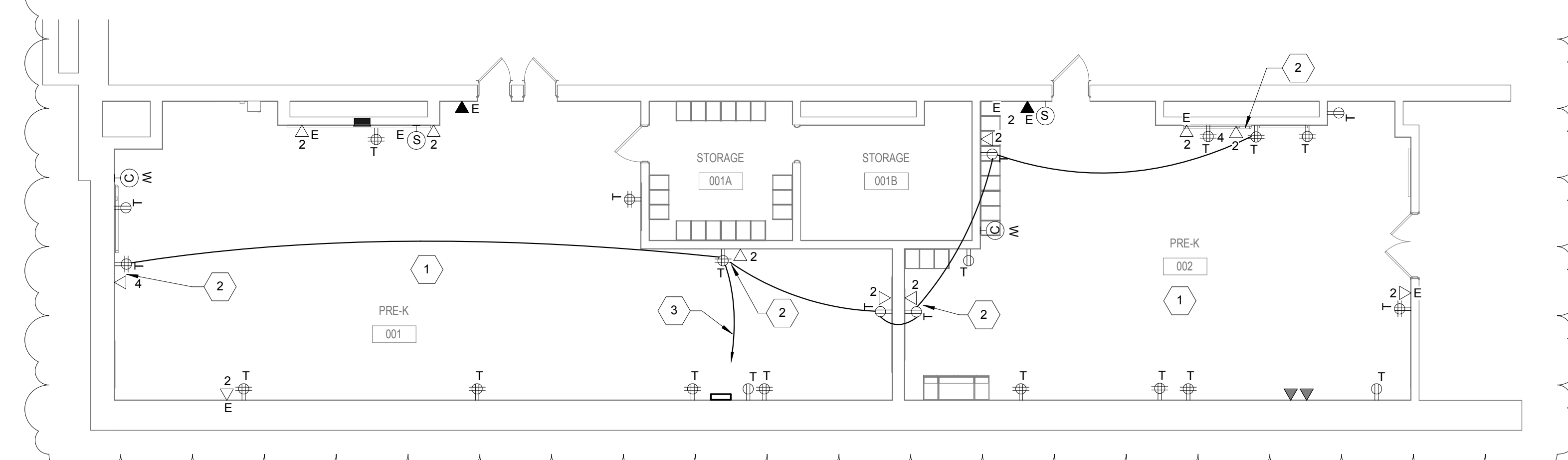
- 1. PROVIDE NEW TAMPER-RESISTANT WITH COVER PLATE RECEPTACLE IN EXISTING BACK BOX AND CONNECT TO EXISTING CIRCUIT.
- 2. SURFACE MOUNT NEW RECEPTACLE, DATA OUTLET AND ASSOCIATED CONDUITS. CONTRACTOR SHALL COORDINATE LOCATION AND ITS FEASIBILITY OF NEW RECEPTACLE AND DATA OUTLET PRIOR TO INSTALLATION.
- 3. CONNECT EACH CIRCUIT TO AN EXISTING 20A, 1P SPARE CIRCUIT BREAKER #25,27 AND 29 IN PANEL B1.

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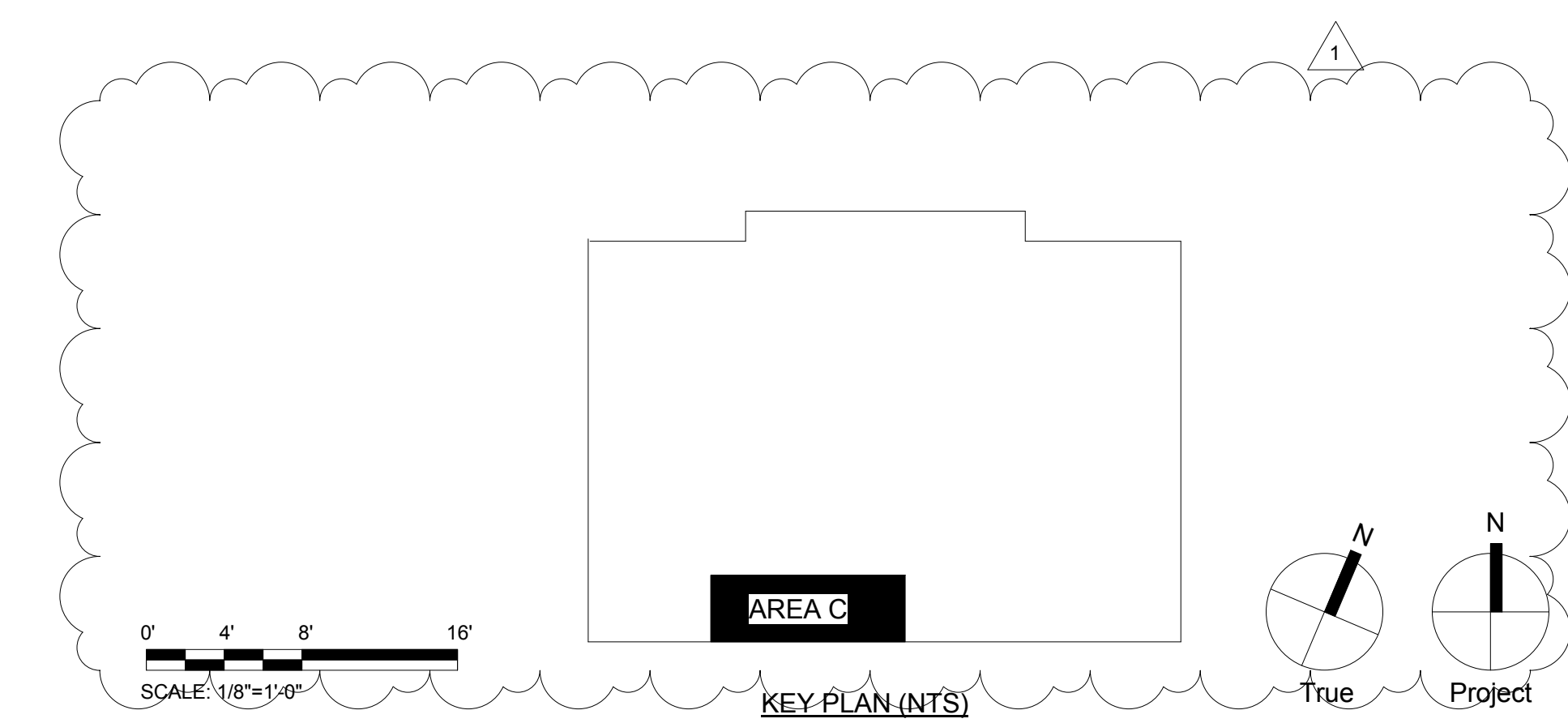
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1 BASEMENT LEVEL - LIGHTING FLOOR PLAN - NEW WORK ROOMS 001 AND 002
 1/8" = 1'-0"



2 BASEMENT LEVEL - POWER FLOOR PLAN - NEW WORK ROOMS 001 AND 002
 1/8" = 1'-0"



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APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

SCHOOL & LOCATION
G.W. Childs School
 1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

DRAWING TITLE
BASEMENT LEVEL - ELECTRICAL FLOOR PLANS - NEW WORK

LOCATION NO.	FILE NO.
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B-074 C	OF 2017/18

DRAWING NO.
E101

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1 FIRST LEVEL - LIGHTING FLOOR PLAN - NEW WORK ROOMS 102, 103, 105, 106, 107, 118 AND 121
 1/8" = 1'-0"

GENERAL NOTES

1. REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

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SCHOOL & LOCATION
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PROJECT TITLE
Classroom Modifications to G.W. Childs School

DRAWING TITLE
 FIRST LEVEL - LIGHTING FLOOR PLAN - NEW WORK

LOCATION NO.	FILE NO.
XX-XXX	

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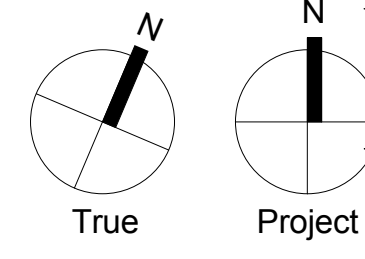
	OF	2017/18
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B-074 C	OF	2017/18

DRAWING NO.
E111



SCALE: 1/8"=1'-0"

KEY PLAN (NTS)



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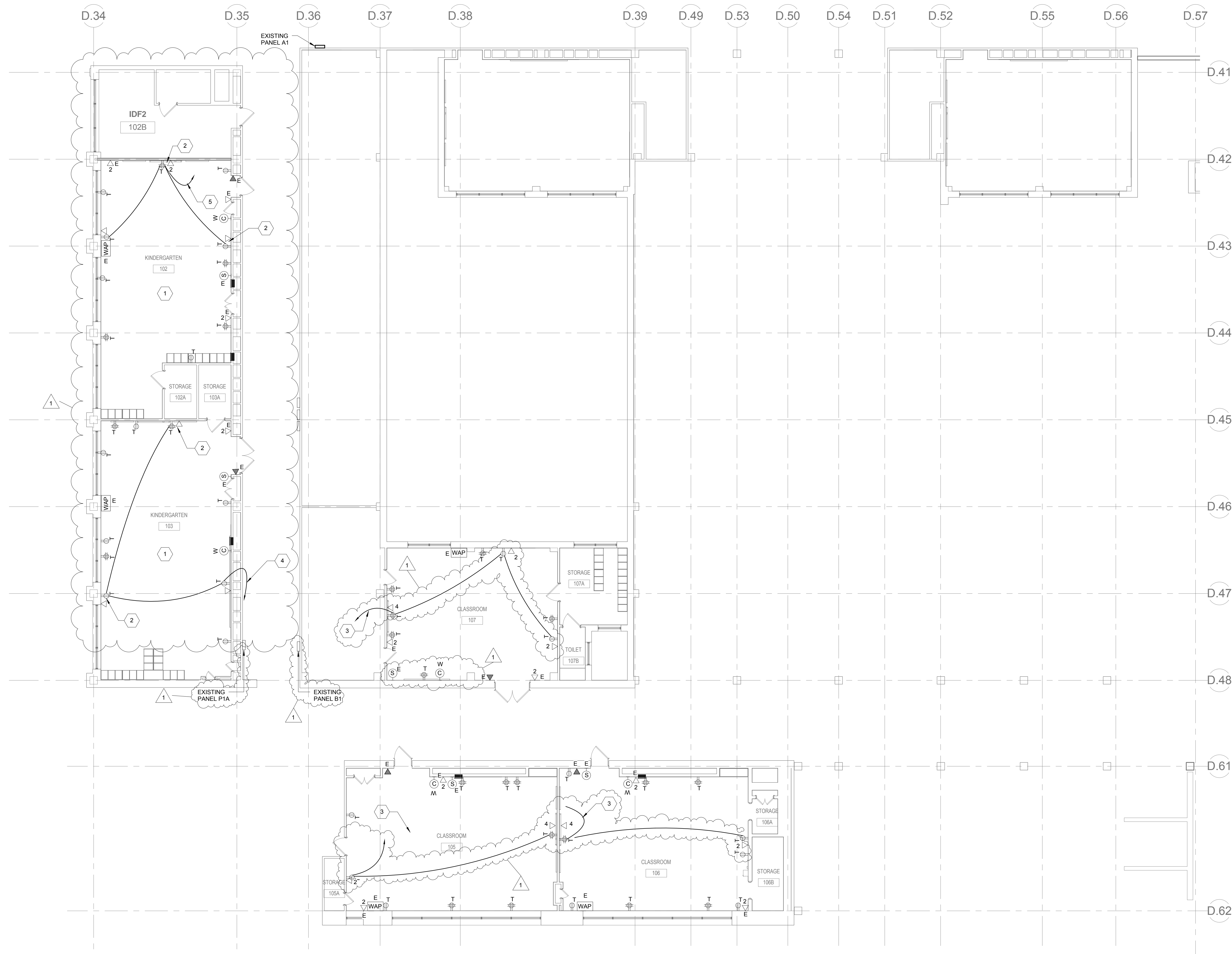
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1 FIRST LEVEL - POWER FLOOR PLAN - NEW WORK ROOMS 102, 103, 105, 106 AND 107
1/8" = 1'-0"

GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- PROVIDE NEW TAMPER-RESISTANT WITH COVER PLATE RECEPTACLE IN EXISTING BACK BOX AND CONNECT TO EXISTING CIRCUIT.
- SURFACE MOUNT NEW RECEPTACLE, DATA OUTLET AND ASSOCIATED CONDUITS. CONTRACTOR SHALL COORDINATE LOCATION AND ITS FEASIBILITY OF NEW RECEPTACLE AND DATA OUTLET PRIOR TO INSTALLATION.
- CONNECT EACH CIRCUIT TO AN EXISTING 20A, 1P SPARE CIRCUIT BREAKER #25, 27 AND 29 IN PANEL B1.
- CONNECT TO AN EXISTING 20A, 1P SPARE CIRCUIT BREAKER #1 IN PANEL P1A.
- CONNECT EACH CIRCUIT TO AN EXISTING 20A, 1P SPARE CIRCUIT BREAKER #25 AND 29 IN PANEL A1.

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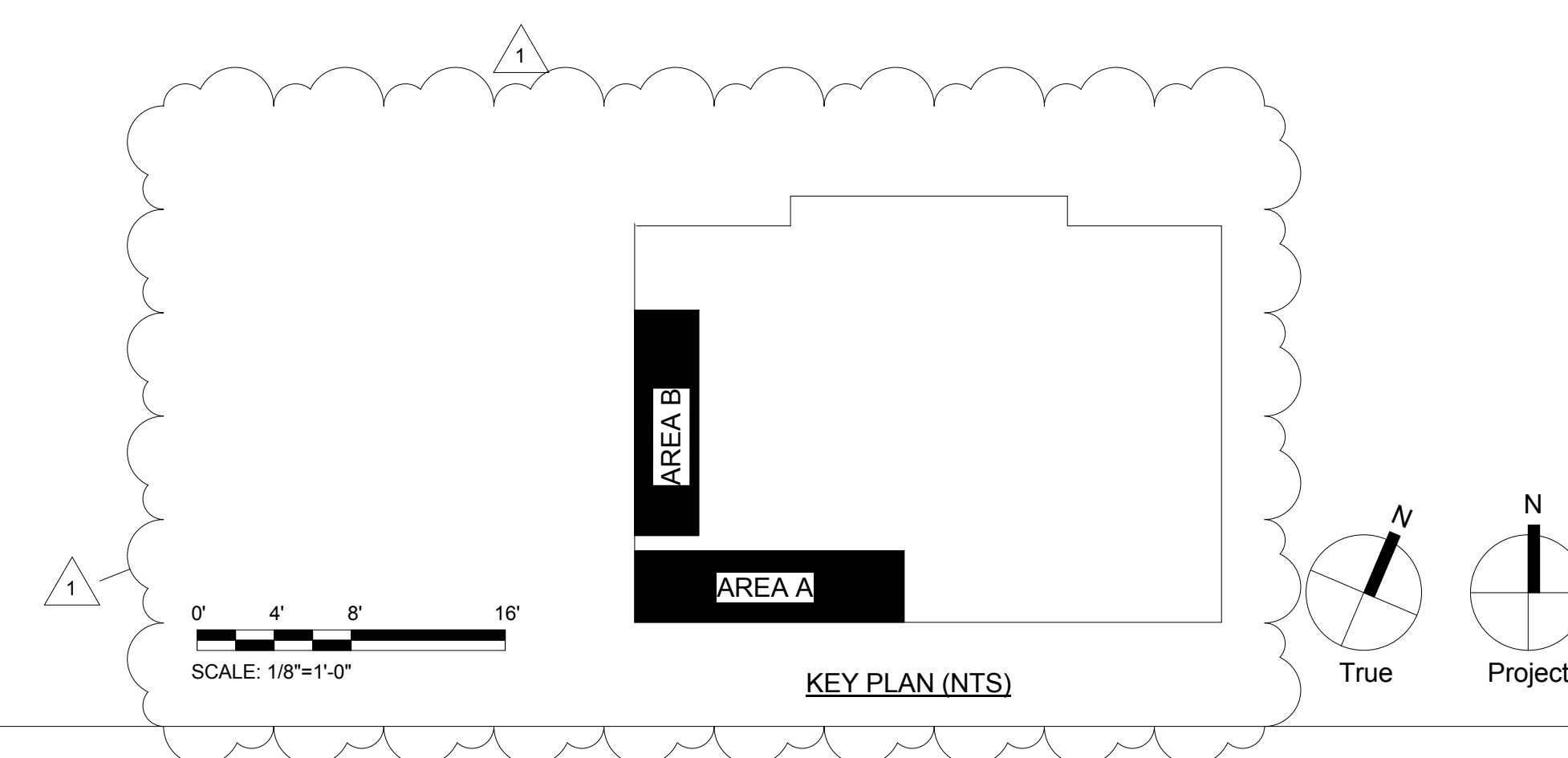
SCHOOL & LOCATION
G.W. Childs School
1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

