

THE SCHOOL DISTRICT OF PHILADELPHIA
Office of Capital Programs
440 North Broad Street, 3rd Floor – Suite 371
Philadelphia, PA 19130

TELEPHONE: (215) 400-4730

Addendum No. 001

Subject: William Rowen School – Classroom Modifications
SDP Contract Nos. B-063C, B-066C of 2017/18

Location: William Rowen School
6841 North 19th Street
Philadelphia, Pennsylvania 19126

This Addendum, dated May 9, 2018, shall modify and become part of the Contract Documents for the work of this project. Any items not mentioned herein, or affected by, shall be performed strictly in accordance with the original documents.

The following items, clarifications and/or revisions are to be included in the Contract Documents:

DRAWINGS

Drawing: A101

Revisions:

- a. Renovation Notes: Delete the second sentence in this note (typical for all drawings). The note should read:
A12 PAINT EXISTING CMU/PLASTER/GWB WALL AND EXPOSED PIPES. SCRAPE EXISTING LOOSE PAINT, SAND, CLEAN (INCLUDING THE REMOVAL OF ALL STAPELS, ETC.) AND PREP SURFACE FOR NEW FINISH.
- b. Renovation Notes: Add notes A44 and A45 to read as follows (typical for all drawings):
A44 INSTALL NEW WOOD LOUVERS WHERE MISSING IN EXISTING DOOR. MATCH EXISTING ADJACENT.
A45 REMOVE EXISTING FIBERGLASS PANEL IN EXISTING DOOR AND REPLACE WITH WOOD GRILLES AND GLASS TO RESTORE DOOR TO ORIGINAL DESIGN. MATCH EXISTING ADJACENT PROFILES, ETC.
- c. Demolition First Floor Plan Area A, 1/A101: Delete the two interior elevation tags in Kindergarten 102.
- d. Proposed First Floor Plan Area A, 2/A101: Add renovation tag A44 to doors 101-2, 101A, 102-2 and 102A.
- e. Proposed First Floor Plan Area A, 2/A101: Add renovation tag A45 to door 101-1.

Drawing: A101.2

Revisions:

- a. Proposed First Floor Plan Area B, 2/A101.2: Delete renovation tag A39 indicated at the south wall alcove area.
- b. Proposed First Floor Plan Area B, 2/A101.2: Add renovation tag A44 to doors 104-5, 106-3, 108-3 and 110-3.

Drawing: A101.4

Revisions:

- a. Proposed First Floor Plan Area C, 2/A101.4: Add renovation tag A44 to doors 107-3, 109-3 and 111-3.

Drawing: A102

Revisions:

- a. Proposed Second Floor Plan Area A, 2/A102: Add renovation tag A44 to door 201-2.

Drawing: A102.1

Revisions:

- a. Proposed Second Floor Plan Area B, 2/A102.1: Add renovation tag A44 to doors 205-3 and 209-3.
- b. Proposed Second Floor Plan Area B, 2/A102.1: Add renovation tag A45 to door 205-1.
- c. Interior Elevation 1/A102.1: The markerboard/tackboard unit should be centered on the wall.

Drawing: A102.2

Revisions:

- a. Proposed Second Floor Plan Area C, 2/A102.2: Add renovation tag A44 to door 210-3.

Drawing: A601

Revisions:

- a. Door and Frame Schedule: See attached revised drawing A601 for added "Hardware Type" column.

Drawing: All mechanical drawings

Revisions:

- a. ADD key plan and seal information on all mechanical sheets.

Drawing: All Mechanical and Electrical Drawings

Revisions:

- a. Revised B-numbers on titleblock
- b. Revised Project title on titleblock

Drawing: **ED111**

Revisions:

- a. Add key plan.

Drawing: **ED112**

Revisions:

- a. Added MDF room 201.
- b. Add Key plan.

Drawing: **ED121**

Revisions:

- a. Add Key plan

Drawing: **ED122**

Revisions:

- a. Added MDF room 201.
- b. Add Key plan.

Drawing: **E111**

Revisions:

- a. Add key plan.

Drawing: **E112**

Revisions:

- a. Added MDF room 201.
- b. Add Key plan

Drawing: **E121**

- Revisions:
a. Add Key plan.

Drawing: **E122**

- Revisions:
a. Added MDF room 201.
b. Add Key plan.

Drawing: **E301**

- Revisions:
a. Delete Panelboard detail.
b. Add room name and number on Data riser diagram.

BIDDER'S QUESTIONS

1. **Question:** Due to the scope of work for all projects, the substantial completion date is unachievable. Along with lost time for moving of furniture and equipment before start of project. Can the date for substantial completion be extended?

Response: No

2. **Question:** Visual Display Surfaces - in spec there is a note if new boards are not installed in time, to use temporary boards as necessary, how many temporary boards are we to provide per classroom?

Response: Temporary boards do not need to be provided.

3. **Question:** Do we need to provide temporary window shades, if new ones are not installed before start of school?

Response: No. Existing shades are to be removed and salvaged/protected and reinstalled until new shades can be installed.

4. **Question:** Wood Floor Refinishing- some projects call for 2 coats of stain, can we forgo the stain and just use 2 coats of sealer and 2 coats of finish for all projects. You are adding on time to an already accelerated schedule.

Response: Sand, seal, and finish the wood floors in accordance with the specifications. Omit staining of the floor.

5. **Question:** Have you checks on the choices of accent colors for the VCT tile? The colors may be a stock color, but do they have enough on hand, if not they may not be readily available for the substantial completion date.

Response: Armstrong has been made aware of this project and its approximate square footage needs. Contractor to provide updated information on each color's availability immediately after NTP.

6. **Question:** Can you please include and spec for electrostatic painting.

Response: See Electrostatic Paint spec in Addendum #2.

ATTACHMENTS

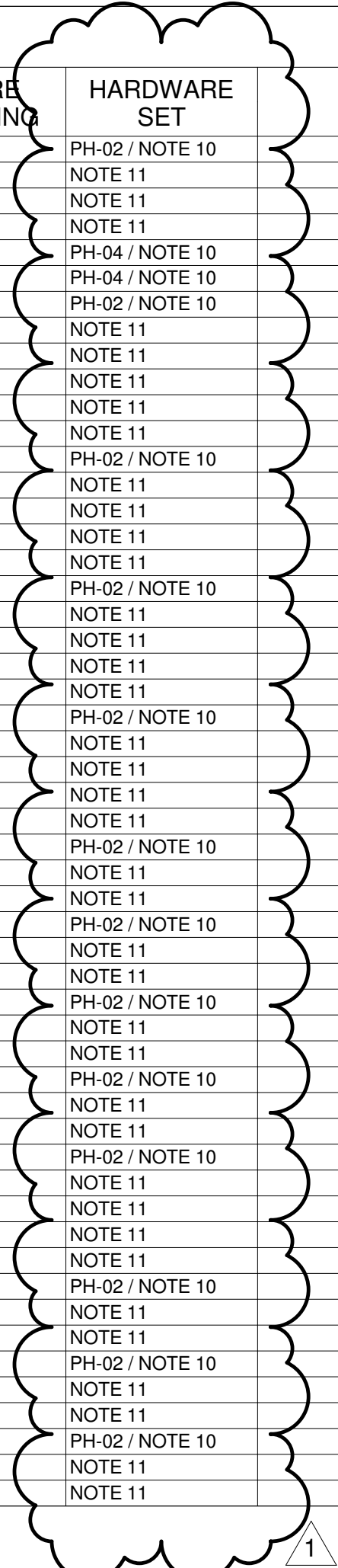
Drawing A601
Drawing E001
Drawing ED111
Drawing ED112
Drawing ED121

Drawing ED122
Drawing E111
Drawing E112
Drawing E121
Drawing E122
Drawing E301
Drawing M001
Drawing M111
Drawing M112

End of Addendum No. 1

DOOR AND FRAME SCHEDULE

Table with columns: NO., TYPE, WIDTH, HEIGHT, THICKNESS, MATERIAL, FINISH, TYPE, MATERIAL, FINISH, DEPTH, GLAZING TYPE, FIRE RATING, HARDWARE SET, COMMENTS. Rows include door specifications for various materials like wood, metal, and glass.

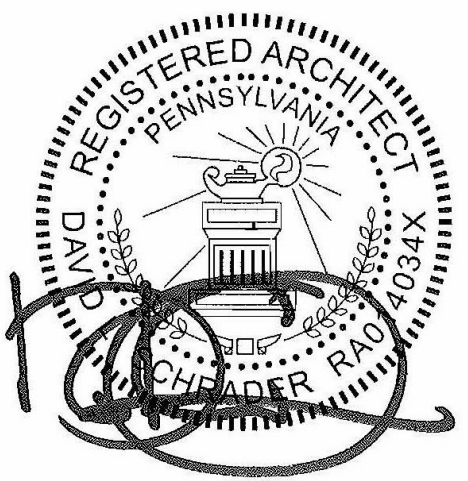


DOOR NOTES

- 1.) ALL GLAZING IN FIRE RATED DOORS TO BE FIRE GLASS COMPLYING WITH ANSI IMPACT REQUIREMENTS.
2.) ALL CLOSERS TO HAVE CLOSING SPECS SET 90° - 12°, 5 SECONDS MIN.
3.) ALL DOOR LOCKS, LATCHES, PANIC HARDWARE AND PULLS TO BE SET 34"-48" AFF.
4.) ALL DOOR OPERATING DEVICES (OTHER THAN PANIC HARDWARE) TO BE LEVER OPERATED.
5.) ALL THRESHOLDS TO BE 1/2" MAX. HEIGHT, BEVELED TO 1:2 SLOPE.
6.) ALL GLASS IN DOORS AND WITHIN 24" OF A DOOR TO BE SAFETY TEMPERED GLASS (T).
7.) *SEE DOOR TYPES' DIMENSION NOTED IS FROM FINISHES FLOOR TO BOTTOM OF GLAZING.
8.) ALL DOOR HARDWARE TO BE MOUNTED A MINIMUM OF 34 INCHES ABOVE FINISHED FLOOR AND A MAXIMUM OF 48 INCHES ABOVE FINISHED FLOOR.
9.) ALL EXISTING DOOR/FRAME SIZES TO BE FIELD VERIFIED.
10.) EXISTING DOOR HINGES TO REMAIN.
11.) EXISTING HARDWARE TO REMAIN. INSTALL NEW DEADBOLT, KEVED TO MATCH EXISTING SYSTEM.

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SEAL:



NAME (LICENSED PROFESSIONAL) DATE STATE AND LICENSE NO. XX/XX/20XX

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BID DOCUMENTS APRIL 20, 2018

Table with columns: NO., DATE, REVISION. Rows 10, 9, 8, 7, 6, 5, 4, 3, 2, 1. Row 1 includes '5/9/18' and 'ADDENDUM #1'.

SCHOOL & LOCATION

William Rowen School 6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE

Classroom Modifications to William Rowen School

DRAWING TITLE

DOOR SCHEDULE

Table with columns: LOCATION NO., FILE NO., DRAWN BY, CHECKED BY. Includes author 'B-063 C' and checker 'B-066 C' with dates.

DRAWING NO.