DRAWING TITLE
FIRST LEVEL - ELECTRICAL FLOOR PLANS - NEW WORK

LOCATION NO.	FILE NO.
XX-XXX	
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B-071 C B-074 C	OF 2017/18 OF 2017/18

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E112



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GENERAL NOTES

1. REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

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APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

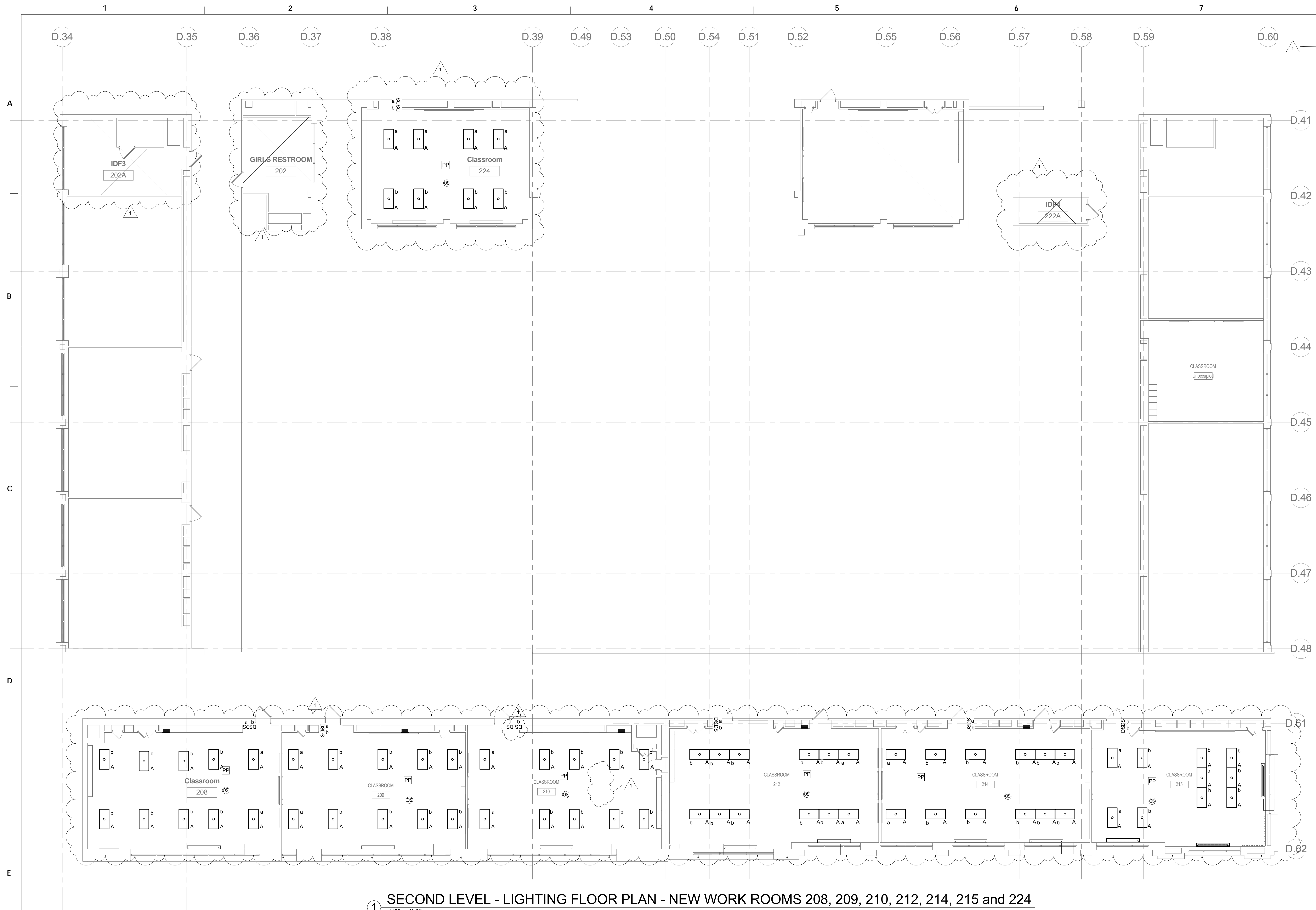
SCHOOL & LOCATION
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1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
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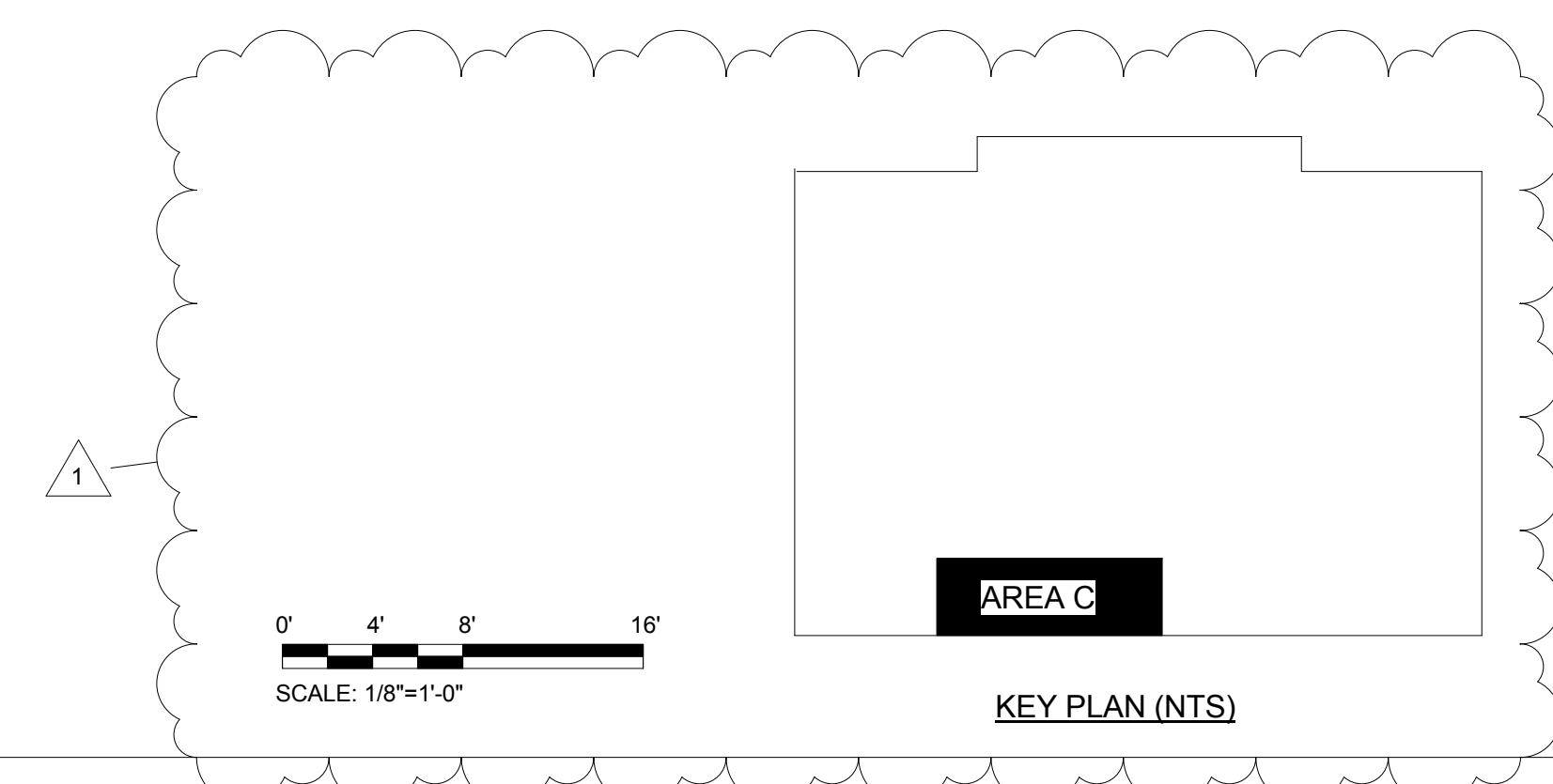
DRAWING TITLE
SECOND LEVEL - LIGHTING FLOOR PLAN - NEW WORK

LOCATION NO.	FILE NO.
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E121



1 **SECOND LEVEL - LIGHTING FLOOR PLAN - NEW WORK ROOMS 208, 209, 210, 212, 214, 215 and 224**
1/8" = 1'-0"



DRAWING NO. **E121**

SEAL:

GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- PROVIDE NEW TAMPER-RESISTANT WITH COVER PLATE RECEPTACLE IN EXISTING BACK BOX AND CONNECT TO EXISTING CIRCUIT.
- SURFACE MOUNT NEW RECEPTACLE, DATA OUTLET AND ASSOCIATED CONDUITS. CONTRACTOR SHALL COORDINATE LOCATION AND FEASIBILITY OF NEW RECEPTACLE AND DATA OUTLET PRIOR TO INSTALLATION.
- CONNECT EACH CIRCUIT TO AN EXISTING 20A 1P SPARE CIRCUIT BREAKER #29 AND 30 IN PANEL C2.
- CONNECT EACH CIRCUIT TO AN EXISTING 20A 1P SPARE CIRCUIT BREAKER #27 IN PANEL B2.

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BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

LOCATION & LOCATION

G.W. Childs School
1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

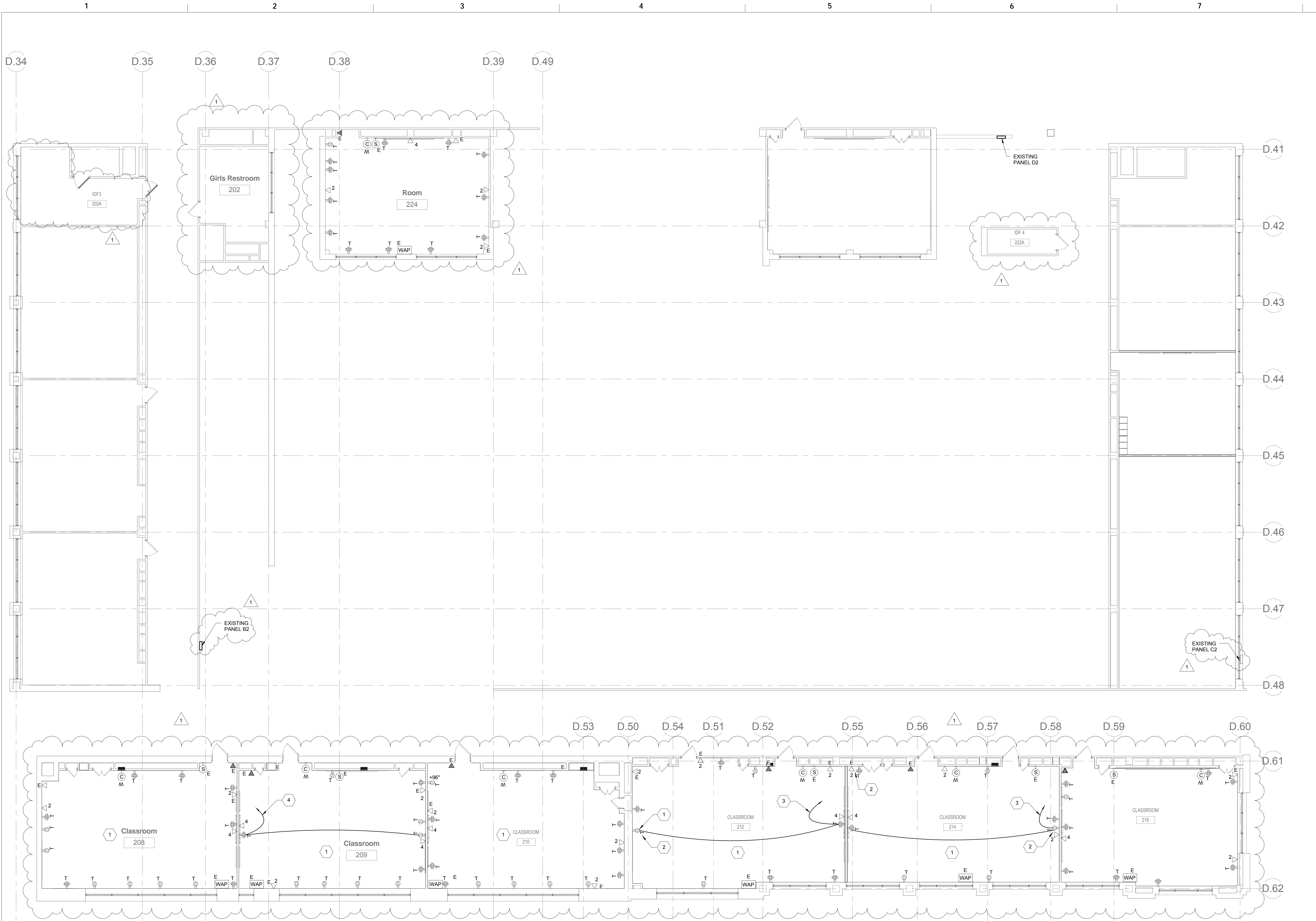
DRAWING TITLE
SECOND LEVEL - ELECTRICAL FLOOR PLAN - NEW WORK

LOCATION NO.	FILE NO.
XX-XXX	

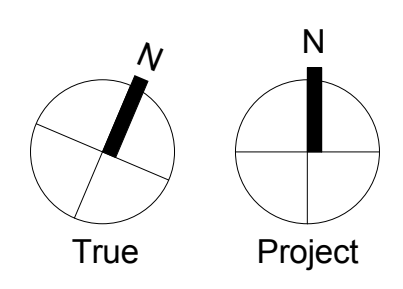
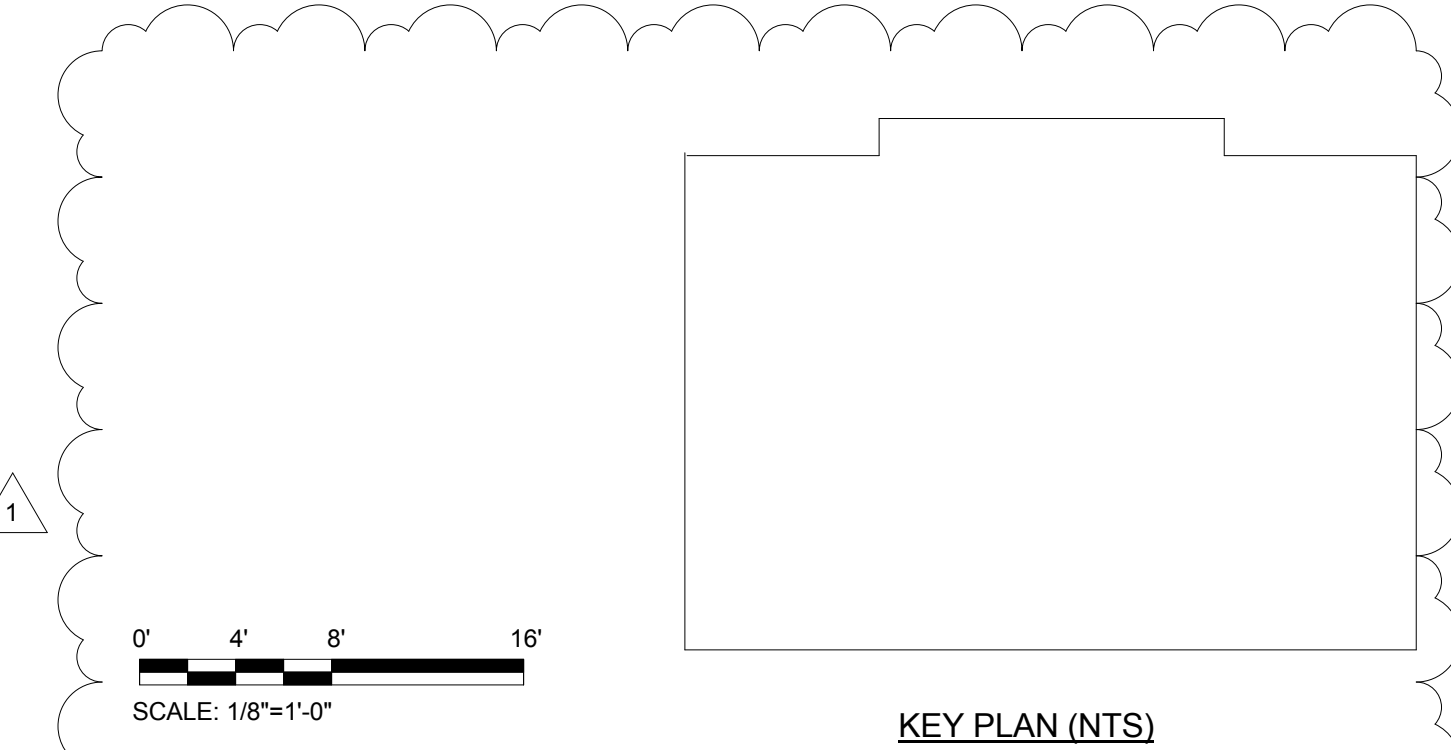
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Author	Checker

	OF	2017/18
B-071 C	OF	2017/18
B-074 C	OF	2017/18

DRAWING NO.
E122



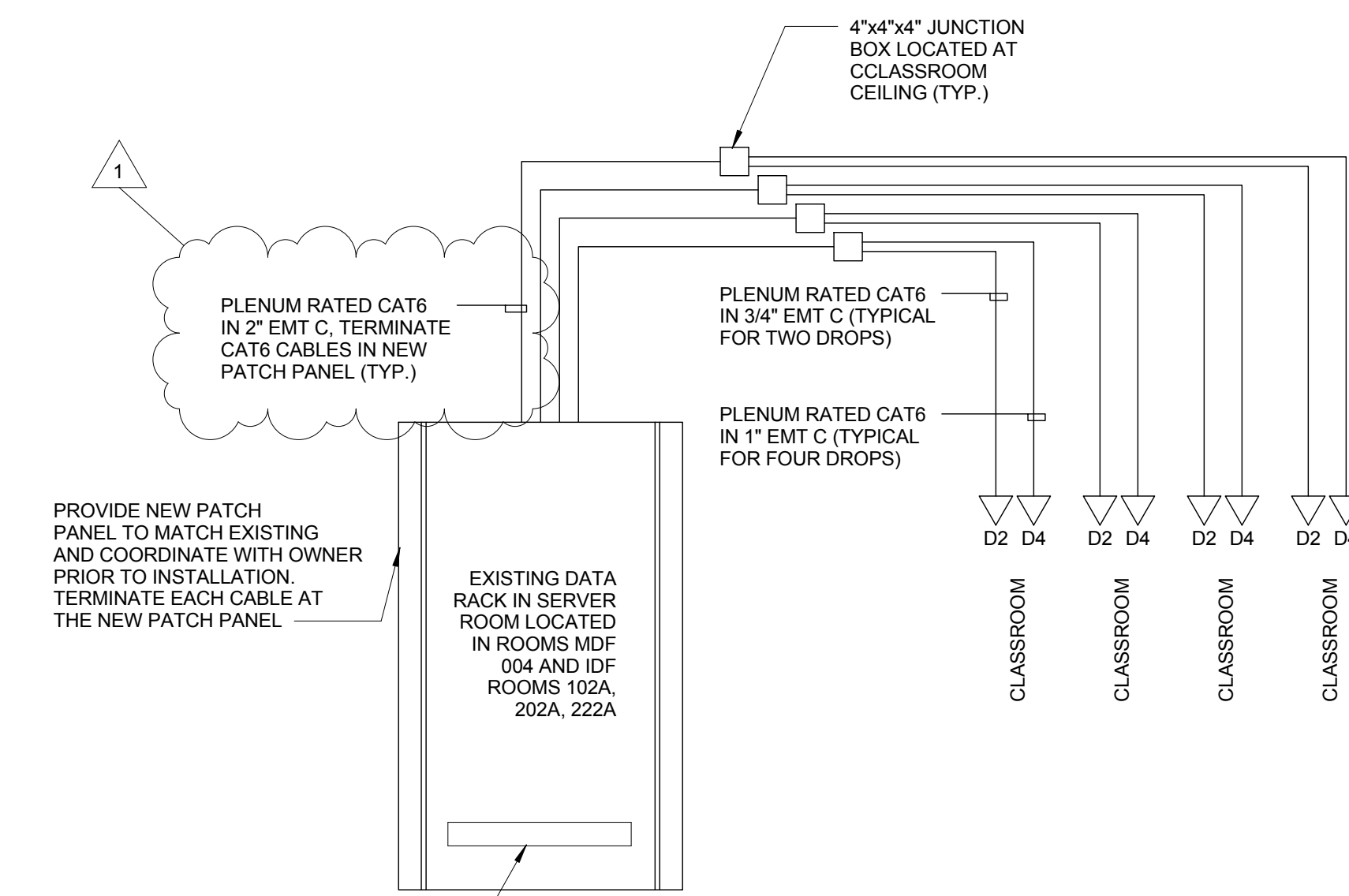
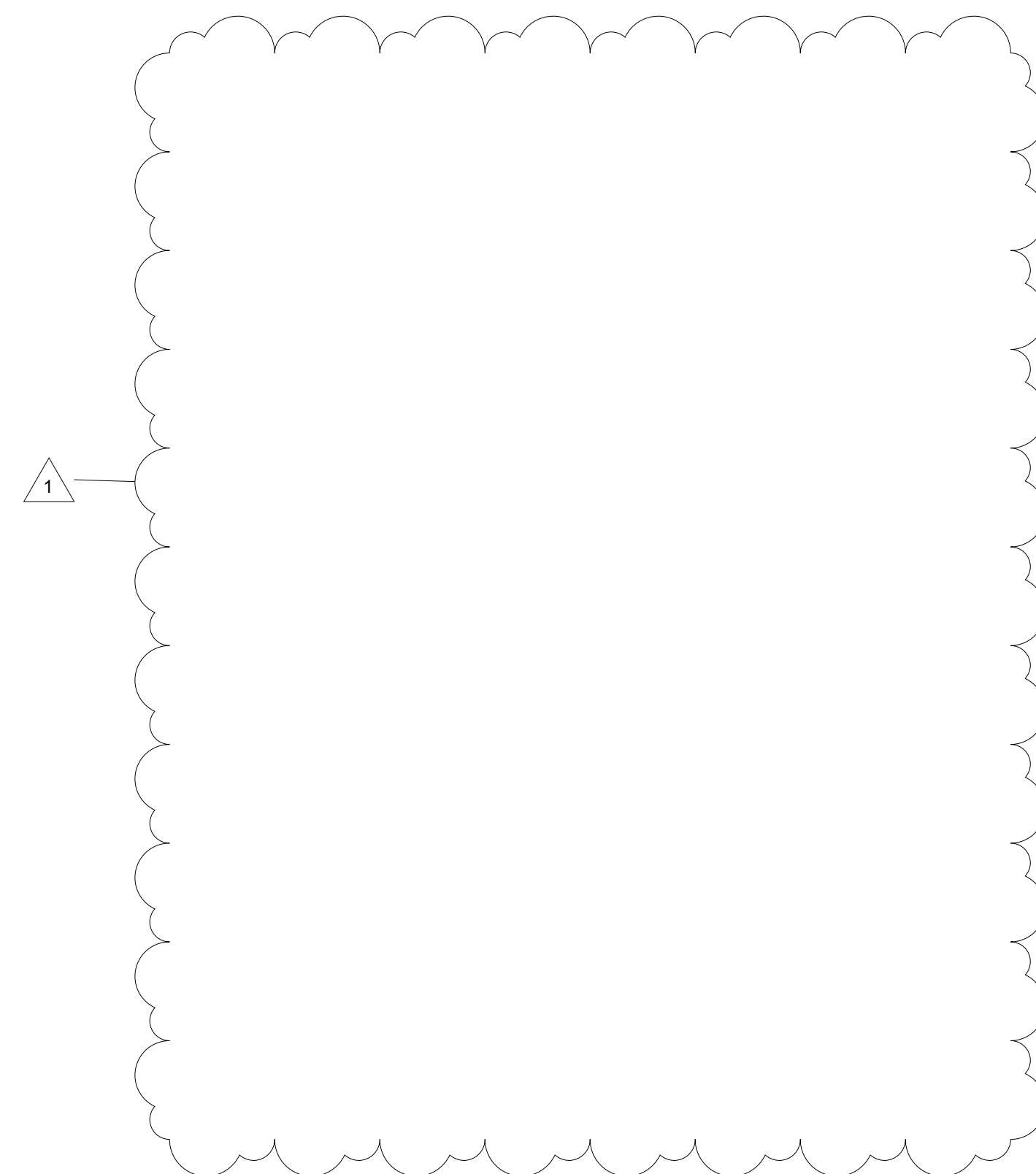
2 SECOND LEVEL - POWER FLOOR PLAN - NEW WORK ROOMS 208, 209, 210, 212, 214, 215, and 224
1/8" = 1'-0"



SEAL:

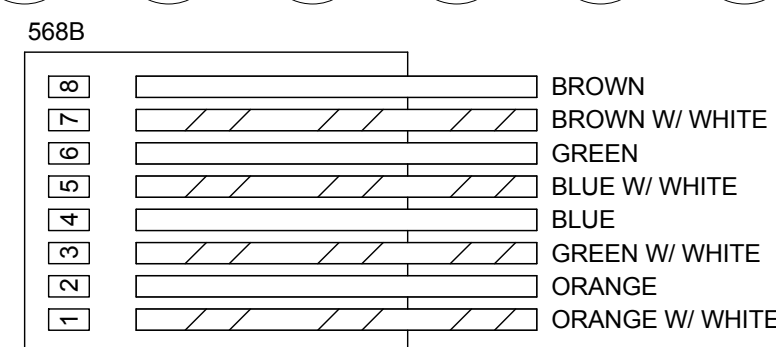
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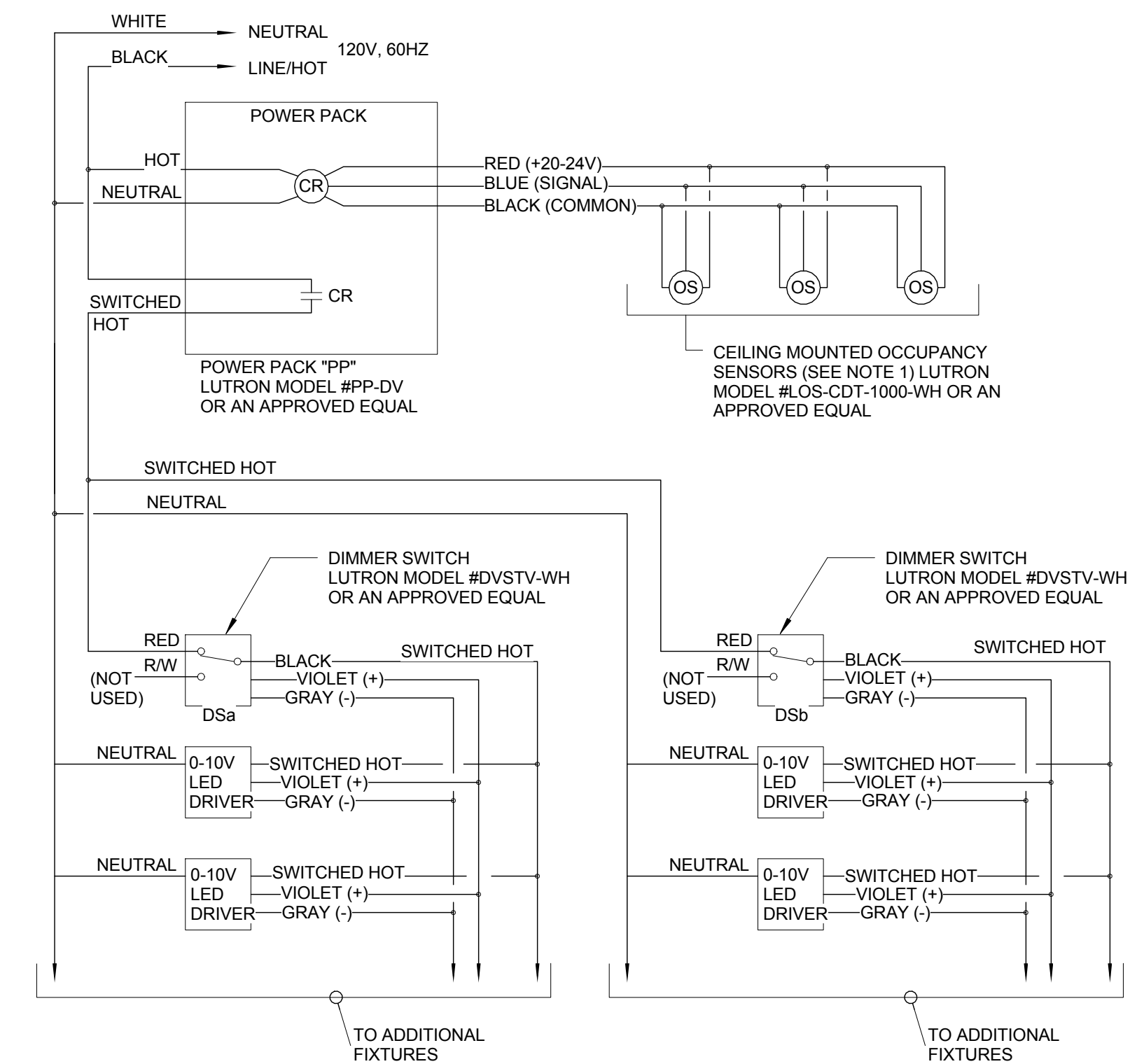
- PROVIDE NEW PATCH PANEL TO MATCH EXISTING AND COORDINATE WITH OWNER PRIOR TO INSTALLATION. TERMINATE EACH CABLE AT THE NEW PATCH PANEL.
- NEW WIRELESS MASTER CLOCK HEADEND EQUIPMENT COORDINATE EXACT LOCATION WITH SDP IT DEPARTMENT
- NOTES**
1. ELECTRICAL CONTRACTOR IS TO TEST EACH INDIVIDUAL DATA DROP AFTER TERMINATION AND PROVIDE A REPORT OF ALL DROPS TO SDP IT DEPARTMENT. SDP IT DEPARTMENT WILL BE RESPONSIBLE FOR FINAL CONNECTION AND ACTIVATION.
 2. FOR EXACT NUMBER AND LOCATION OF DATA OUTLETS SEE POWER FLOOR PLANS NEW WORK.
 3. FOR ALL COMMUNICATION REQUIREMENT SEE SPECIFICATION 271300 (COMMUNICATION SYSTEM).