A601

SEAL:



State and License No. PA PE08988 DATE 09/30/2019

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BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION

SCHOOL & LOCATION
William Rowen School
6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE
Classroom Modifications to William Rowen School

DRAWING TITLE
ELECTRICAL COVER SHEET

LOCATION NO. 18-011	FILE NO.
DRAWN BY Author	CHECKED BY Checker
B-063 C	OF 2017/18
B-066 C	OF 2017/18

DRAWING NO.
E001

ELECTRICAL LEGEND

SHEET NAMING LEGEND

DISCIPLINE — **E111A** — SECTOR

<p>ED DEMO E NEW WORK</p> <p>PLAN TYPE 1" FLOOR PLAN 2" ENLARGED FLOOR ETC.</p>	<p>SYSTEM TYPE 1" SITE 1" LIGHTING 2" POWER 3" FIRE ALARM</p>	<p>FLOOR LEVEL 0" LOWEST FLOOR 1" NEXT FLOOR LEVEL ETC.</p>
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ELECTRICAL LEGEND

SPECIAL SYSTEMS

#	DATA OUTLET. "N" INDICATES # OF DATA PORTS IF MORE THAN ONE DATA PORT. PROVIDE PLENUM RATED CAT6 CABLE IN 3/4" EMT C. UNLESS OTHERWISE NOTED. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION.
▽	DATA OUTLET. PROVIDE PLENUM RATED CAT6 CABLE IN 3/4" EMT C. UNLESS OTHERWISE NOTED.
▽	TELEPHONE OUTLET.
AV	WALL MOUNTED AUDIO/VISUAL OUTLET.
S	CEILING MOUNTED SPEAKER.
S	WALL MOUNTED SPEAKER.
W	WIRELESS CLOCK BATTERY OPERATED. SEE SPECIFICATION 275313.
C	WIRED CLOCK SYSTEM OUTLET.
WAP	WIRELESS ACCESS POINT.

LIGHTING FIXTURE SCHEDULE

ID	DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMP DATA			NOTES
			NO	WATTS	TYPE	
A	PENDANT MOUNTED DIRECT/INDIRECT LED LIGHT FIXTURE. SUSPEND FIXTURE 18" FROM CEILING	FINELITE S16 LED ID-DCC-4-2E-H-835-OPEN-120-SC-FA	N/A	7.2FT	LED	120 N/A

ELECTRICAL LEGEND

LIGHTING

NOTE: REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE TYPES.

A:	CAPITAL LETTER ADJACENT TO FIXTURE INDICATES TYPE.
a:	LOWER CASE LETTER INDICATES SWITCHING.
NL:	INDICATES NIGHT LIGHTING - UNSWITCHED FIXTURE.
●	SHADED CIRCLE INDICATES FIXTURE ON EMERGENCY CIRCUIT.
○	2X4' FLUORESCENT LED LIGHT FIXTURE - SURFACE OR RECESSED.
□	1X4' FLUORESCENT LED LIGHT FIXTURE - SURFACE/RECESSED/PENDANT.
□	SQUARE DOWNLIGHT FIXTURE - SURFACE OR RECESSED.
○	CIRCULAR DOWN LIGHT FIXTURE - RECESSED.
☎	EMERGENCY BATTERY PACK LIGHT FIXTURE.
☎	CEILING/WALL MOUNTED EXIT SIGN - SINGLE FACE. PROVIDE DIRECTIONAL ARROWS PER PLANS.
☎	CEILING/WALL MOUNTED EXIT SIGN - DOUBLE FACE. PROVIDE DIRECTIONAL ARROWS PER PLANS.
S	20A, 1P, 120/277V TOGGLE TYPE LIGHT SWITCH.
S3	20A, 3-WAY, 120/277V TOGGLE TYPE LIGHT SWITCH.
DS	DIMMER SWITCH. NUMBER INDICATES WATTAGE.
OS	CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR. SIMILAR TO LUTRON MODEL #LOS-GDT-1000-WH OR APPROVED EQUAL.
PP	POWER PACK SIMILAR TO LUTRON MODEL # PP-DV OR AN APPROVED EQUAL.

POWER

NOTES: REFER TO ARCHITECTURAL DRAWINGS AND ELEVATIONS FOR EXACT LOCATION AND MOUNTING HEIGHTS.

WP:	WEATHER PROOF (NEMA 3R)
IG:	ISOLATED GROUND.
GF:	GROUND FAULT INTERRUPTER.
GFIC:	GROUND FAULT CIRCUIT INTERRUPTER.
⊙	WALL MOUNTED 20A SINGLE RECEPTACLE (18" AFF UON).
⊕	WALL MOUNTED 20A DUPLEX RECEPTACLE. (18" AFF UON).
⊕	WALL 20A QUADRUPLER RECEPTACLE. (18" AFF UON).
⊕	WALL MOUNTED 20A SINGLE TAMPER RESISTANT RECEPTACLE (18" AFF UON).
⊕	WALL MOUNTED 20A DUPLEX TAMPER RESITANT RECEPTACLE. (18" AFF UON).
⊕	WALL 20A QUADRUPLER TAMPER RESISTANT RECEPTACLE. (18" AFF UON).
⊕	FLOOR MOUNTED 20A DUPLEX TAMPER RESISTANT RECEPTACLE.
⊕	CEILING MOUNTED 20A SIMPLEX RECEPTACLE.
⊕	CEILING MOUNTED 20A DUPLEX RECEPTACLE.
⊕	CEILING MOUNTED QUADRUPLER RECEPTACLE.
⊕	FLOOR MOUNTED 20A SIMPLEX RECEPTACLE.
⊕	FLOOR MOUNTED 20A DUPLEX RECEPTACLE.
⊕	FLOOR MOUNTED 20A QUADRUPLER RECEPTACLE.
⊕	CEILING MOUNTED JUNCTION BOX.
⊕	WALL MOUNTED JUNCTION BOX.
□	DISCONNECT SWITCH - NON-FUSED.
■	SURFACE MOUNTED PANEL.
■	RECESSED PANEL.

ELECTRICAL LEGEND

DEMOLITION

NOTE: REFER TO DEMOLITION DRAWINGS & NOTES FOR REQUIREMENTS.

R:	EXISTING TO BE REMOVED.
E:	EXISTING TO REMAIN.
ER:	EXISTING TO BE RELOCATED.
RE:	RELOCATED EXISTING DEVICE IN NEW LOCATION.
---	ITEMS SHOWN DASHED INDICATE EXISTING TO BE REMOVED.
---	LIGHT LINES INDICATE EXISTING TO REMAIN.

ABBREVIATIONS

A, AMP	AMPERES	G, GND	GROUND
AB	ABOVE	GC	GENERAL CONTRACTOR
AC	ALTERNATE CURRENT	GFI	GROUND FAULT BRERRRUPTER
AFF	ABOVE FINISHED FLOOR	IG	ISOLATED GROUND
ARCH	ARCHITECTURAL ARCHITECT	INCAND	INCANDESCENT
BEL	BELOW	KAC	KILOAMP INTERRUPTING CURRENT
BKR	BREAKER	KVA	KILOVOLT AMPERES
C	CONDUIT	KW	KILOWATTS
CEIL	CEILING	LT(S)	LIGHT(S)
CKT	CIRCUIT	M	METER
CM	CENTIMETER	MECH	MECHANICAL
DC	DIRECT CURRENT	MH	MOUNTING HEIGHT
D/S	DISCONNECT SWITCH	MLO	MAIN LUGS ONLY
DISC	DISCONNECT SWITCH	MM	MILLIMETER
DWG	DRAWING	MTD	MOUNTED
EC	ELECTRICAL CONTRACTOR	NEC	NATIONAL ELECTRICAL CODE
EF	EXHAUST FAN	NO.#	NUMBER
ELEC	ELECTRICAL	NTS	NOT TO SCALE
EM	EMERGENCY	P	POLE
EQUIP	EQUIPMENT	PH, □	PHASE
EXIST	EXISTING	PNL	PANEL
FA	FIRE ALARM	RECEP	RECEPTACLE
FAFP	FIRE ALARM CONTROL PANEL	RH	ROOM
FAAP	FIRE ALARM ANNUNCIATOR PANEL	TELE	TELEPHONE
FIXT	FIXTURE	TYP	TYPICAL
FLA	FULL LOAD AMPERES	UON	UNLESS OTHERWISE NOTED
FLUOR	FLUORESCENT	V	VOLTS
		W	WATTS
		W	WITH
		WP	WEATHERPROOF

GENERAL

⊕	INDICATES PLAN NOTE.
⊕	INDICATES REVISION. CLOUDED AREA CONTAINS THE REVISION.
⊕	INDICATES ROOM NUMBER.
└─┘	BRANCH CIRCUIT HOMERUN
○	CONDUIT UP
○	CONDUIT DOWN
→	GROUND

ELECTRICAL LEGEND

DEMOLITION NOTES

- WHERE EXISTING FACILITIES ARE BEING ALTERED, DISCONNECT AND REMOVE OR RELOCATE AND EXTEND ALL EXISTING ELECTRICAL WORK THAT INTERFERES WITH OR IS NECESSARY DUE TO SCOPE OF RENOVATION AS SPECIFIED. SHOWN OR REQUIRED. CONTRACTOR TO RELOCATE ANY CONDUIT IN THE WAY OF NEW CONSTRUCTION.
- WHERE SPECIFIED OR REQUIRED, EXTEND EXISTING SYSTEMS OR THE INTO SAME TO PROVIDE A COMPLETE COORDINATED ELECTRICAL SYSTEM TO SATISFACTION OF OWNER AND ENGINEER.
- ALL EXISTING WORK TO REMAIN ACTIVE, BUT DISTURBED OR DISCONNECT DUE TO ALTERATIONS PER THIS RENOVATION SHALL BE REPLACED AND PUT IN OPERATING CONDITION AS REQUIRED TO MAINTAIN CONTINUITY UNLESS INSTRUCTED OTHERWISE IN WRITING BY OWNER OR ENGINEER.
- ALL DISCONNECTED OR ABANDONED WIRE, CABLE AND SURFACE CONDUIT OR RACEWAYS WITHIN THIS CONTRACT SHALL BE REMOVED.
- ALL EXISTING BUILDING MATERIALS DAMAGED DURING RENOVATIONS SHALL BE REPAIRED AND REPLACED BY THE CONTRACTOR. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO CEILING TILES, GRIDS, FLOORING, PARTITIONS AND SIMILAR BUILDING ELEMENTS. ALL DAMAGES TO EXISTING ELEMENTS SHALL BE REPAIRED TO A QUALITY AND FINISH LEVEL OF ADJACENT AREAS/SURFACES AND SUBJECT TO THE APPROVAL OF OWNER AND ENGINEER.
- PROVIDE PHYSICAL AND DUST PROTECTION OF OWNER'S EQUIPMENT, FURNITURE AND FLOORING DURING RENOVATION. EQUIPMENT PROTECTION SHALL BE INSTALLED AND REMOVED ON A DAILY BASIS AS DIRECTED BY OWNER.
- ALL ELECTRICAL WORK DAMAGED DURING RENOVATION SHALL BE REPAIRED AND REPLACED BY THE CONTRACTOR. THIS SHALL INCLUDE, BUT NOT LIMITED TO, RACEWAYS, WIREWAYS, BACKBOXES, LIGHTING FIXTURES, LAMPS, WIRING DEVICES AND SIMILAR ELECTRICAL EQUIPMENT. ALL DAMAGE SHALL BE REPAIRED TO A QUALITY LEVEL SUBJECT TO APPLICABLE CODE AND APPROVAL OF OWNER AND ENGINEER.
- PROVIDE A FINISH GRADE COVERPLATE FOR ALL WALL AND FLOOR BOX DEVICES TO BE REMOVED.
- EXISTING CONDUIT WIREWAYS AND BACKBOXES (IF IT IS AT CODE APPROVED HEIGHT) MAY BE REUSED WHERE NOTED. THE CONTRACTOR SHALL FIELD VERIFY CONDUIT AND BOX SUITABILITY. PROVIDE NEW AS REQUIRED BY ACTUAL FIELD CONDITIONS.
- PROVIDE TOUCH-UP PAINT AND FINISH PAINTING AS REQUIRED IN AREAS AFFECTED BY REMOVAL OF EXISTING EQUIPMENT OR INSTALLTION OF NEW. FINISH AND QUALITY LEVEL SHALL MATCH ADJACENT AREAS AND BE SUBJECT TO APPROVAL OF OWNER AND ENGINEER.
- PERFORM ALTERATIONS AND CONNECTION TO EXISTING FACILITIES WITH A MINIMUM INTERRUPTION. WHERE INTERRUPTION IS REQUIRED, PREPARE A TIME SCHEDULE AND DURATION. COORDINATE AND OBTAIN WRITTEN APPROVAL FROM PRINCIPAL AND OWNER (SOP). PROVIDE AND PLACE NOTICES IN AFFECTED AREAS AND ON FIXTURES OR EQUIPMENT WHICH WILL BE TEMPORARILY OUT OF USE. REMOVE NOTICES WHEN INTERRUPTION IS COMPLETE.
- DISCONNECT AND REMOVE ALL EXISTING SWITCHES AND LIGHT FIXTURES. REMOVE EXISTING LIGHT FIXTURE CONTROL WIRING WITHIN THE ROOM. KEEP EXISTING LIGHTING CIRCUITS FOR REUSE AND CONNECTION FOR NEW LIGHTING FIXTURES WIRING.
- DURING RENOVATION PROVIDE ALL TEMPORARY LIGHTING AND POWER AS REQUIRED. COORDINATE WITH ALL OTHER TRADES FOR TEMPORARY POWER REQUIREMENTS.
- ALL DEMOLITION/REMOVAL SHALL BE PERFORMED IN A NEAT, WORKMANLIKE MANNER WITH GREAT EMPHASIS ON MINIMIZING COLLATERAL DAMAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED MATERIALS FROM THE SITE AND DISPOSAL THEREOF, UNLESS SPECIFICALLY NOTED OTHERWISE.
- IT IS INTENDED THAT ALL SURFACE BOXES, CONDUIT AND CABLES BE REMOVED. ALL WIRING TO BE REMOVED. BOXES AND CONDUIT EMBEDDED IN CONCRETE OR WALLS MAY REMAIN. CONDUIT TO BE CUT AT WALL BOUNDARY. BOXES TO BE COVERED WITH A STAINLESS STEEL BLANK COVER.

CODES

- PENNSYLVANIA UNIFORM CONSTRUCTION CODE (PA UCC)
- PHILADELPHIA EXISTING BUILDING CODE (2009)
- INTERNATIONAL BUILDING CODE (IBC 2003)
- PHILADELPHIA ENERGY CONSERVATION CODE
- PHILADELPHIA FIRE CODE
- PHILADELPHIA ELECTRICAL CODE
- PHILADELPHIA PERFORMANCE CODE
- PENNSYLVANIA DEPARTMENT OF EDUCATION REGULATION

ELECTRICAL NOTES

1 2 3 4 5 6 7 8

A

B

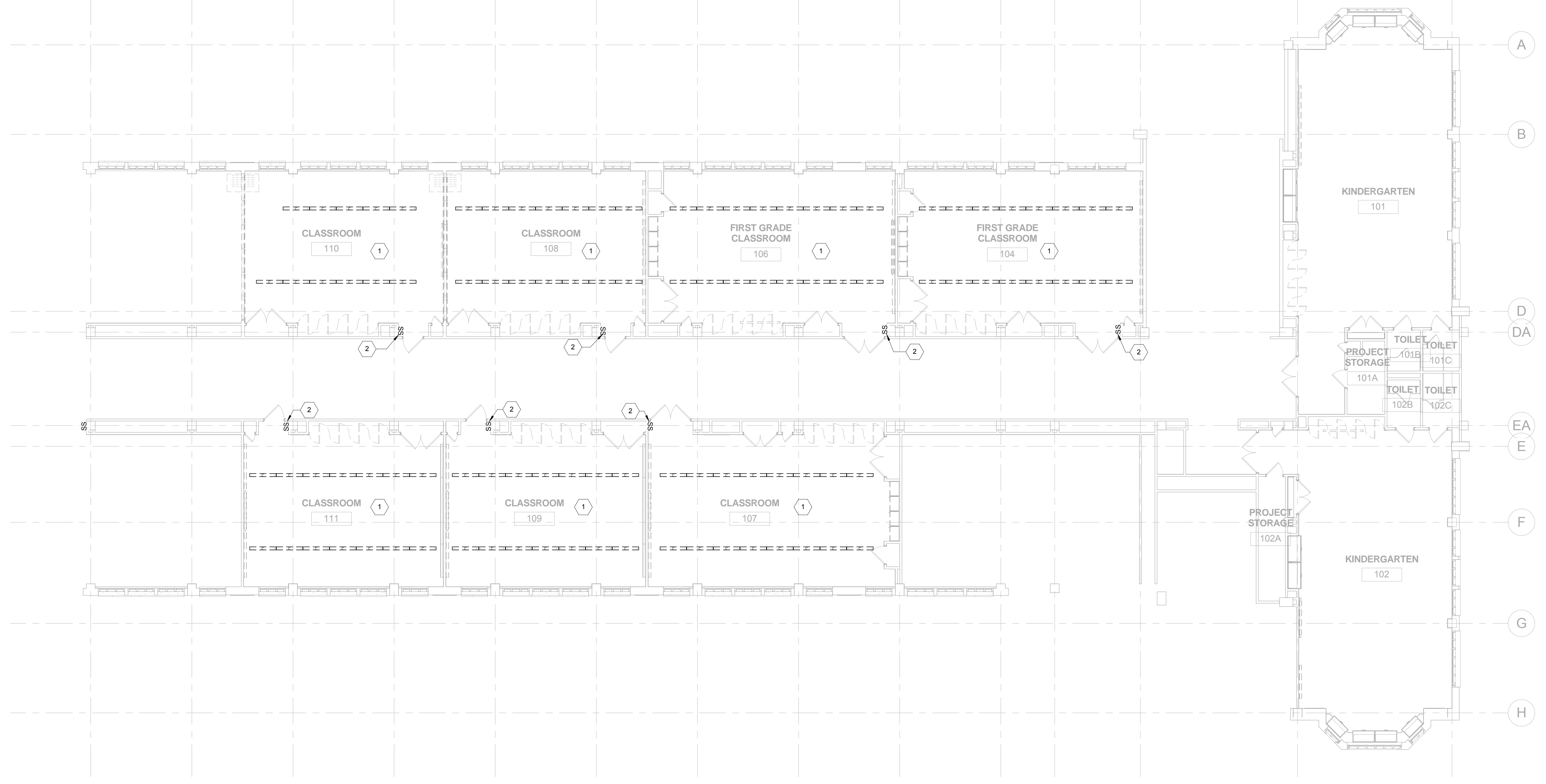
C

D

E

F

9 10 11 12 13 14 15 16 17 18 19 20 23 25



1 FIRST LEVEL - LIGHTING - DEMOILTION ROOMS 104, 106, 107, 108, 109, 110, AND 111
1/8" = 1'-0"

GENERAL NOTES

1. REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

1. DISCONNECT AND REMOVE ALL EXISTING LIGHT FIXTURE. EXISTING LIGHTING CIRCUIT TO REMAIN.
2. DISCONNECT AND REMOVE ALL EXISTING LIGHT SWITCH WITH COVER PLATE. EXISTING CIRCUIT TO REMAIN. PROVIDE NEW DIMMER SWITCHES IN ITS PLACE WITH COVER PLATE. AND RECONNECT TO EXISTING LIGHTING CIRCUIT.

SEAL:



State and License No. PA PE087888 DATE 09/30/2019

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BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

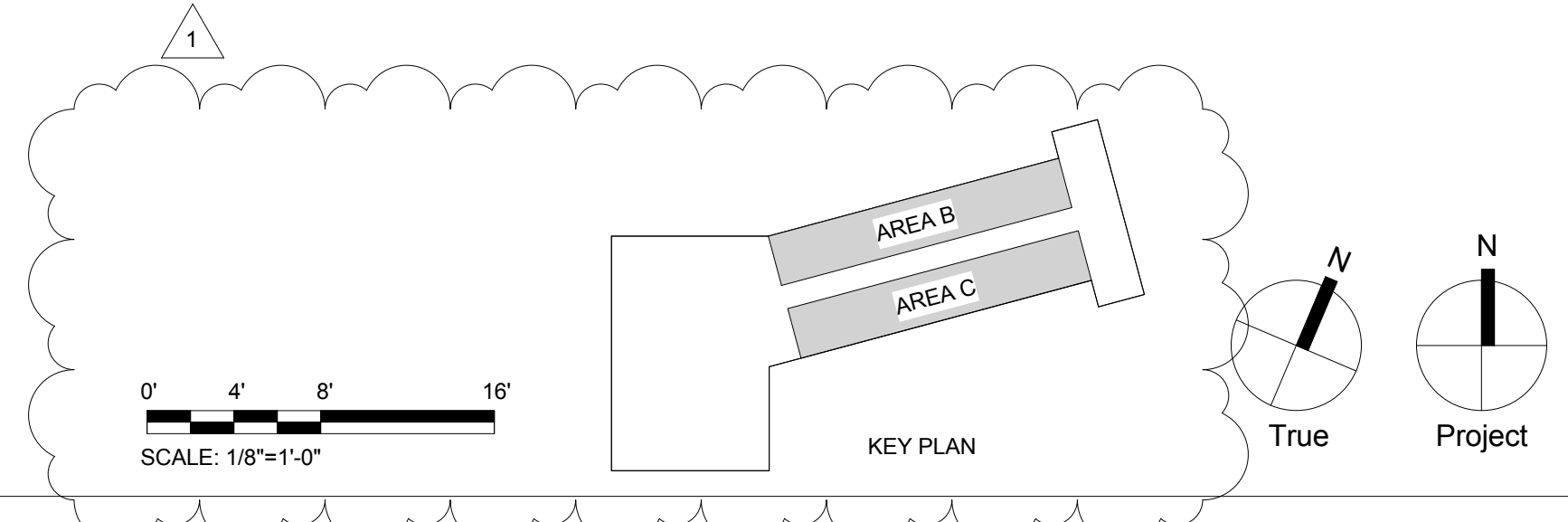
SCHOOL & LOCATION
William Rowen School
6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE
Classroom Modifications to William Rowen School

DRAWING TITLE
FIRST LEVEL - LIGHTING FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
18-011	
DRAWN BY	CHECKED BY
Author	Checker
B-063 C	OF 2017/18
B-066 C	OF 2017/18

DRAWING NO.
ED111



GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- DISCONNECT AND REMOVE ALL EXISTING LIGHT FIXTURE. EXISTING LIGHTING CIRCUIT TO REMAIN.
- DISCONNECT AND REMOVE ALL EXISTING LIGHT SWITCH WITH COVER PLATE. EXISTING CIRCUIT TO REMAIN. PROVIDE NEW DIMMER SWITCHES IN ITS PLACE WITH COVER PLATE. AND RECONNECT TO EXISTING LIGHTING CIRCUIT.