1 DATA RISER DIAGRAM
NTS



- NOTE**
1. ALL RJ45 TERMINATION POINTS SHALL BE CONFIGURED TO THE EIA/TIA 568B STANDARD UNLESS SPECIFICALLY DIRECTED OTHERWISE BY SDP AUTHORIZED REPRESENTATIVE.

4 RJ45 TERMINATION DETAIL
NTS



- NOTES**
1. MAXIMUM COMBINATION OF THREE OCCUPANCY SENSORS AND/OR RELAY UNITS PER CONTROL UNIT.
 2. CONTRACTOR SHALL VERIFY CONTROLS COMPATIBILITY OF ALL DEVICE AND FIXTURE WITH MANUFACTURERS PRIOR TO PURCHASE.
 3. DIAGRAM IS SCHEMATIC AND TO SHOW DESIGN INTENT AND IT IS BASED ON LUTRON PRODUCTS. CONTRACTOR SHALL VERIFY EXACT WIRING CONFIGURATION AND REQUIREMENTS PRIOR TO CONSTRUCTION.

TYPICAL CLASSROOM LED LIGHTING CONTROL SCHEMATIC CEILING OCCUPANCY SENSOR WITH TWO DIMMER SWITCHES
2 NTS

BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

SCHOOL & LOCATION
G.W. Childs School
1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

DRAWING TITLE
ELECTRICAL DETAILS

LOCATION NO.	FILE NO.
XX-XXX	
DRAWN BY	CHECKED BY
Author	Checker
B-071 C	OF 2017/18
B-074 C	OF 2017/18

DRAWING NO.
E301

GENERAL NOTES

GENERAL

1. THE INTENT OF THESE DRAWINGS IS TO PROVIDE COMPLETE AND PROPERLY FUNCTIONING HVAC SYSTEMS. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO ACHIEVE SUCH ENDS. CONTRACTOR IS OBLIGATED TO EXAMINE PLANS. ANY OBSERVED FAILURES OR AMBIGUITY IN THESE PLANS SHALL BE CALLED TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY. SO THAT THE MATTER MAY BE RESOLVED PRIOR TO SUBMISSION OF BIDS BY SUBMISSION OF BID. THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THESE PLANS AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIMS BASED ON INADEQUACY OF PLANS WILL NOT BE CONSIDERED.

2. ALL WORK ON THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST APPLICABLE CODES AND REGULATIONS.

3. THESE DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO DEPICT THE GENERAL LOCATION OF HVAC SYSTEM COMPONENTS. CONSULT THE ARCHITECTURAL PLANS FOR PROPER DIMENSIONS AND LOCATION OF EQUIPMENT.

4. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF HVAC WORK WITH EXISTING CONDITIONS AND THE WORK OF OTHER TRADES. MINOR DEVIATIONS FROM THE PLANS MAY BE MADE TO AVOID MINOR CONFLICTS. WHEN MAJOR CONFLICTS ARE APPARENT, THE ARCHITECT SHALL BE ADVISED IMMEDIATELY, AND AFFECTED WORK SHALL NOT BE INSTALLED UNTIL THE CONFLICT HAS BEEN RESOLVED.

5. THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS AND ARRANGE FOR INSPECTIONS BY LOCAL AUTHORITIES HAVING JURISDICTION.

6. ALL NECESSARY ALLOWANCES AND PROVISIONS SHALL BE MADE BY THIS CONTRACTOR FOR BEAMS, COLUMNS OR OTHER OBSTRUCTIONS OF THE BUILDING OR THE WORK OF OTHER CONTRACTORS, WHETHER OR NOT SAME IS INDICATED. WHERE NECESSARY TO AVOID OBSTRUCTIONS THE DUCTS SHALL BE TRANSFORMED, DIVIDED, OFFSET, RAISED OR LOWERED WITH THE REQUIRED FREE AREA BEING MAINTAINED WHILE MAINTAINING DESIGNED CEILING HEIGHTS.

7. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

8. MECHANICAL CONTRACTOR SHALL THOROUGHLY CLEAN HIS WORK AREA DAILY. MECHANICAL CONTRACTOR SHALL ALSO REMOVE ALL TRASH AFTER WORK COMPLETION.

9. WHERE EXISTING FIELD CONDITIONS ARE DIFFERENT THAN SHOWN, THE CONTRACTOR SHALL ADVISE THE ENGINEER OF DISCREPANCIES WHICH WILL AFFECT THE PROPOSED WORK PRIOR TO BEGINNING WORK.

10. SYMBOLS SHOWN ON SCHEDULES DEFINE TYPE OF EQUIPMENT ONLY. CONTRACTOR IS RESPONSIBLE FOR RESEARCHING DRAWINGS FOR EXACT QUANTITIES REQUIRED OF EACH TYPE.

11. PRIOR TO INSTALLATION OF NEW WORK, CONTRACTOR SHALL VERIFY THAT ALL DUCTWORK, EQUIPMENT, PIPING, ETC. SHALL BE FREE FROM INTERFERENCE WITH EXISTING CONDITIONS WHERE CONFLICTS OCCUR. CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER WHERE THE WORK OF VARIOUS TRADES WILL BE INSTALLED IN CLOSE PROXIMITY TO ONE ANOTHER, OR WHERE THERE IS EVIDENCE THAT THE WORK OF ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES. THE CONTRACTOR SHALL ASSIST IN WORKING OUT SPACE CONDITIONS TO MAKE A SATISFACTORY ADJUSTMENT. IF THE CONTRACTOR ALLOWS ONE TRADE TO INSTALL HIS WORK BEFORE COORDINATING WITH WORK OF OTHER TRADES, THE CONTRACTOR SHALL MAKE NECESSARY CHANGES TO CORRECT THE CONDITION WITHOUT EXTRA CHARGE.

12. ALL WORK TO BE GUARANTEED FOR TWO YEAR AGAINST LABOR AND MATERIALS. ANY DEFECTIVE MATERIALS OR WORKMANSHIP, AS WELL AS DAMAGE TO THE WORK OF ALL TRADES RESULTING FROM SAME, SHALL BE REPLACED OR REPAIRED AS DIRECTED FOR THE DURATION OF THE GUARANTEE PERIOD. TIME FOR THIS GUARANTEE SHALL BEGIN FROM THE DATE OF ACCEPTANCE OF THE COMPLETE WORK BY THE OWNER OR HIS APPOINTED REPRESENTATIVE. NOTE: THESE GUARANTEES SHALL BE SUBMITTED TO THE TENANT AND/OR BUILDING OWNER FOR RECORD PURPOSES.

13. AS USED IN DRAWINGS AND SPECIFICATIONS FOR MECHANICAL WORK, CERTAIN NON-TECHNICAL WORDS SHALL BE UNDERSTOOD TO HAVE SPECIFIC MEANINGS AS FOLLOWS REGARDLESS OF INDICATIONS TO THE CONTRARY IN THE GENERAL CONDITION OR OTHER DOCUMENTS GOVERNING THE MECHANICAL WORK.

"FURNISH" - PURCHASE AND DELIVER TO THE PROJECT SITE COMPLETE WITH EVERY NECESSARY APPURTENANCE AND SUPPORT. ALL AS PART OF THE MECHANICAL WORK. PURCHASING SHALL INCLUDE PAYMENT OF ALL SALES TAXES AND OTHER SURCHARGES AS MAY BE REQUIRED TO ASSURE THAT PURCHASED ITEMS ARE FREE OF ALL LIENS, CLAIMS OR ENCUMBRANCES.

"INSTALL" - UNLOAD AT THE DELIVERY POINT AT THE SITE AND PERFORM EVERY OPERATION NECESSARY TO ESTABLISH SECURE MOUNTING AND CORRECT OPERATION AT THE PROPER LOCATION IN THE PROJECT, ALL AS PART OF THE MECHANICAL WORK.

"PROVIDE" - "FURNISH" AND "INSTALL".

"NEW" - MANUFACTURED WITHIN THE PAST TWO YEARS AND NEVER BEFORE USED.

14. ALL MATERIAL, EQUIPMENT AND ACCESSORIES, FURNISHED AND INSTALLED SHALL BE NEW AND EQUAL TO OR SURPASS THE QUALITY OF SIMILAR MATERIALS AS SCHEDULED. ALL MATERIALS, EQUIPMENT AND METHODS SHALL BE AS SPECIFIED IN THE BASE BUILDING CONTRACT DOCUMENTS UNLESS NOTED OTHERWISE.

DEMOLITION

1. ANY DISCOVERED DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL SITE CONDITIONS MAY BE BROUGHT TO THE ARCHITECT/ENGINEER'S ATTENTION PRIOR TO BID FOR CLARIFICATION. AFTER A CONTRACT IS EXECUTED CONTRACTOR SHALL SUBMIT A REQUEST FOR INFORMATION.

2. THE REQUIRED DEMOLITION SHALL NOT BE LIMITED TO THAT PORTION SHOWN ON THE PLANS ALONE, BUT SHALL INCLUDE ALL NECESSARY WORK COINCIDENTAL THERETO AND/OR WORK INDICATED ELSEWHERE ON THE DRAWINGS OR IN THE SPECIFICATIONS.

3. CONTRACTOR SHALL NOT VIOLATE THE PHYSICAL SECURITY OF THE BUILDING DURING DEMOLITION OR ASSOCIATED OPERATIONS. SECURITY SHALL BE CLOSELY COORDINATED WITH THE OWNER'S REPRESENTATIVE.

4. CONTRACTOR SHALL SCHEDULE ALL WORK, INCLUDING INTERRUPTION OF EXISTING UTILITIES, WITH THE OWNER, PRIOR TO STARTING WORK. CONTRACTOR SHALL NOTE THAT THE BUILDING SHALL BE OCCUPIED AND IN USE DURING THE PERIOD OF TIME THIS CONTRACT IS BEING PERFORMED.

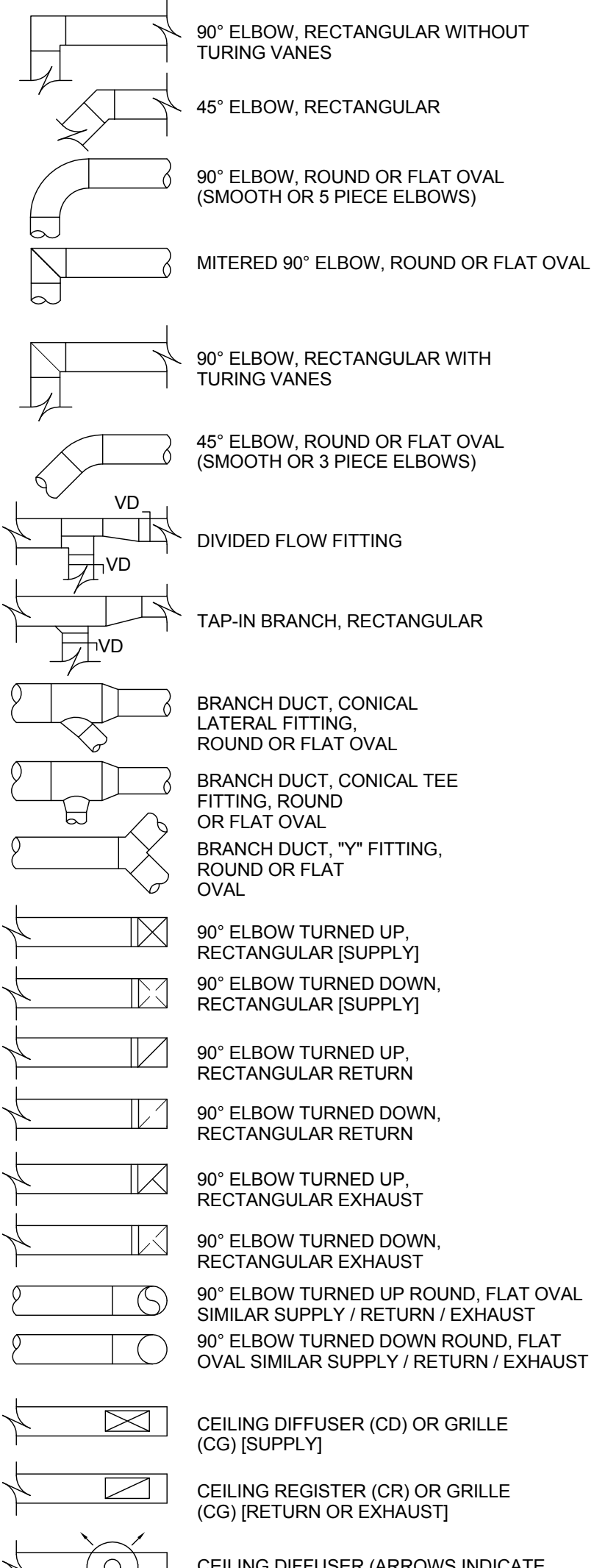
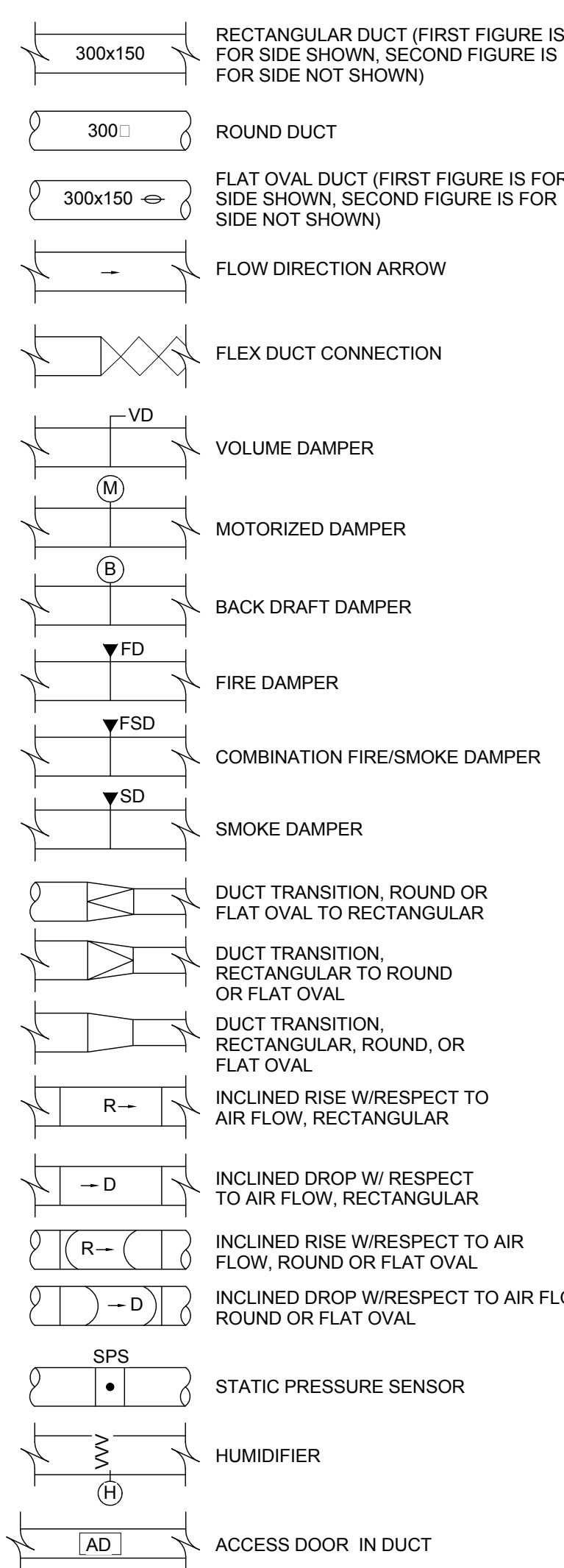
5. DEMOLITION SHALL GENERALLY BE ARRANGED TO AGREE WITH THE ACCOMPLISHMENT OF WORK UNDER THE VARIOUS PHASES AND IN COORDINATION WITH THE REQUIRED MODIFICATIONS.

6. DO NOT ALTER THE EXISTING SYSTEMS WHICH ARE LOCATED IN AREAS NOT IN SCOPE OF WORK UNLESS SPECIFICALLY INDICATED. PROTECT EXISTING SYSTEMS WITHIN THE LIMITS OF WORK WHICH ARE TO BE RETAINED. ANY DAMAGE TO THE EXISTING SYSTEMS DUE TO CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AND/OR REPLACED TO ITS ORIGINAL CONDITION TO THE COMPLETE SATISFACTION OF THE OWNER, AND AT NO COST TO THE OWNER.

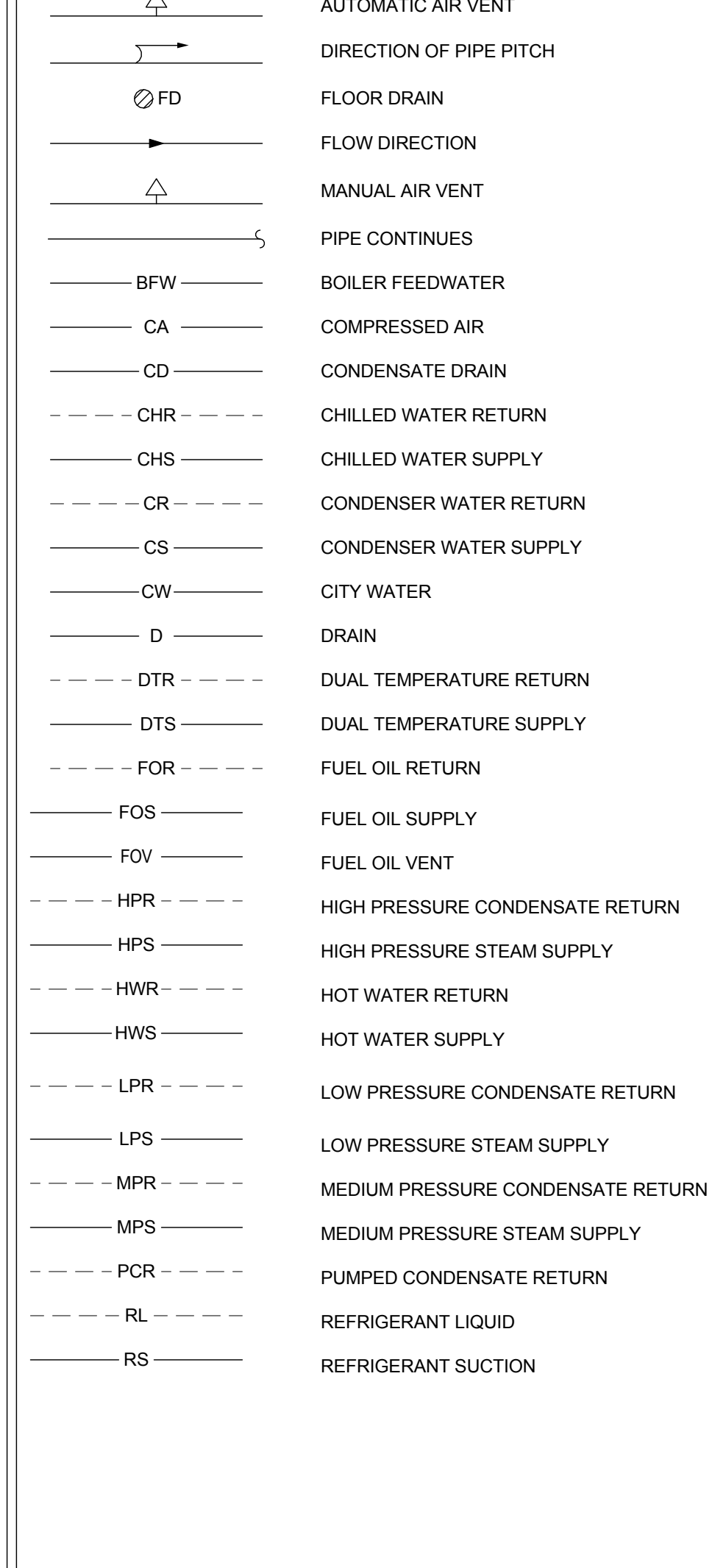
7. UNLESS OTHERWISE INDICATED, ALL FIXTURES, EQUIPMENT, PIPING, AND ACCESSORIES WHICH HAVE TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE AS SOON AS POSSIBLE.

8. "CONCEALED LOCATION" IS DEFINED AS BEING ABOVE FINISHED CEILING, BELOW FINISHED FLOOR, OR WITHIN FINISHED WALL OR PARTITION. SEE ARCHITECTURAL PLANS FOR FINISH INFORMATION.

DOUBLE LINE DUCTWORK



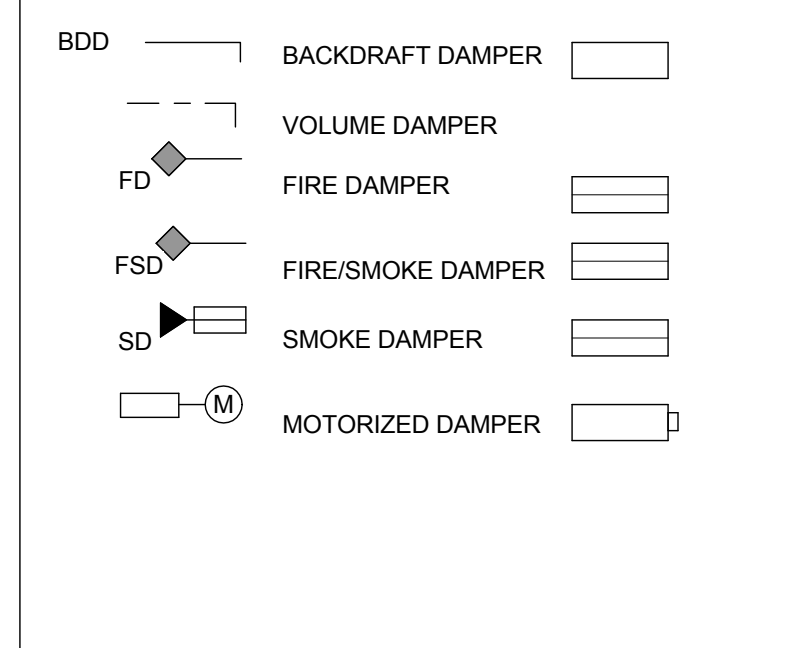
GENERAL PIPING



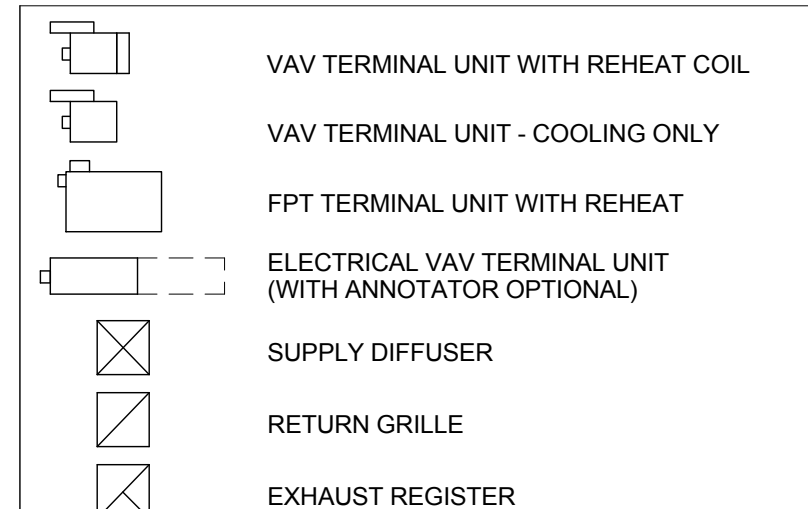
ABBREVIATIONS

AABC	ASSOCIATED AIR BALANCE	LB/HR	POUNDS PER HOUR
AAV	AUTOMATIC AIR VENT	LRA	LOCKED ROTOR AMP
ABV	ABOVE	LWT	LEAVING WATER TEMPERATURE
AC	AIR CONDITIONING UNIT		
ACT	ACCESS DOOR	M	MOTORIZED DAMPER
AD	ADDITIONAL	MA	MIXED AIR
ADDTL	ADJUST	MAT	MIXED AIR TEMPERATURE
AF	ABOVE FINISHED CEILING	MAX	MAXIMUM
AFCP	AIR FLOW CONTROL PANEL	MBH	ONE THOUSAND BTUH
AFF	ABOVE FINISHED FLOOR	MC	MECHANICAL CONTRACTOR
AFM	AIR FLOW MEASURING STATION	MCC	MOTOR CONTROL CENTER
AHU	AIR HANDLING UNIT	MD	MANUAL DAMPER
AL	ALUMINUM	MECH	MECHANICAL
AMB	AMBIENT	MER	MECHANICAL EQUIPMENT ROOM
AMT	AMOUNT	MFR	MANUFACTURER
APD	AIR PRESSURE DROP	MIN	MINIMUM
ARCH	ARCHITECT	MJA	MAKE-UP AIR
ARI	AMERICAN REFRIGERATION	MJAU	MAKE-UP AIR UNIT
AS	AIR SEPARATOR	N/A	NOT APPLICABLE
ASHRAE	AMERICAN SOCIETY OF MECHANICAL ENGINEERS	NC	NORMALLY CLOSED/NOISE CRITERIA
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NEC	NATIONAL ELECTRICAL CODE
ATU	AIR TERMINAL UNIT	NG	NATURAL GAS
AUTO	AUTOMATIC	NO	NUMBER/NORMALLY OPEN
		NPS	NOT TO SCALE
		O/A	OUTSIDE AIR
B	BOILER	O/S	OUTSIDE AIR FAN
BAL	BALANCING	OAL	OUTSIDE AIR LOUVER
BCU	BUILDING CONTROL UNIT	OB	OPPOSED BLADE DAMPER
BP	BOILER HORSEPOWER/BRAKE	OC	ON CENTER/POWER
BPP	BOTTOM PIPE	OCC	OCCUPIED
BLDG	BUILDING	OF	OVERFLOW
BLW	BELOW	OPP	OPPOSITE
BOS	BOTTOM OF STEEL	ORIG	ORIGINAL
BPD	BACK PRESSURE DAMPER	OSM	OPERATION AND MAINTENANCE
BTUH	BRITISH THERMAL UNIT PER HOUR		
CA	COMBUSTION AIR	P	PUMP
CAD	CEILING AIR DIFFUSER	PC	PLUMBING CONTRACTOR
CAL	COMBUSTION AIR LOUVER	PD	PRESSURE DROP
CAP	CAPACITY	PDV	PRESSURE DIFFERENTIAL CONTROL PHASE
CAV	CONSTANT AIR VOLUME	PH	PHASE
CC	COOLING COIL	PRV	PRESSURE REDUCING VALVE
CC	CENTRIFUGAL FAN	PPH	POUNDS PER HOUR
CF	CUBIC FEET PER MINUTE	PR	PRESSURE
CFM	CUBIC FEET PER MINUTE	PSI	POUNDS PER SQUARE INCH
CLG	CEILING CLEAN OUT	PSIG	POUNDS PER SQUARE INCH GAUGE
CO	CONCRETE	PVC	POLYVINYL CHLORIDE
COND	CONDITIONING	QTY	QUANTITY
CONN	CONNECTION/CONNECTION	RA	RETURN AIR
CONT	CONTINUATION	RAG	RETURN AIR GRILLE
CP	CIRCULATING PUMP	RAR	RETURN AIR REGISTER
CSR	CEILING SUPPLY REGISTER	RREF	REGISTER REFERENCE
CV	CONDENSING UNIT	REG	REGISTER
DB	DRY BULB	RF	RETURN/RELIEF FAN
dB	DECIBEL	R/LAD	RATED LOAD AMP RETURN LINEAR AIR DIFFUSER
DDC	DIRECT DIGITAL CONTROL	RM	ROOM
AP	PRESSURE DROP	RPM	REVOLUTIONS PER MINUTE
DIA	DIAMETER	SA	SUPPLY AIR
DIFF	DIFFERENCE	SAG	SUPPLY AIR GRILLE
DISC SW	DISCONNECT SWITCH	SAN	SANITARY
DN	DOWN	SAR	SUPPLY AIR REGISTER
DP	DEW POINT	SC	SHADING COEFFICIENT
DTL	DETAIL	SD	SMOKE DAMPER/SPLITTER DAMPER
DWG	DRAWING	SOC	SIGNAL DIGITAL CONTROLLER
DX	DIRECT EXPANSION	SEER	SEASONAL ENERGY EFFICIENCY RATIO
EA	EXHAUST AIR/EACH	SI	SUPPLY FAN
EAL	EXHAUST AIR LOUVER	SIM	SIMILAR
EAR	EXHAUST AIR REGISTER	SLAD	SLOT LINEAR AIR DIFFUSER
EAT	ENTERING AIR TEMPERATURE	SMACNA	SHEET METAL AND AIR SCREENED OPENING
EC	ELECTRICAL CONTRACTOR	SO	SCREENED OPENING
ECON	ECONOMIZER	SP	STATIC PRESSURE
ER	ENERGY EFFICIENCY RATIO	SPEC	SPECIFICATION
EF	EXHAUST FAN	SQ FT	SQUARE FEET
EFF	EFFICIENCY	SQ IN	SQUARE INCHES
ELEV	ELEVATION	SRV	STEAM RELIEF VENT
ELL	ELBOW	SS	STAINLESS STEEL
ENT	ENTERING	STL	STEEL
EQUIP	EQUIPMENT	STN	SECTION
EQUIV	EQUIVALENT	SUSP	SUSPENSION
ESP	EXTERNAL STATIC PRESSURE	SWR	SIDE WALL REGISTER
EST	ESTIMATED	SYM	SYMBOL
EWH	ELECTRIC WALL HEATER	T	THERMOSTAT
EW	ENTERING WATER	TC	TEMPERATURE CONTROL/TEMPERATURE
EXH	EXHAUST	TD	TEMPERATURE DIFFERENCE
EXIST	EXISTING	TEMP	TEMPERATURE
		TG	TRANSFER GRILLE
'F	DEGREES FAHRENHEIT	TOS	TOP OF STEEL
FC	FLEXIBLE CONNECTION	TOT	TOTAL
FD	FIRE DAMPER	TSP	TOTAL STATIC PRESSURE
FFE	FINISHED FLOOR ELEVATION	TV	TURNING VANE
FLA	FULL LOAD AMP	TXV	THERMAL EXPANSION VALVE
FLEX	FLEXIBLE	Typ	TYPICAL
FLG	FLANGE		
FLR	FLOOR	U	UNDERCUT
FMI	FACTORY MUTUAL	UG	UNDERGROUND
FPM	FEET PER MINUTE	UL	UNDERWRITERS LABORATORY
FT	FEET	UNOCC	UNOCCUPIED
FT WG	FEET OF WATER GAUGE		
GA	GAUGE	V	VOLTS
GAL	GALLONS	VAV	VARIABLE AIR VOLUME
GC	GENERAL CONTRACTOR	VOL	VOLUME
GPM	GALLONS PER MINUTE	VOR	VANED RETURN REGISTER
		VFD	VARIABLE FREQUENCY DRIVE
		VOL	VOLUME
		VTR	VENT THROUGH ROOF
H	HEIGHT	W	WATT
HD	HEAD	W/	WITH
HP	HORSEPOWER	WB	WET BULB
HVAC	HEATING, VENTILATION & AIR	WG	WATER GAUGE
HZ	HERTZ	WPD	WATER PRESSURE DROP
		W/O	WITHOUT
IN	INCHES		
INSUL	INSULATE/INSULATION		
IWG	INCHES WATER GAUGE		
KW	KILOWATT		
LAT	LEAVING AIR TEMPERATURE		
LB	POUND		
LBG	LINEAR BAR GRILLE		