SEAL:



State: PA License No. PA PEOB0088 Date: 09/30/2019

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BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

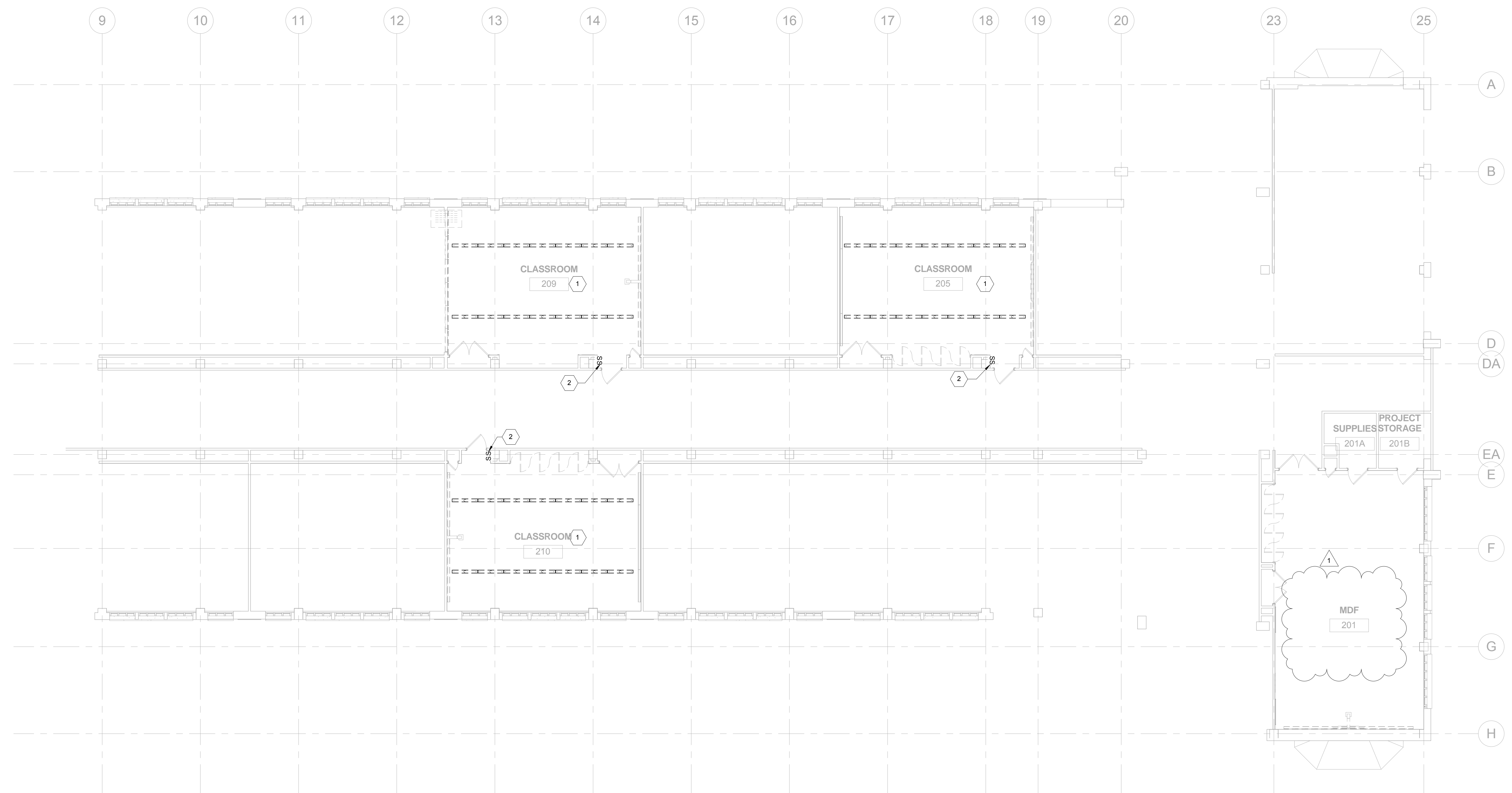
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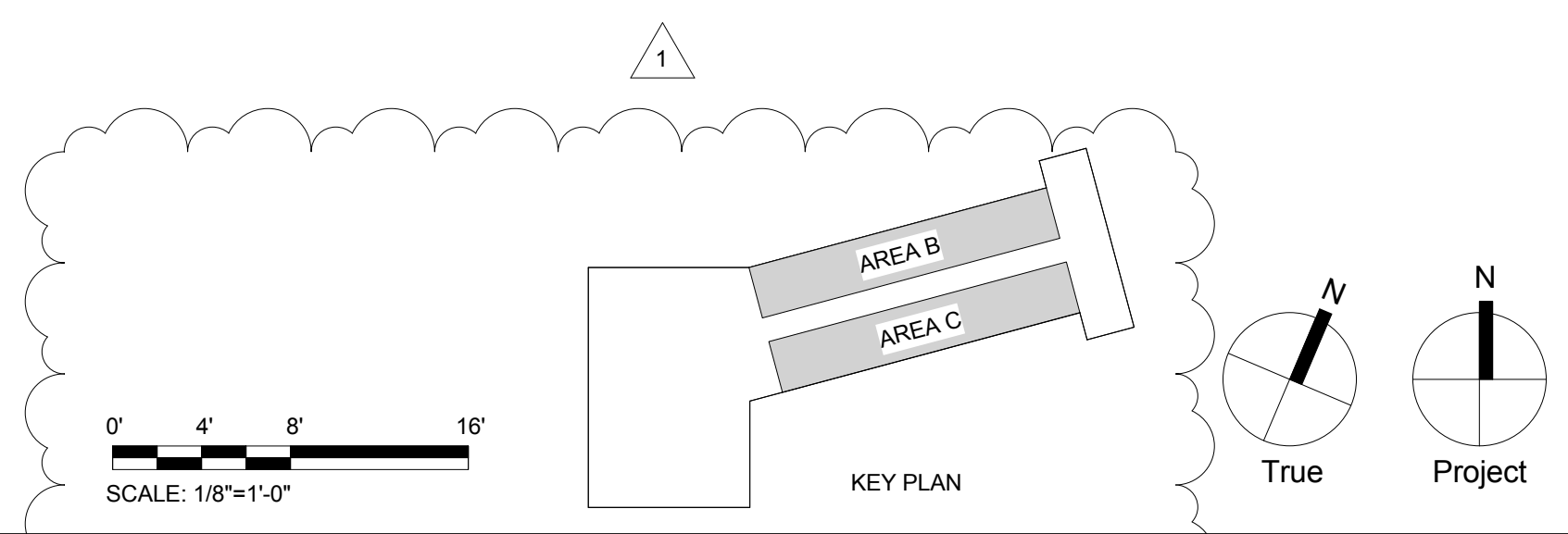
DRAWING TITLE
SECOND LEVEL - LIGHTING FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
18-011	
DRAWN BY	CHECKED BY
Author	Checker
B-063 C	OF 2017/18
B-066 C	OF 2017/18

DRAWING NO.
ED112



1 SECOND LEVEL - LIGHTING - DEMOILTON ROOMS 205, 209, AND 210
1/8" = 1'-0"



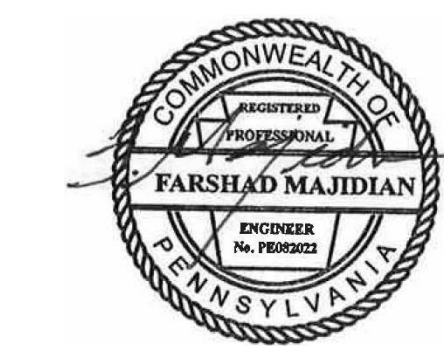
GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- DISCONNECT AND REMOVE ALL EXISTING RECEPTACLES WITH COVER PLATE. EXISTING CIRCUIT TO REMAIN. PROVIDE NEW TAMPER RESISTANT RECEPTACLES WITH COVER PLATE, AND RECONNECT TO EXISTING CIRCUIT.
- DISCONNECT AND REMOVE ALL EXISTING SYNCHRONOUS CLOCKS. PATCH AND PAINT TO MATCH EXISTING SURFACES.
- DISCONNECT AND REMOVE ABANDONED OLD SPEAKER.

SEAL:



STATE AND LICENSE NO. PA PED000000 DATE 09/30/2019

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BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

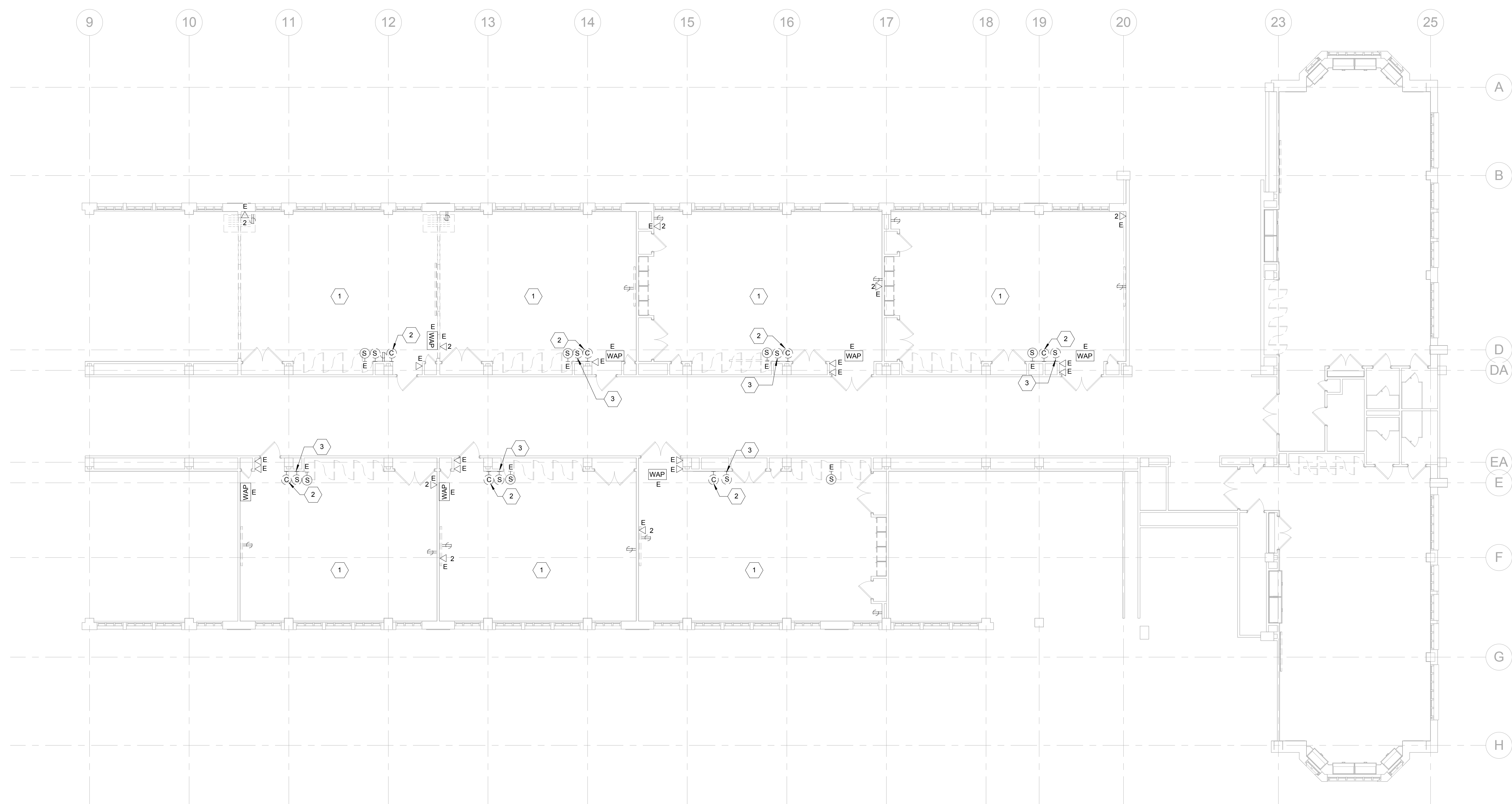
SCHOOL & LOCATION
William Rowen School
6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE
Classroom Modifications to William Rowen School

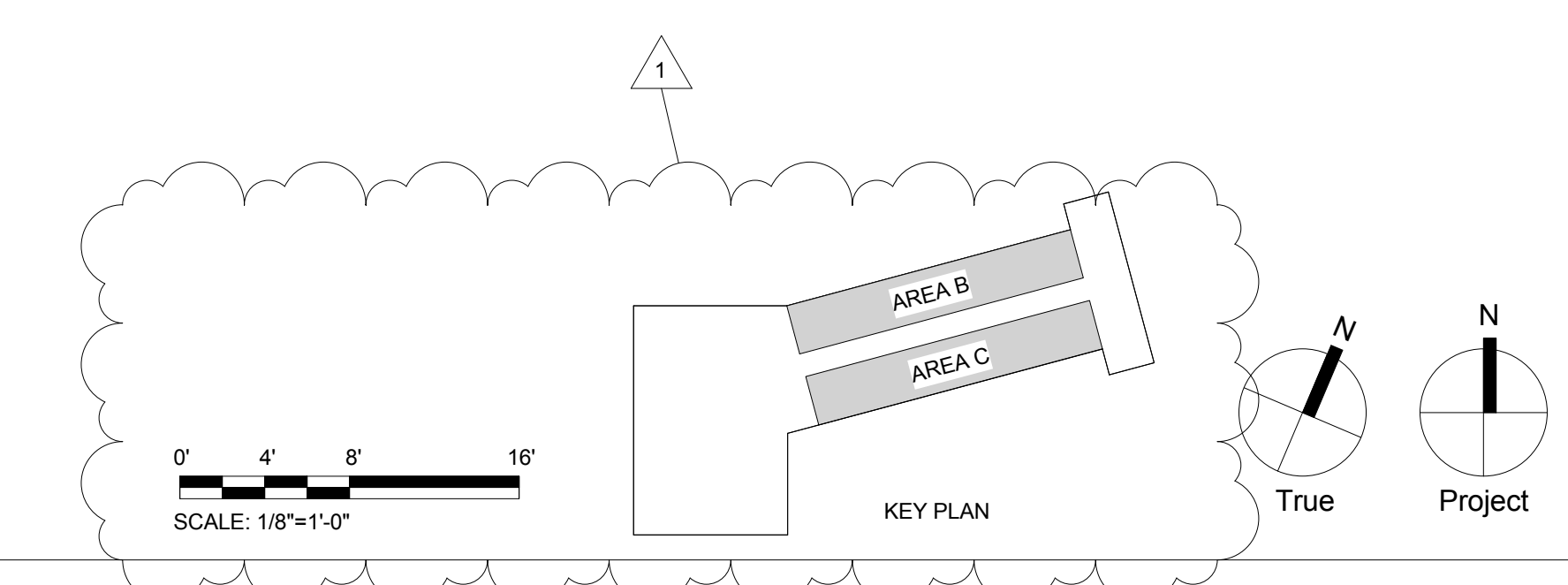
DRAWING TITLE
FIRST LEVEL - POWER FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
18-011	
DRAWN BY	CHECKED BY
Author	Checker
B-063 C	OF 2017/18
B-066 C	OF 2017/18

DRAWING NO.
ED121



1 FIRST LEVEL - POWER - DEMOILTION ROOMS 104, 106, 107, 108, 109, 110, AND 111
1/8" = 1'-0"



GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- DISCONNECT AND REMOVE ALL EXISTING RECEPTACLES WITH COVER PLATE. EXISTING CIRCUIT TO REMAIN. PROVIDE NEW TAMPER RESISTANT RECEPTACLES WITH COVER PLATE, AND RECONNECT TO EXISTING CIRCUIT.
- DISCONNECT AND REMOVE ALL EXISTING SYNCHRONOUS CLOCKS. PATCH AND PAINT TO MATCH EXISTING SURFACES.

SEAL:



State: PA License No. PA PE000000000 DATE 09/30/2019

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BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

SCHOOL & LOCATION
William Rowen School
6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE
Classroom Modifications to William Rowen School

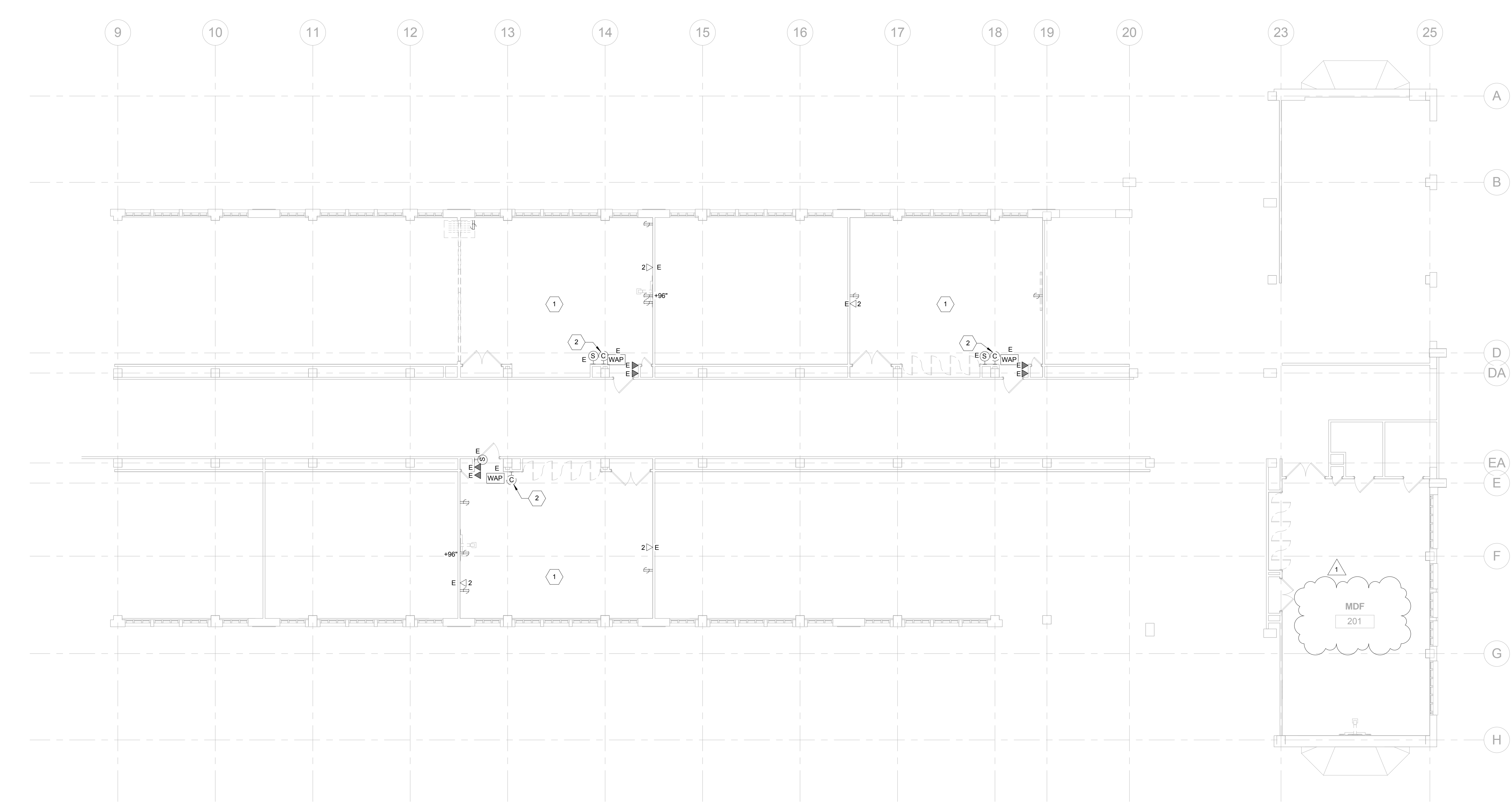
DRAWING TITLE
SECOND LEVEL - POWER FLOOR PLAN - DEMOLITION

LOCATION NO.	FILE NO.
18-011	

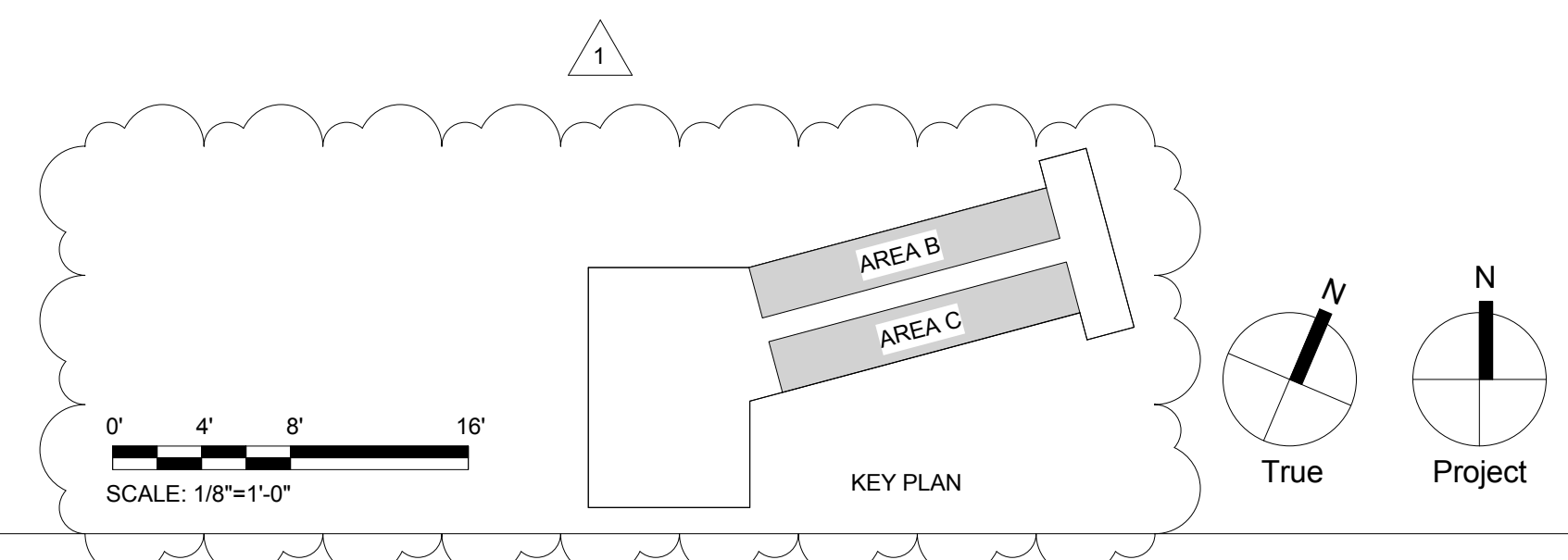
DRAWN BY	CHECKED BY
Author	Checker

	OF	2017/18
B-063 C		
B-066 C		

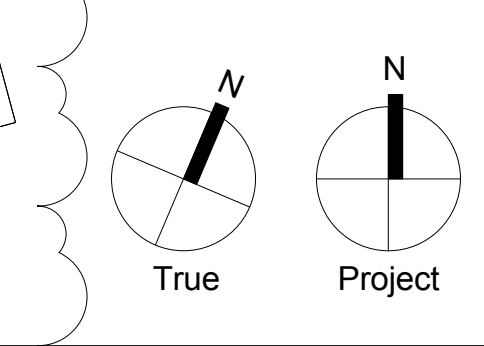
DRAWING NO.
ED122



1 SECOND LEVEL - POWER - DEMOILTION ROOMS 205, 209 AND 210
1/8" = 1'-0"



SCALE: 1/8"=1'-0"



GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- CONNECT TO A 20A, 1P SPARE CIRCUIT BREAKER #21 IN PANEL C2.
- CONNECT TO A 20A, 1P SPARE CIRCUIT BREAKER #23 IN PANEL C2.