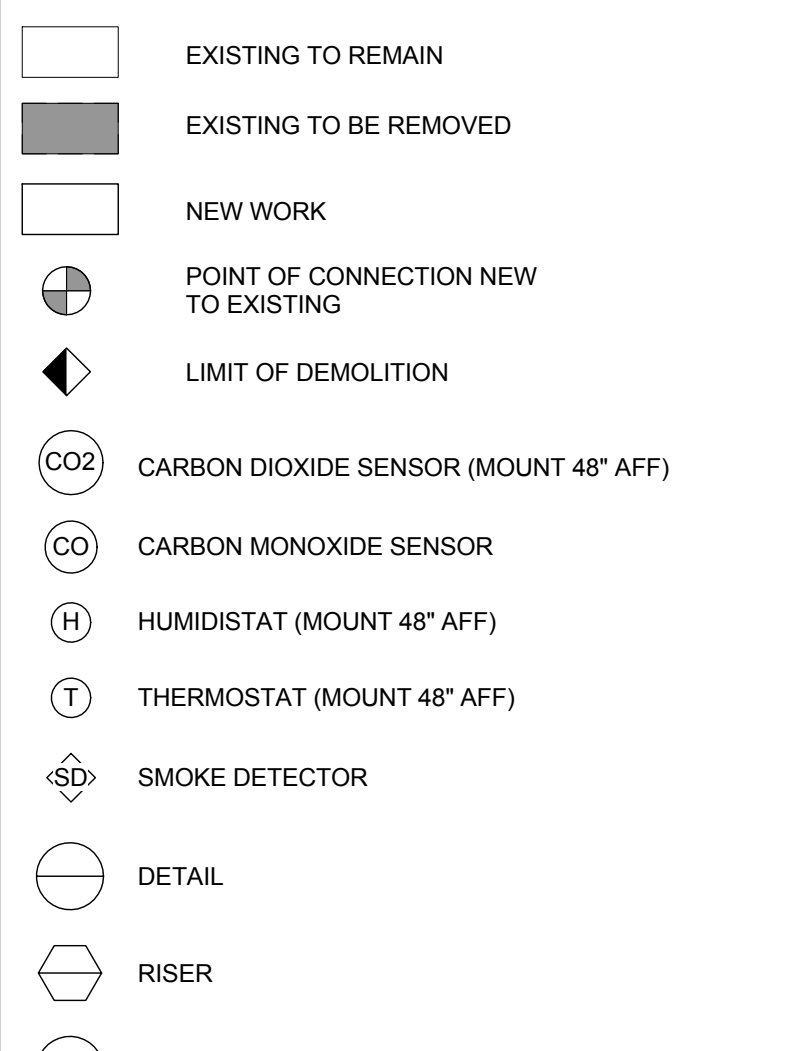
ACCESSORIES



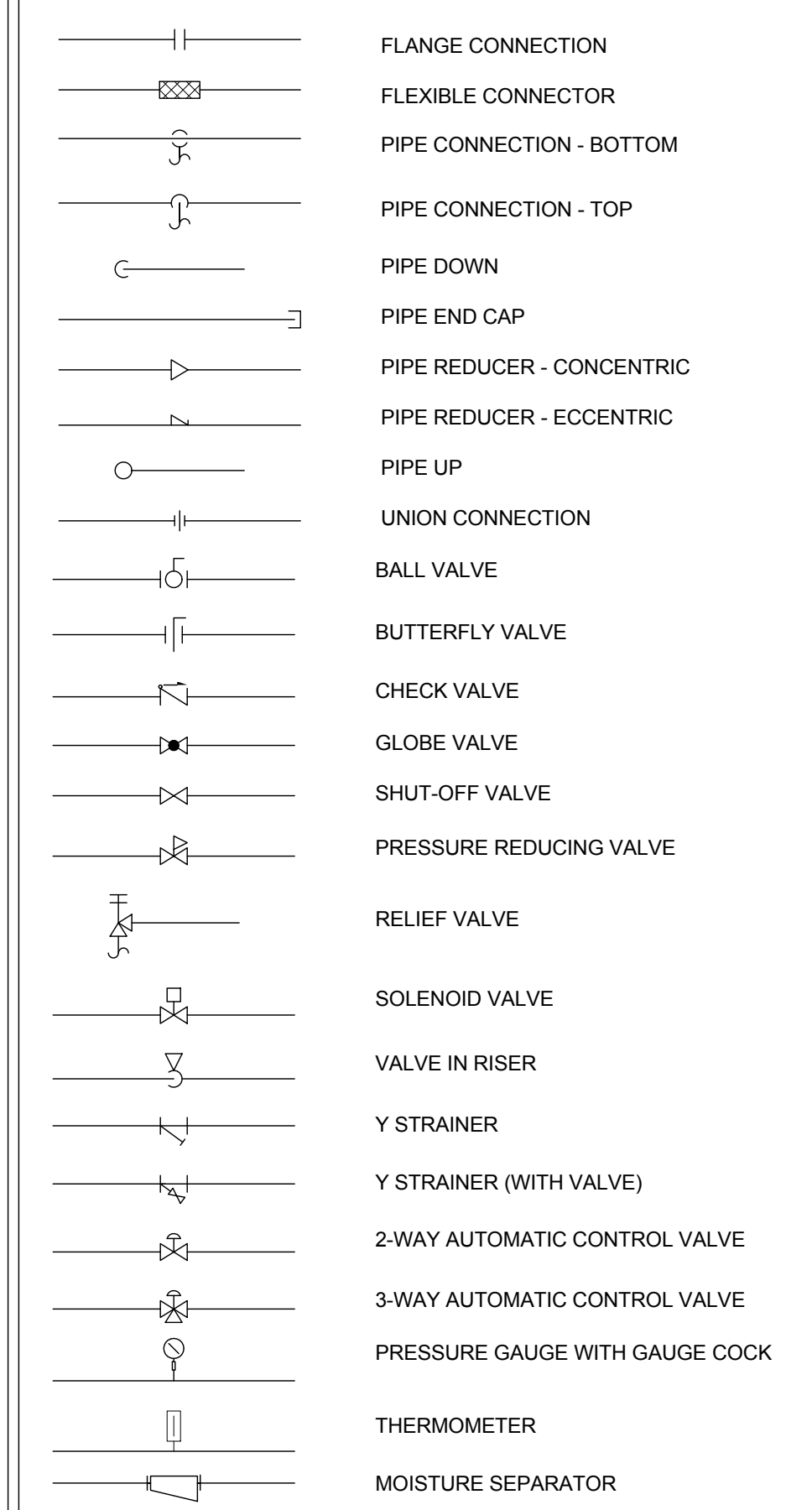
EQUIPMENT



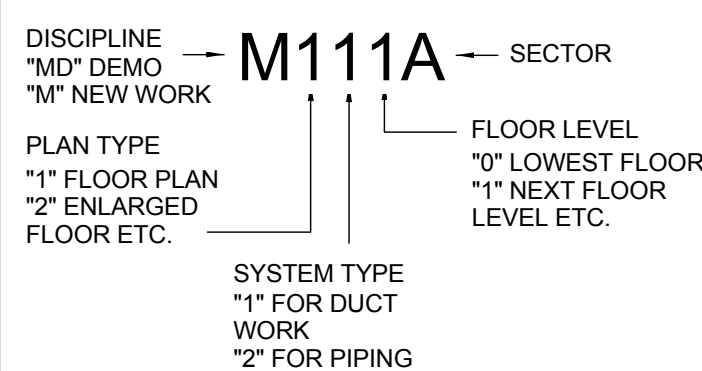
SYMBOLS



PIPE FITTINGS/VALVES

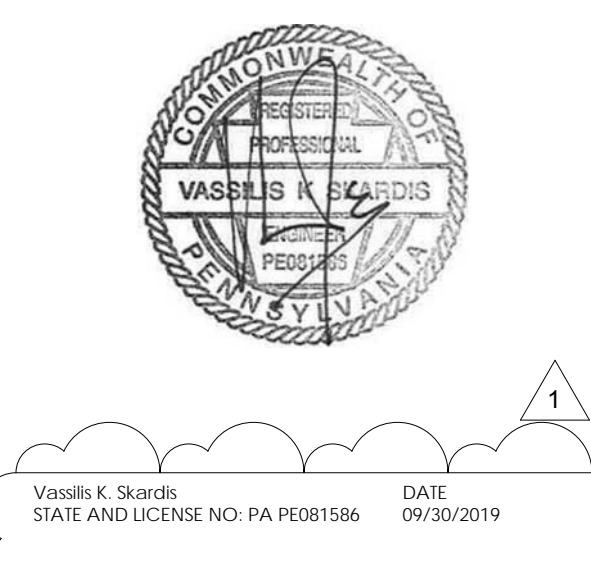


SHEET NUMBERING LEGEND



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1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

DRAWING TITLE
MECHANICAL COVER SHEET

DRAWN BY <i>Author</i>	CHECKED BY <i>Checker</i>
B-071 C B-074 C	OF 2017/18 OF 2017/18

DRAWING NO.
M001

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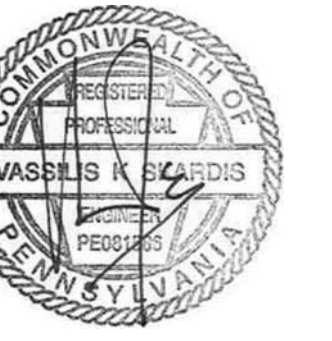
GENERAL NOTES

- REFER TO M001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- EXISTING STEAM RADIATOR WITH COVER TO BE REFURBISHED.
- DEMOLISH SUPPLY AIR GRILLE.

SEAL:

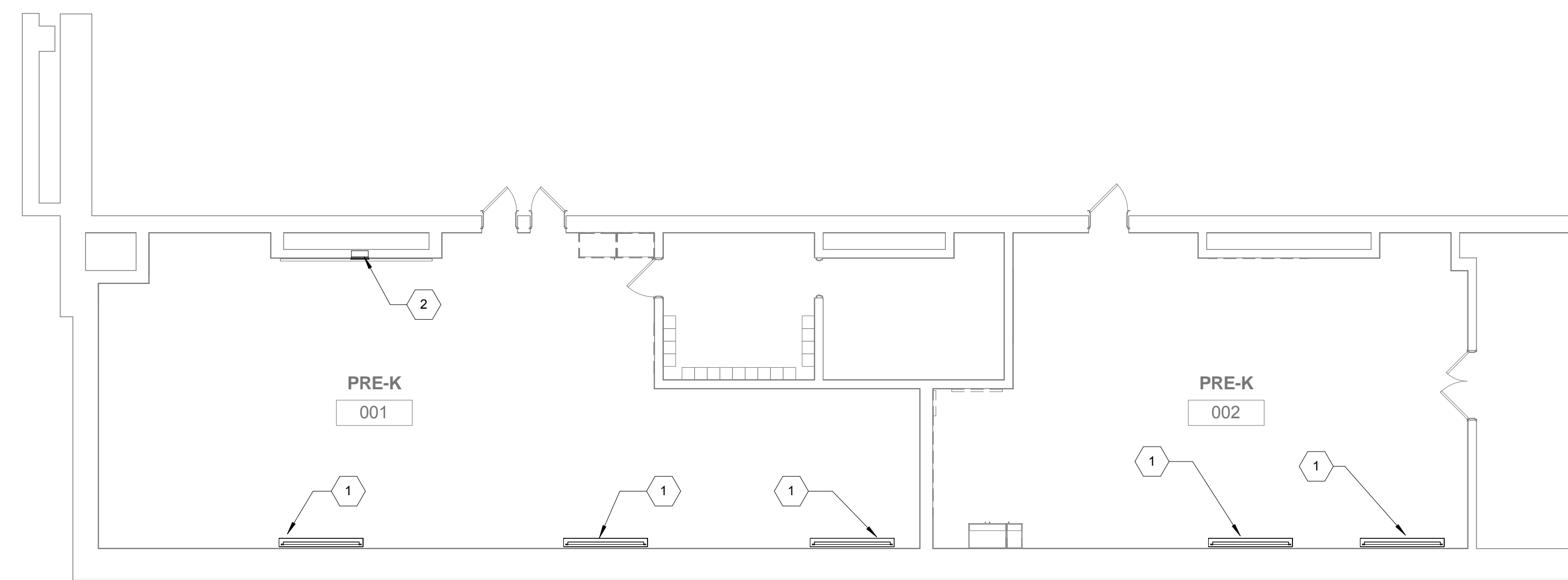


Vinoko K. Standa STATE AND LICENSE NO. PA PEB1586 DATE 09/30/2019

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1 BASEMENT LEVEL - MECHANICAL FLOOR PLAN - DEMOLITION
 1/8" = 1'-0"