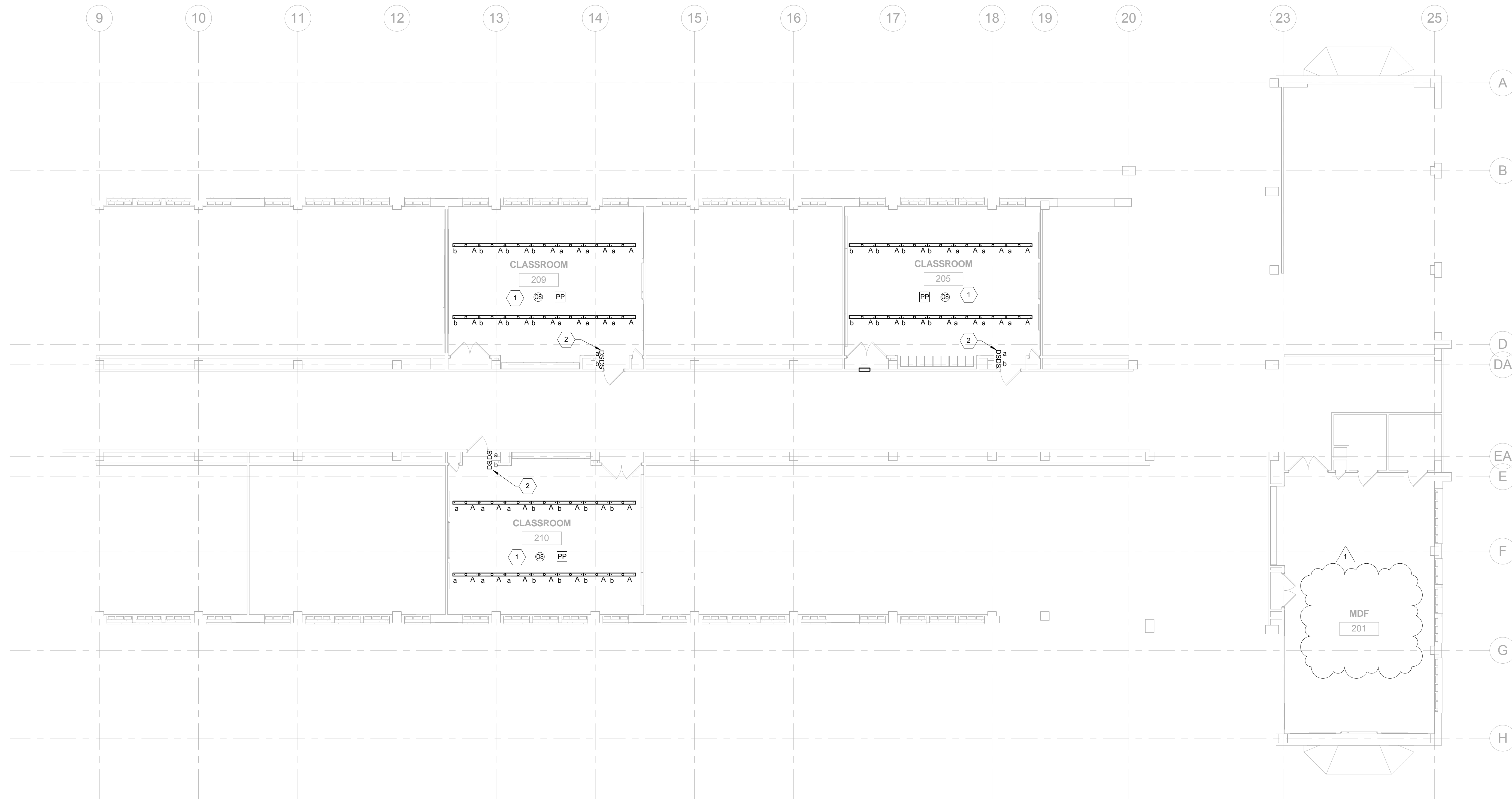
SEAL:



STATE AND LICENSE NO. PA PE097308 DATE 09/30/2019

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1 SECOND LEVEL - LIGHTING - NEW WORK ROOMS 205, 209, AND 210
1/8" = 1'-0"

BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

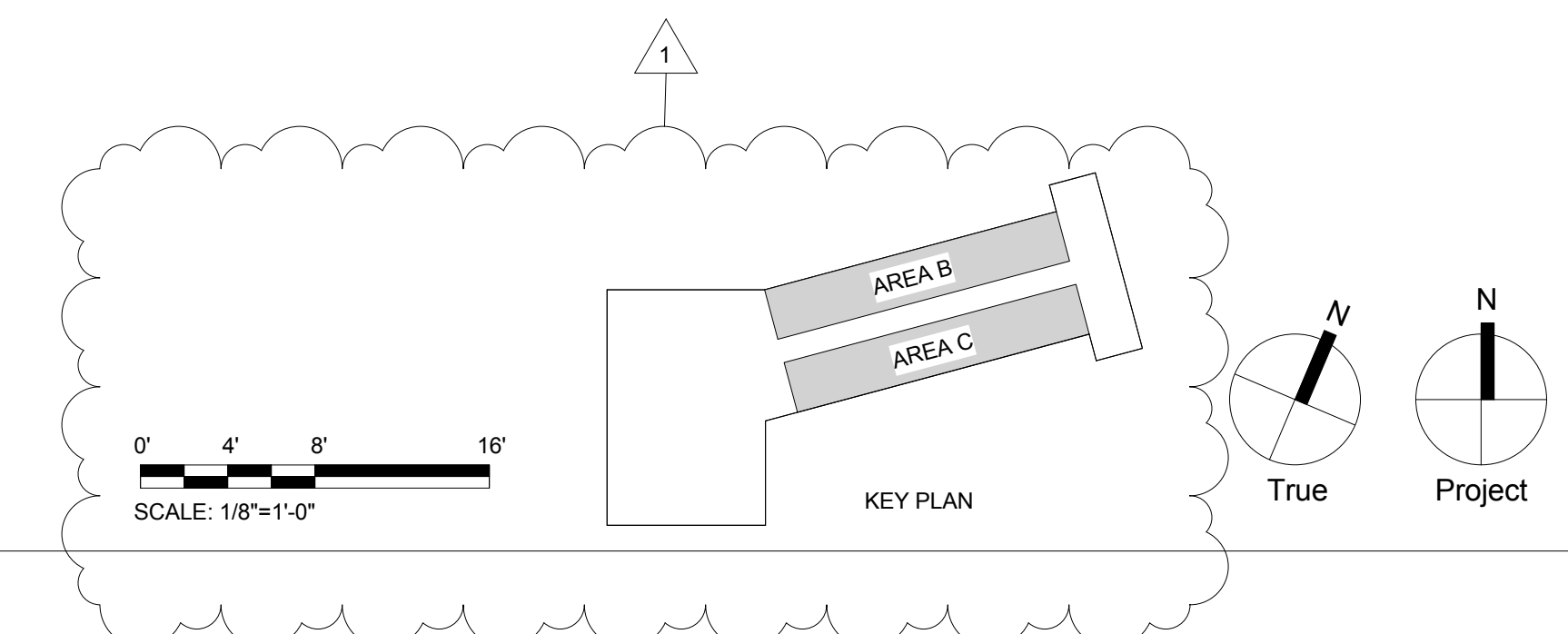
SCHOOL & LOCATION
William Rowen School
6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE
Classroom Modifications to William Rowen School

DRAWING TITLE
SECOND LEVEL - LIGHTING FLOOR PLAN - NEW WORK

LOCATION NO.	FILE NO.
18-011	
DRAWN BY	CHECKED BY
Author	Checker
B-063 C	OF 2017/18
B-066 C	OF 2017/18

DRAWING NO.
E112



GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- PROVIDE NEW TAMPER-RESISTANT RECEPTACLE WITH COVER PLATE IN EXISTING JUNCTION BOX AND CONNECT TO EXISTING CIRCUIT.
- SURFACE MOUNT NEW RECEPTACLE, DATA OUTLET AND ASSOCIATED CONDUITS. CONTRACTOR SHALL COORDINATE LOCATION AND ITS FEASIBILITY OF NEW RECEPTACLE AND DATA OUTLET PRIOR TO INSTALLATION.
- CONNECT TO AN EXISTING 20A, 1P SPARE CIRCUIT BREAKER IN PANEL C1.

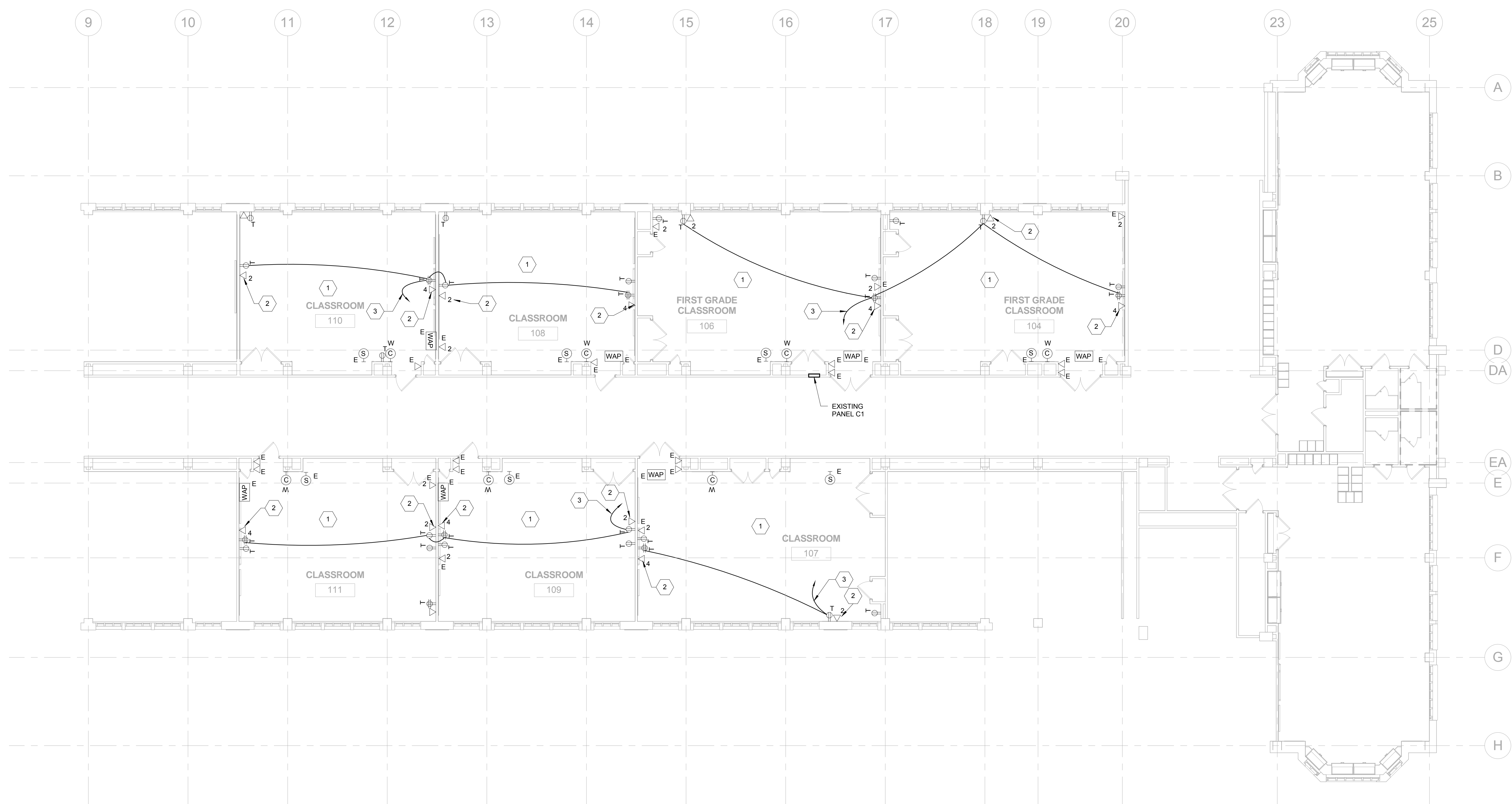
SEAL:



STATE AND LICENSE NO. PA PED000000 DATE 09/30/2019

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1 FIRST LEVEL - POWER - NEW WORK ROOMS 104, 106, 107, 108, 109, 110, AND 111
1/8" = 1'-0"

BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

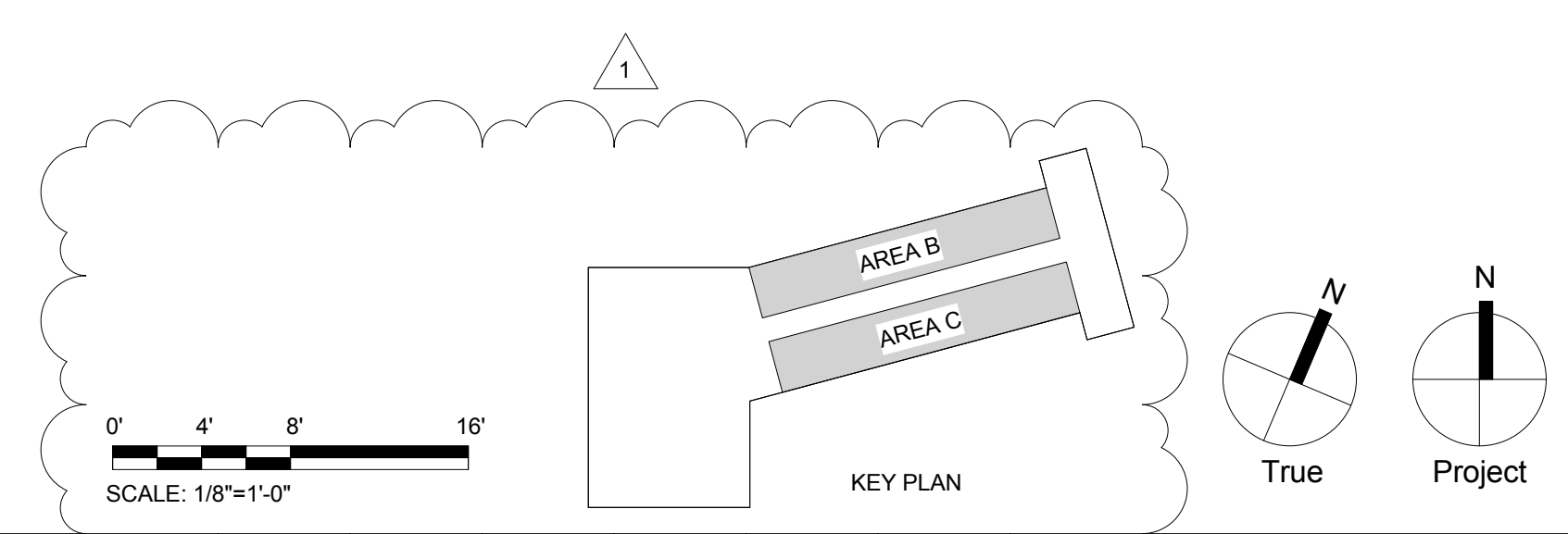
SCHOOL & LOCATION
William Rowen School
6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE
Classroom Modifications to William Rowen School

DRAWING TITLE
FIRST LEVEL - POWER FLOOR PLAN - NEW WORK

LOCATION NO.	FILE NO.
18-011	
DRAWN BY	CHECKED BY
Author	Checker
B-063 C	OF 2017/18
B-066 C	OF 2017/18

DRAWING NO.
E121



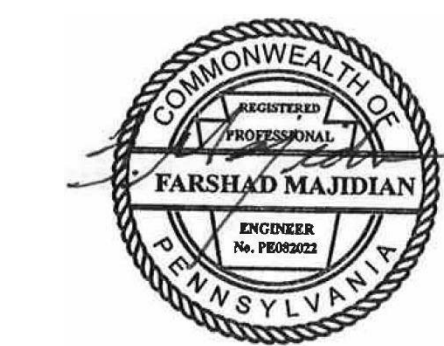
GENERAL NOTES

- REFER TO E001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.

KEYED NOTES

- PROVIDE NEW TAMPER-RESISTANT RECEPTACLE WITH COVER PLATE IN EXISTING JUNCTION BOX AND CONNECT TO EXISTING CIRCUIT.
- SURFACE MOUNT NEW RECEPTACLE, DATA OUTLET AND ASSOCIATED CONDUITS. CONTRACTOR SHALL COORDINATE LOCATION AND ITS FEASIBILITY OF NEW RECEPTACLE AND DATA OUTLET PRIOR TO INSTALLATION. CONNECT TO AN EXISTING 20A 1P SPARE CIRCUIT BREAKER #19 IN PANEL C2 (SPLIT BUS) BOTTOM PANEL.
- PROVIDE (2) 20A 1P 120V CIRCUIT BREAKER IN EXISTING BLANK SPACE #21 AND 23 IN PANEL C2 (SPLIT BUS) BOTTOM PANEL.
- CONNECT TO A 20A 1P SPARE CIRCUIT BREAKER #21 IN PANEL C2.
- CONNECT TO A 20A 1P SPARE CIRCUIT BREAKER #23 IN PANEL C2.

SEAL:



STATE AND LICENSE NO. PA PE008788 DATE 09/30/2019

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BID DOCUMENTS

APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

SCHOOL & LOCATION
William Rowen School
6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE
Classroom Modifications to William Rowen School