BID DOCUMENTS APRIL 20, 2018

NO.	DATE	REVISION
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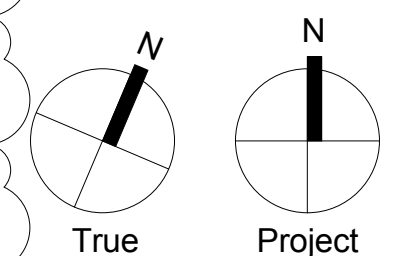
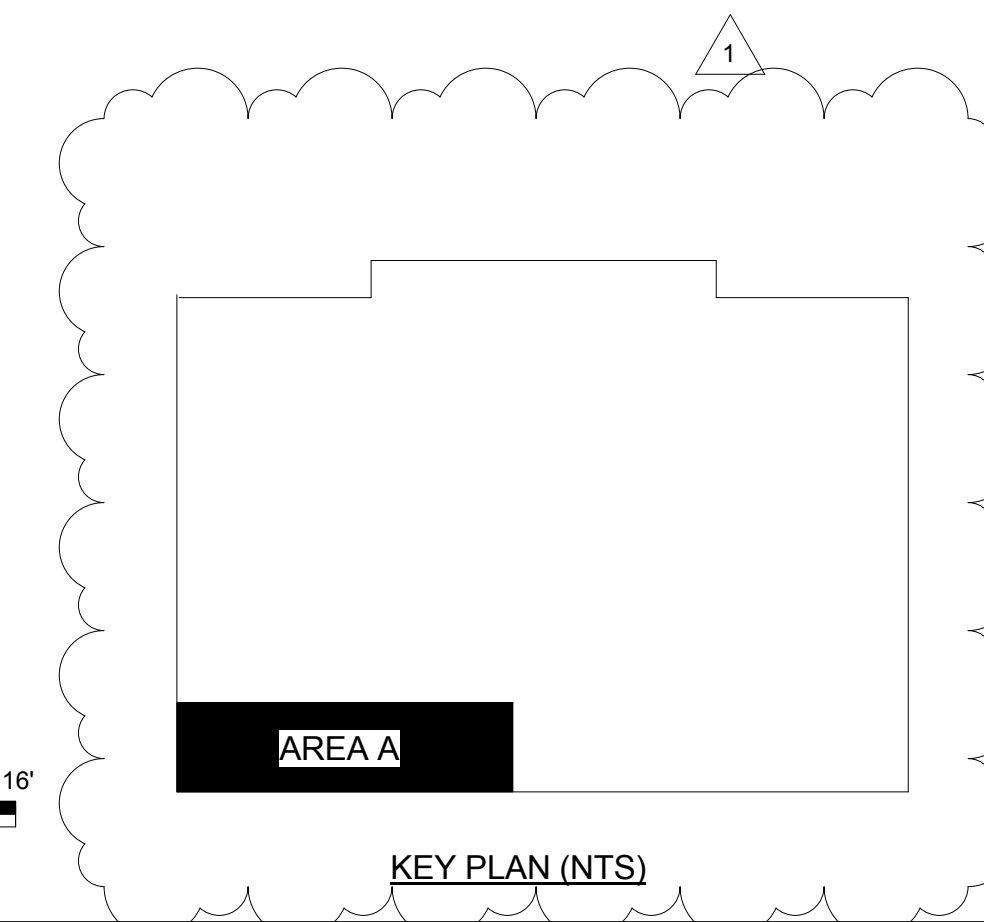
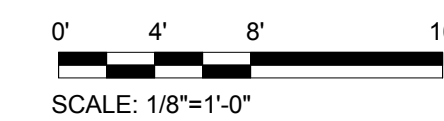
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Classroom Modifications to G.W. Childs School

DRAWING TITLE
BASEMENT - MECHANICAL FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
XX-XXX	
DRAWN BY	CHECKED BY
Author	Checker
B-071 C	OF 2017/18
B-074 C	OF 2017/18

DRAWING NO.
MD111



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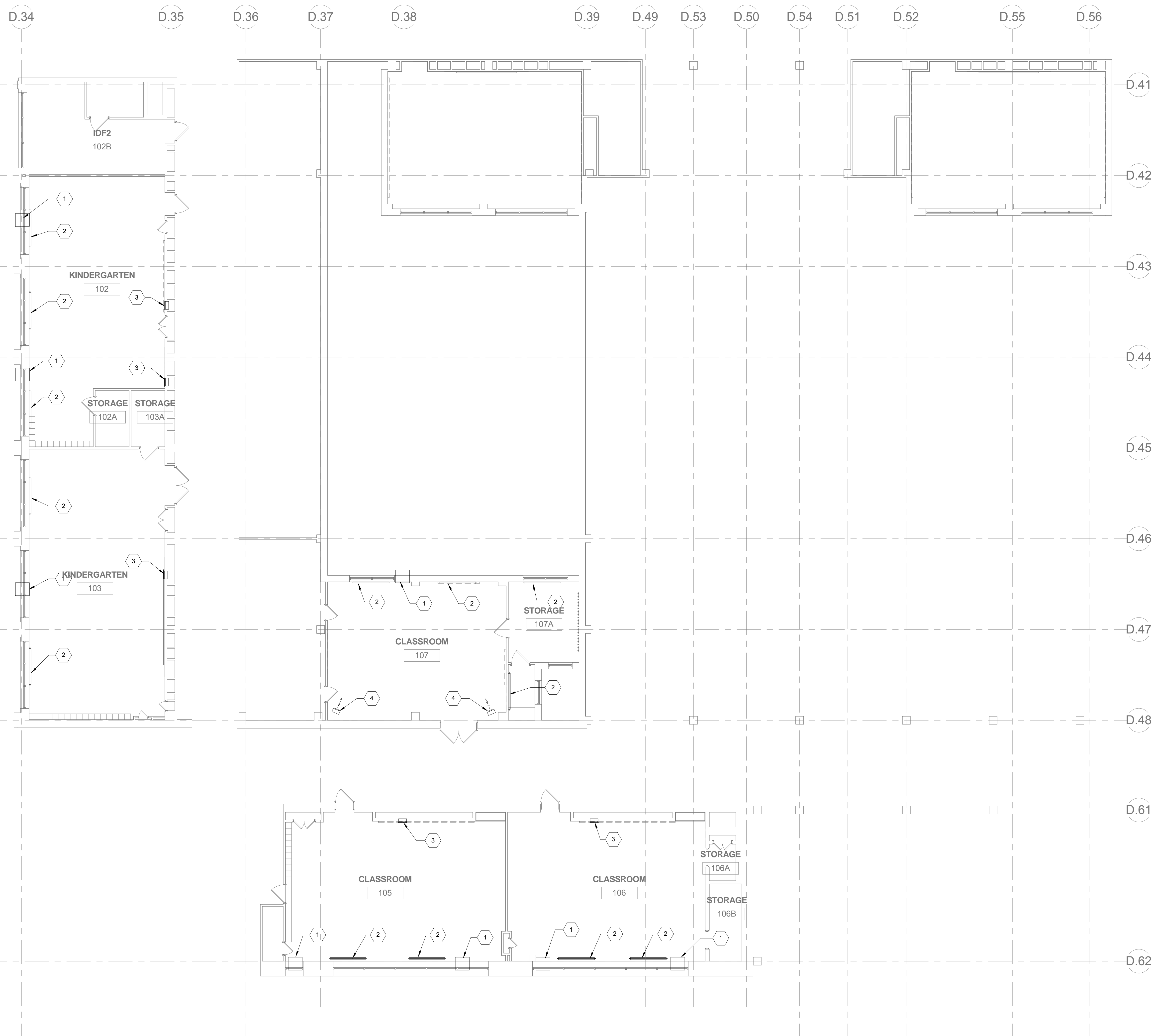
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1 FIRST LEVEL - MECHANICAL FLOOR PLAN - DEMOLITION
1/8" = 1'-0"

GENERAL NOTES

- REFER TO M001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- DEMOLISH WINDOW TYPE AC UNIT.
- EXISTING STEAM RADIATOR WITH COVER TO BE REFURBISHED.
- DEMOLISH SUPPLY AIR GRILLE.
- EXISTING UNIT HEATER TO REMAIN TO BE REFURBISHED.

SEAL:



Vincent K. Skarbis STATE AND LICENSE NO. PA PEB01586 DATE 09/30/2019

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APRIL 20, 20108

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1	05/09/18	ADDENDUM 1

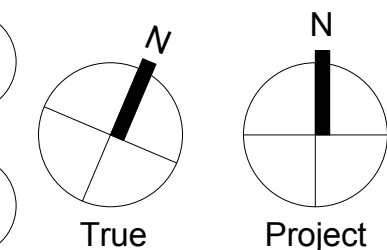
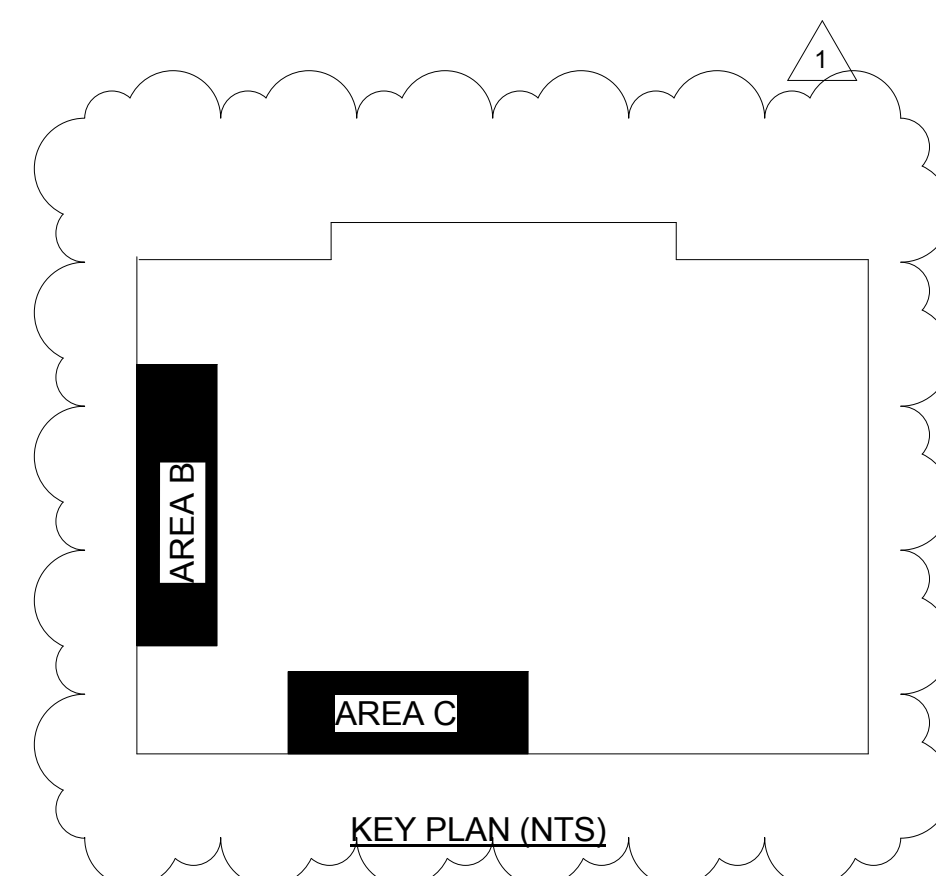
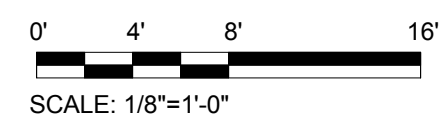
SCHOOL & LOCATION
G.W. Childs School
1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

DRAWING TITLE
FIRST LEVEL - MECHANICAL FLOOR PLAN - DEMOLITION

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GENERAL NOTES

- REFER TO M001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- EXISTING STEAM RADIATOR WITH COVER TO BE REFURBISHED.
- DEMOLISH WINDOW TYPE AC UNIT.
- DEMOLISH SUPPLY AIR GRILLE.

SEAL:



Vito K. Skarbis
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DATE 09/30/2019

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SCHOOL & LOCATION
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PROJECT TITLE
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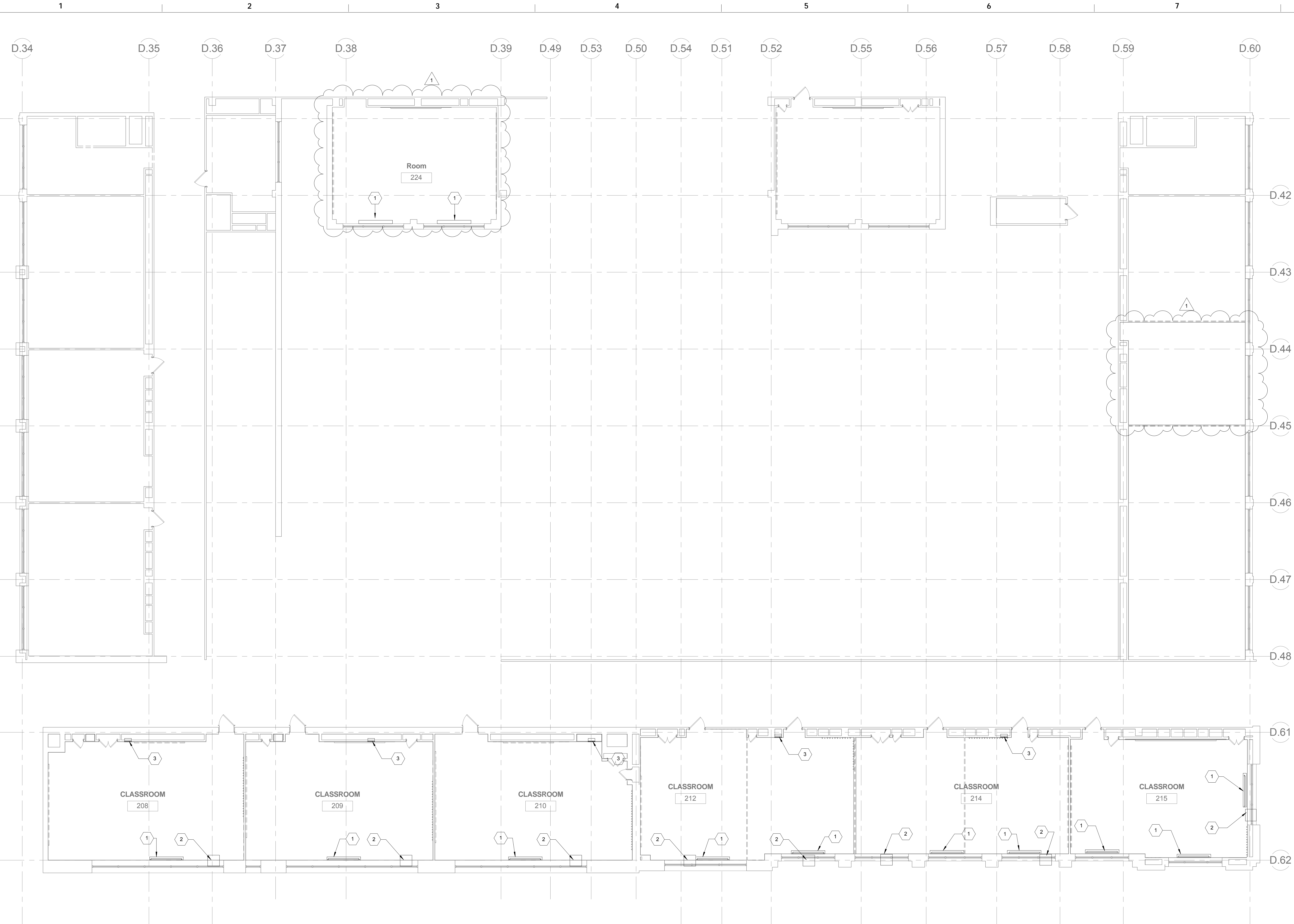
DRAWING TITLE
SECOND LEVEL - MECHANICAL FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
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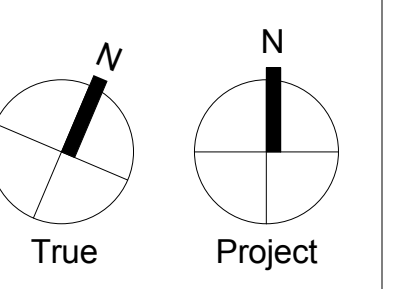
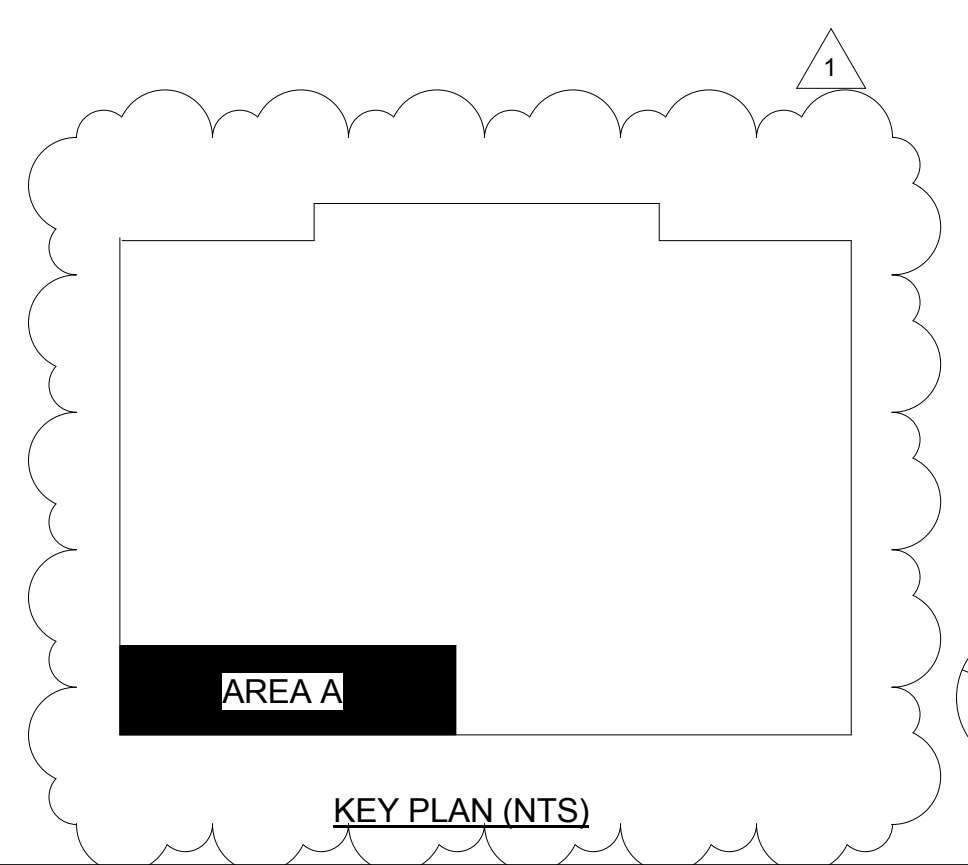
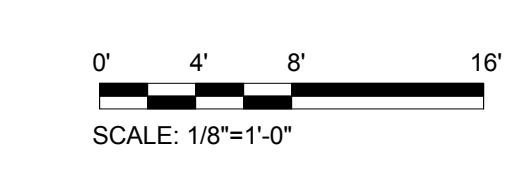
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1 SECOND LEVEL - MECHANICAL FLOOR PLAN - DEMOLITION
1/8" = 1'-0"



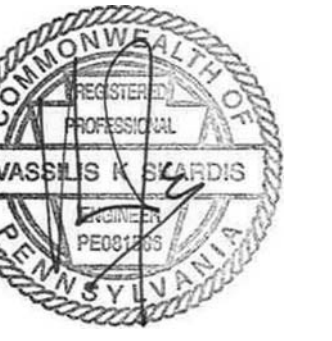
GENERAL NOTES

- 1. REFER TO M001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- 1. PROVIDE SUPPLY AIR GRILLE WITH THE SAME SIZE AS EXISTING, TITUS MODEL 301FL OR APPROVED EQUAL.
- 2. REFURBISH STEAM RADIATOR: CLEAN AND REMOVE DUST FROM THE RADIATOR SURFACE AND COVER. DISCONNECT RADIATOR. REMOVE SEDIMENT GLOSS FROM THE COIL AND RECONNECT.

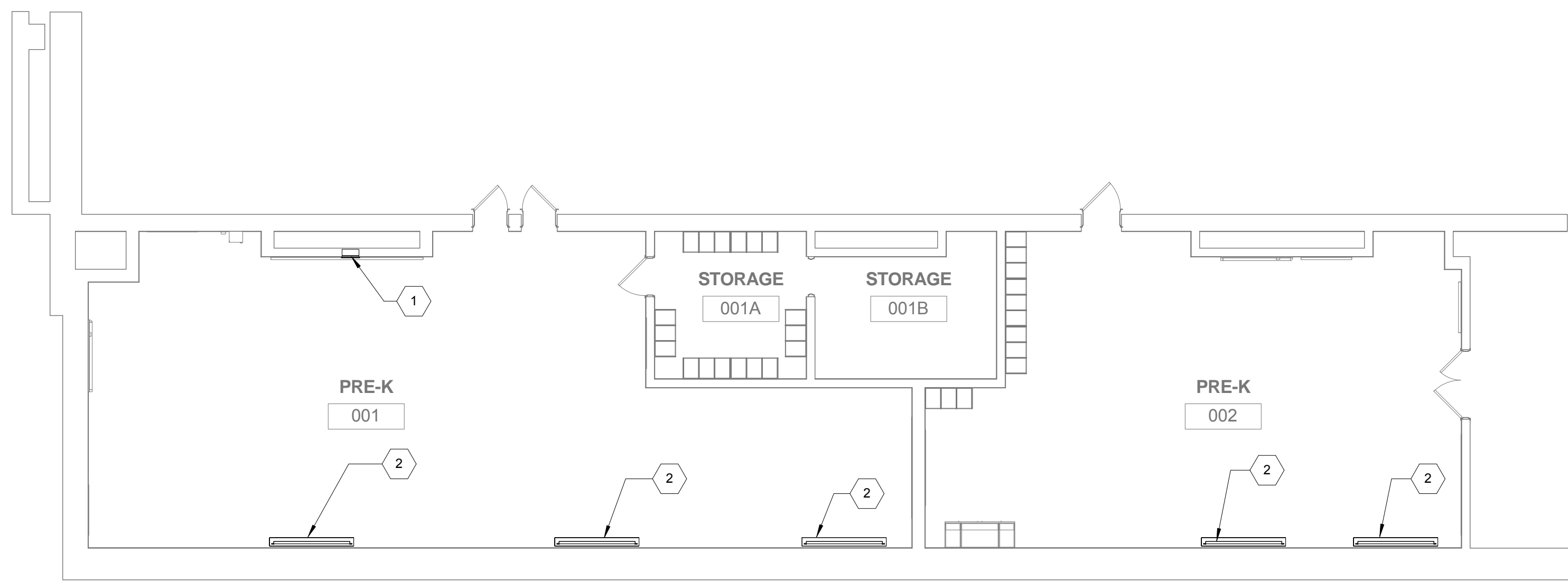
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Vinod K. Sharda
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1 BASEMENT LEVEL - MECHANICAL FLOOR PLAN - NEW WORK

1/8" = 1'-0"

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APRIL 20, 20108**

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1	05/09/18	ADDENDUM 1

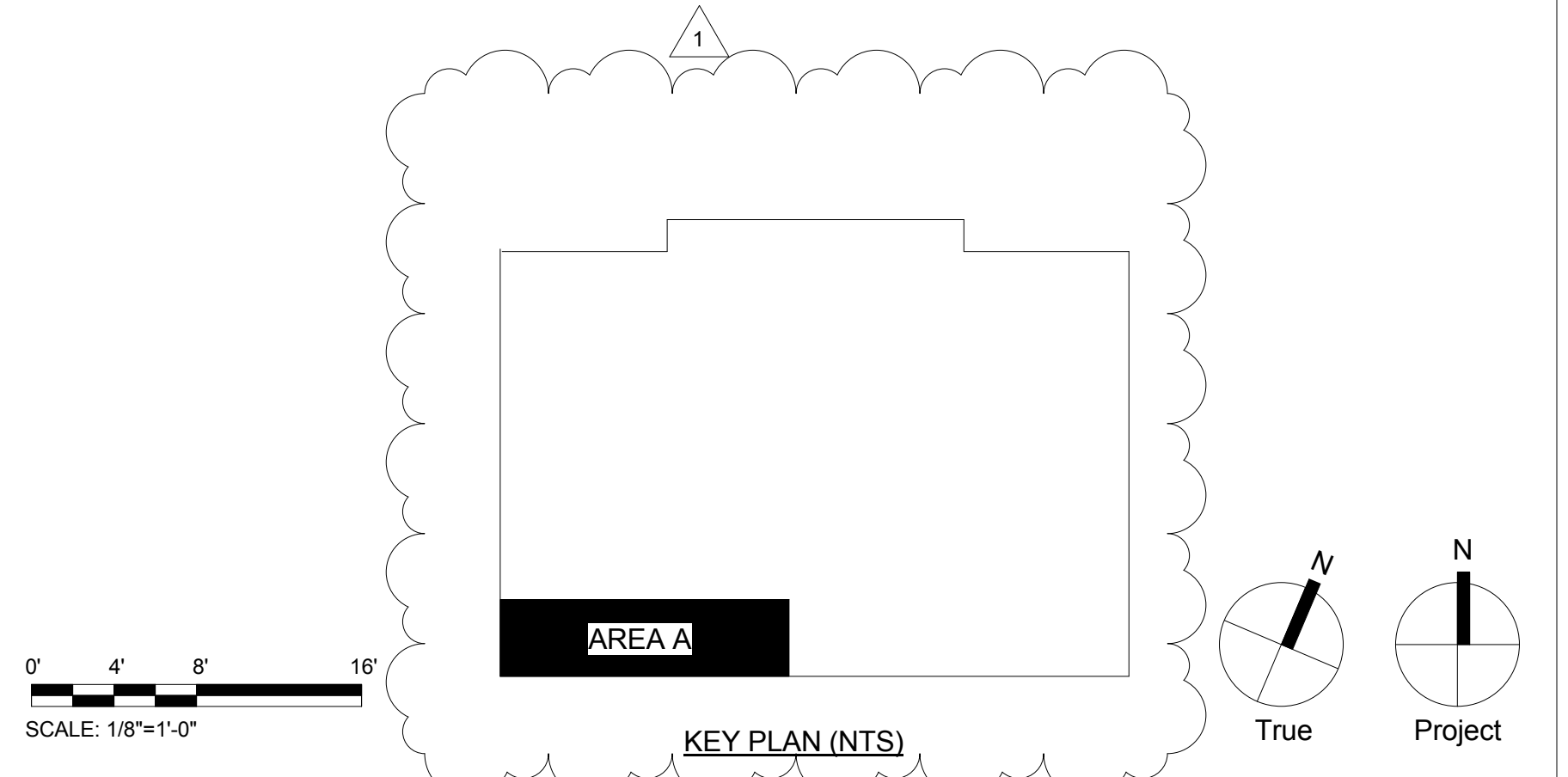
SCHOOL & LOCATION
G.W. Childs School
1599 Whartons St. Philadelphia, PA 19146

PROJECT TITLE
Classroom Modifications to G.W. Childs School

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BASEMENT - MECHANICAL FLOOR PLAN - NEW WORK

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1 FIRST LEVEL - MECHANICAL FLOOR PLAN - NEW WORK
1/8" = 1'-0"

GENERAL NOTES

- REFER TO M001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- PROVIDE WINDOW TYPE AC UNIT, GE MODEL RAHS24DX 1500-SQFT (230V 24000BTUH) OR APPROVED EQUAL. CUT AND PATCH THE WALL FOR A COMPLETE AND FULLY SEALED INSTALLATION.
- REFURBISH STEAM RADIATORS. CLEAN AND REMOVE DUST FROM THE RADIATOR SURFACE AND COVER. DISCONNECT RADIATOR, REMOVE SEDIMENT CLOGS FROM THE COIL AND RECONNECT.
- PROVIDE SUPPLY AIR GRILLE WITH THE SAME SIZE AS EXISTING, TITUS MODEL 301FL OR APPROVED EQUAL.
- REFURBISH UNIT HEATER. CLEAN HEATING ELEMENT AND FAN MOTOR.

SEAL:



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PROJECT TITLE

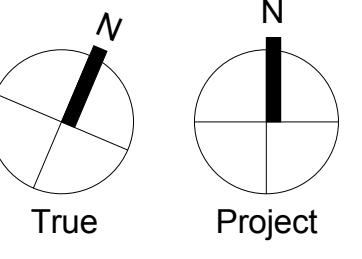
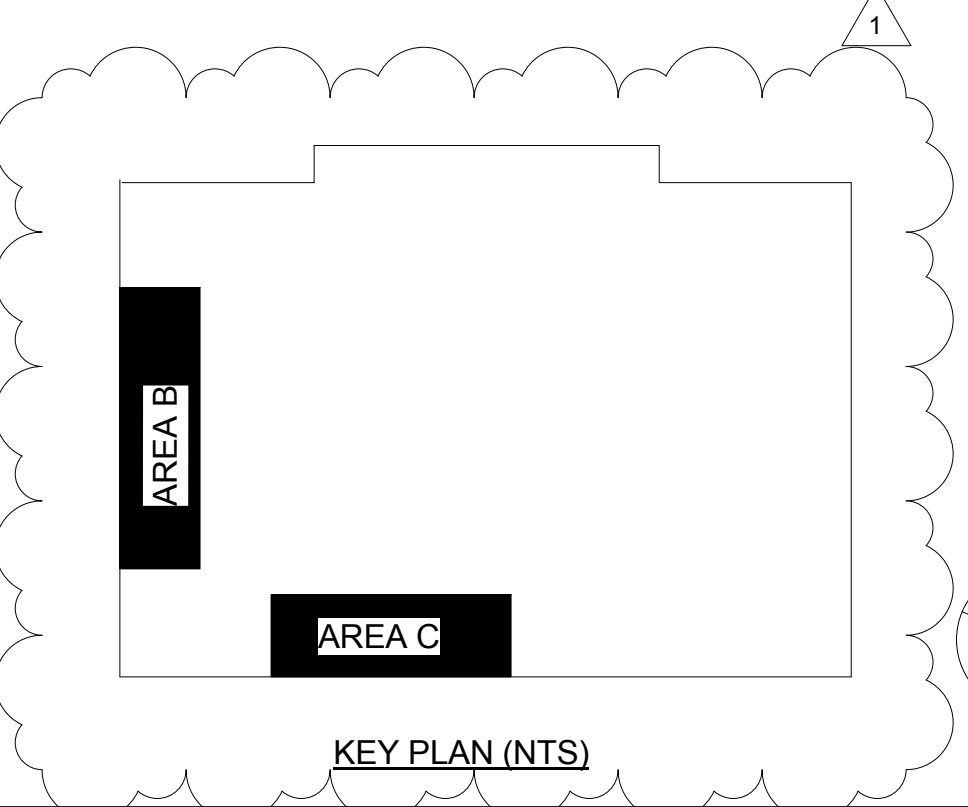
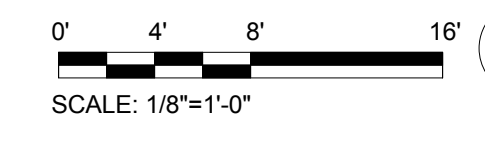
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GENERAL NOTES

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KEYED NOTES

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PROJECT TITLE
Classroom Modifications to G.W. Childs School

DRAWING TITLE
SECOND LEVEL - MECHANICAL FLOOR PLAN - NEW WORK

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1 SECOND LEVEL - MECHANICAL FLOOR PLAN - NEW WORK
1/8" = 1'-0"