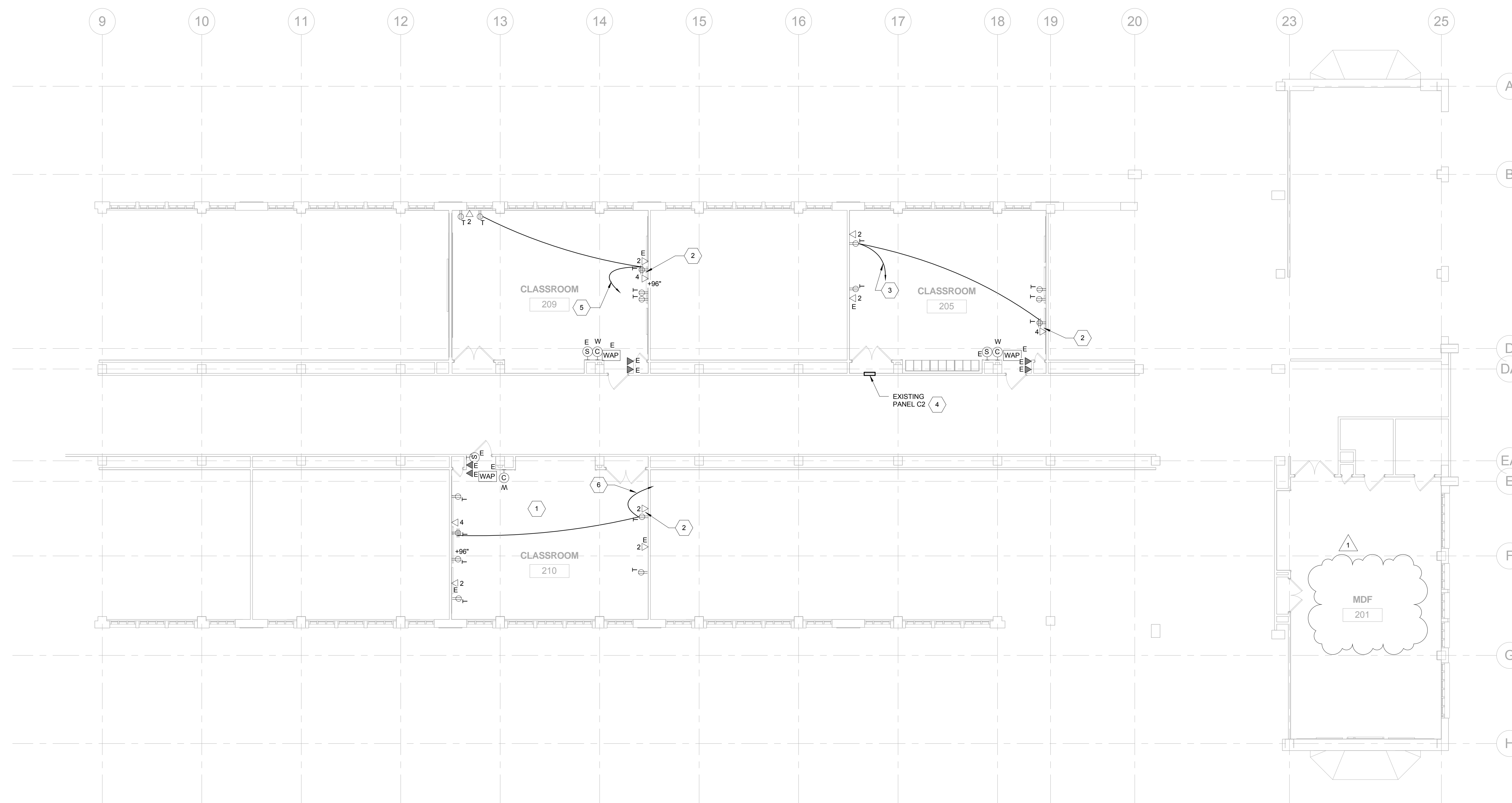
DRAWING TITLE
SECOND LEVEL - POWER FLOOR PLAN - NEW WORK

LOCATION NO.	FILE NO.
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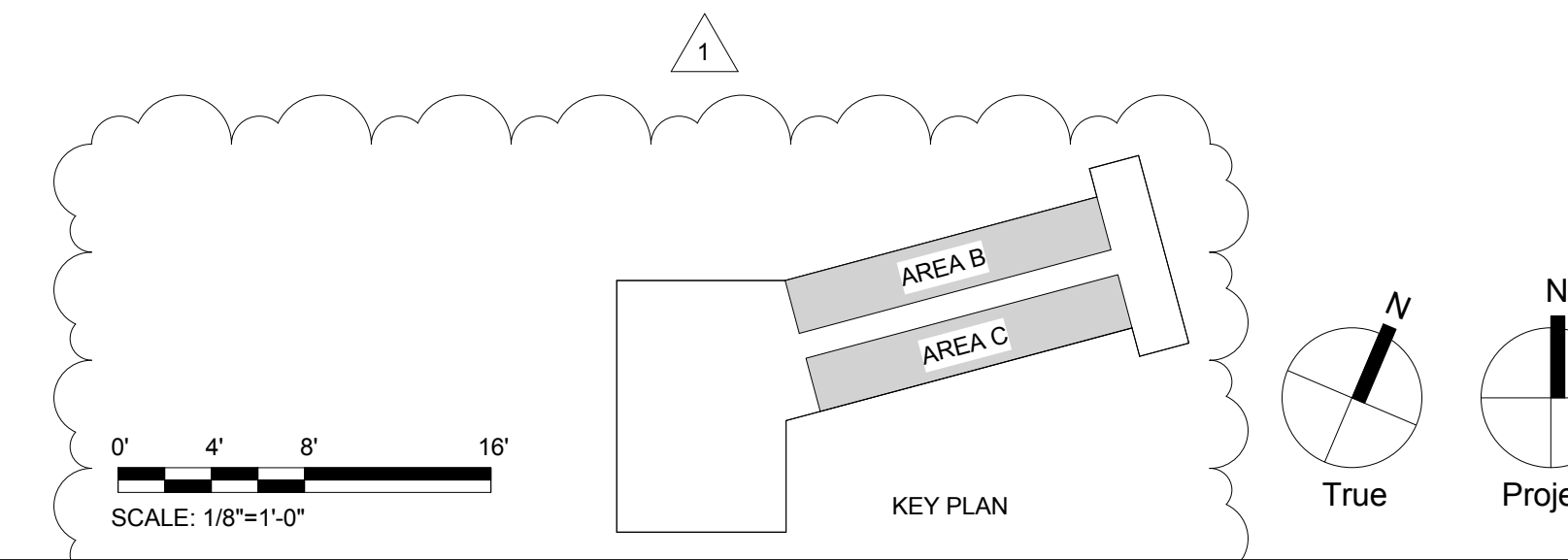
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Author	Checker

	OF	2017/18
B-063 C	OF	2017/18
B-066 C	OF	2017/18

DRAWING NO.
E122



1 SECOND LEVEL - POWER - NEW WORK ROOMS 205, 209, AND 210
1/8" = 1'-0"



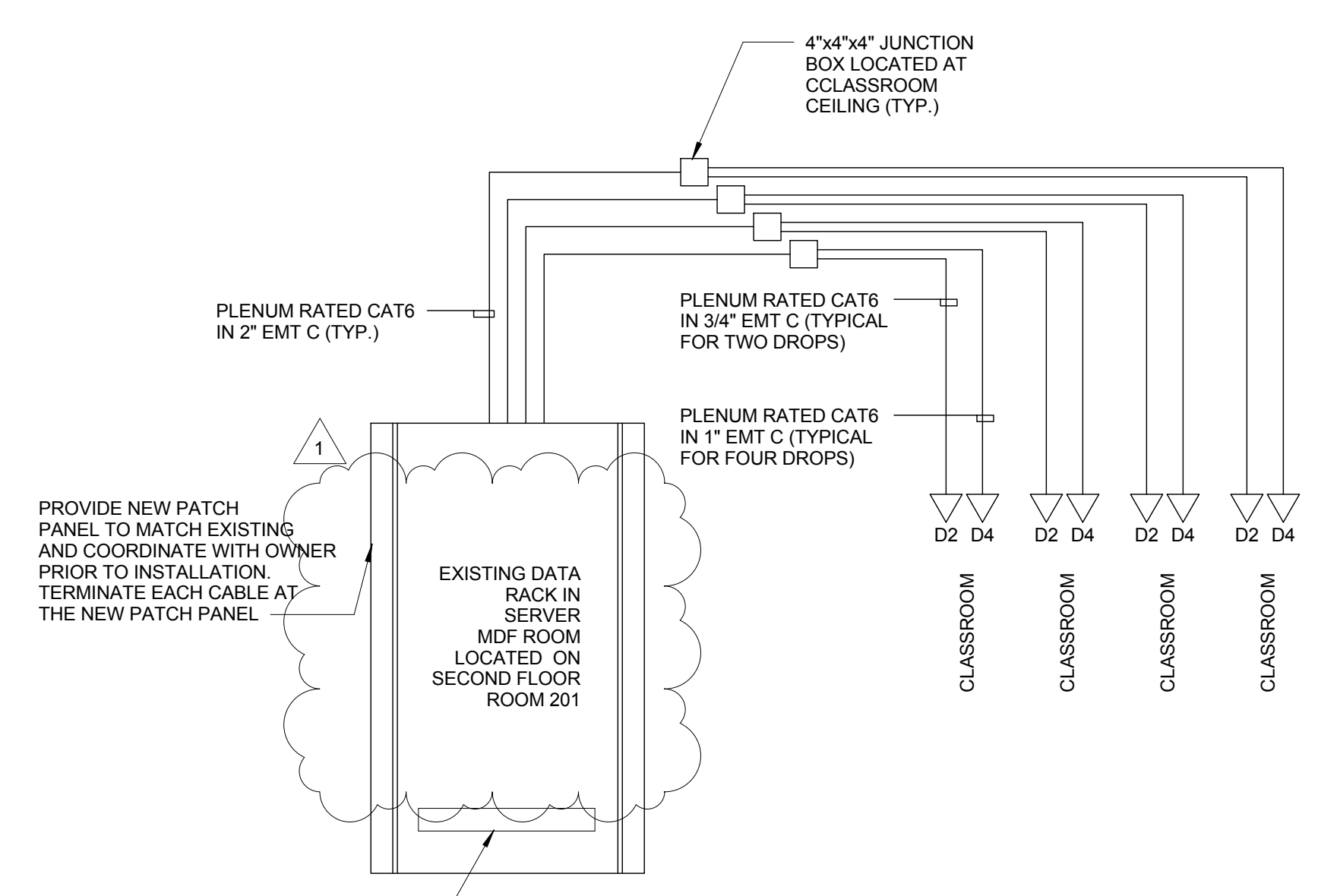
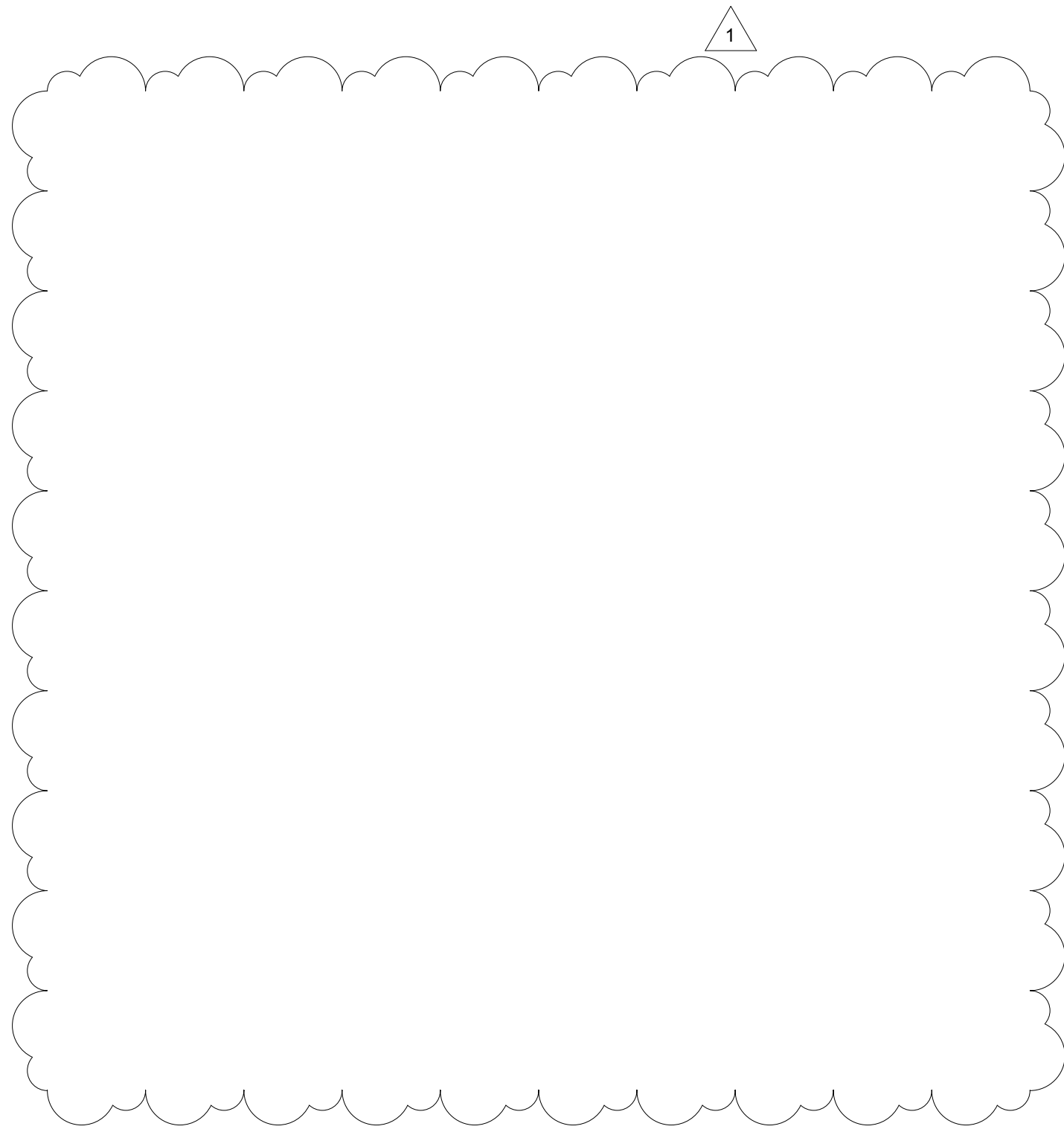
SEAL:



State & License No. PA PE000000 DATE 09/30/2019

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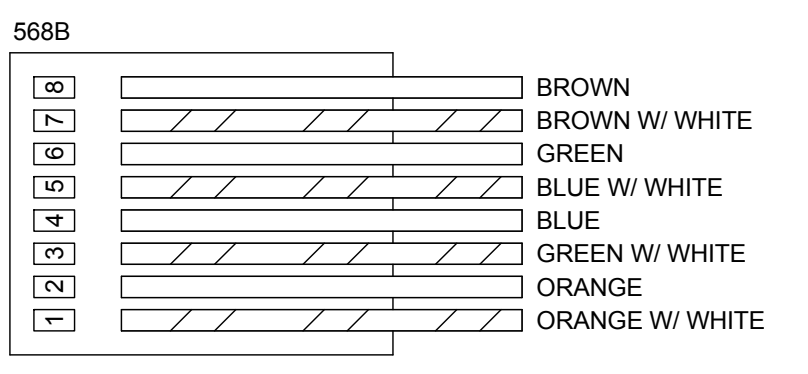
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PROVIDE NEW PATCH PANEL TO MATCH EXISTING AND COORDINATE WITH OWNER PRIOR TO INSTALLATION. TERMINATE EACH CABLE AT THE NEW PATCH PANEL.

NEW WIRELESS MASTER CLOCK HEADEND EQUIPMENT COORDINATE EXACT LOCATION WITH SDP IT DEPARTMENT

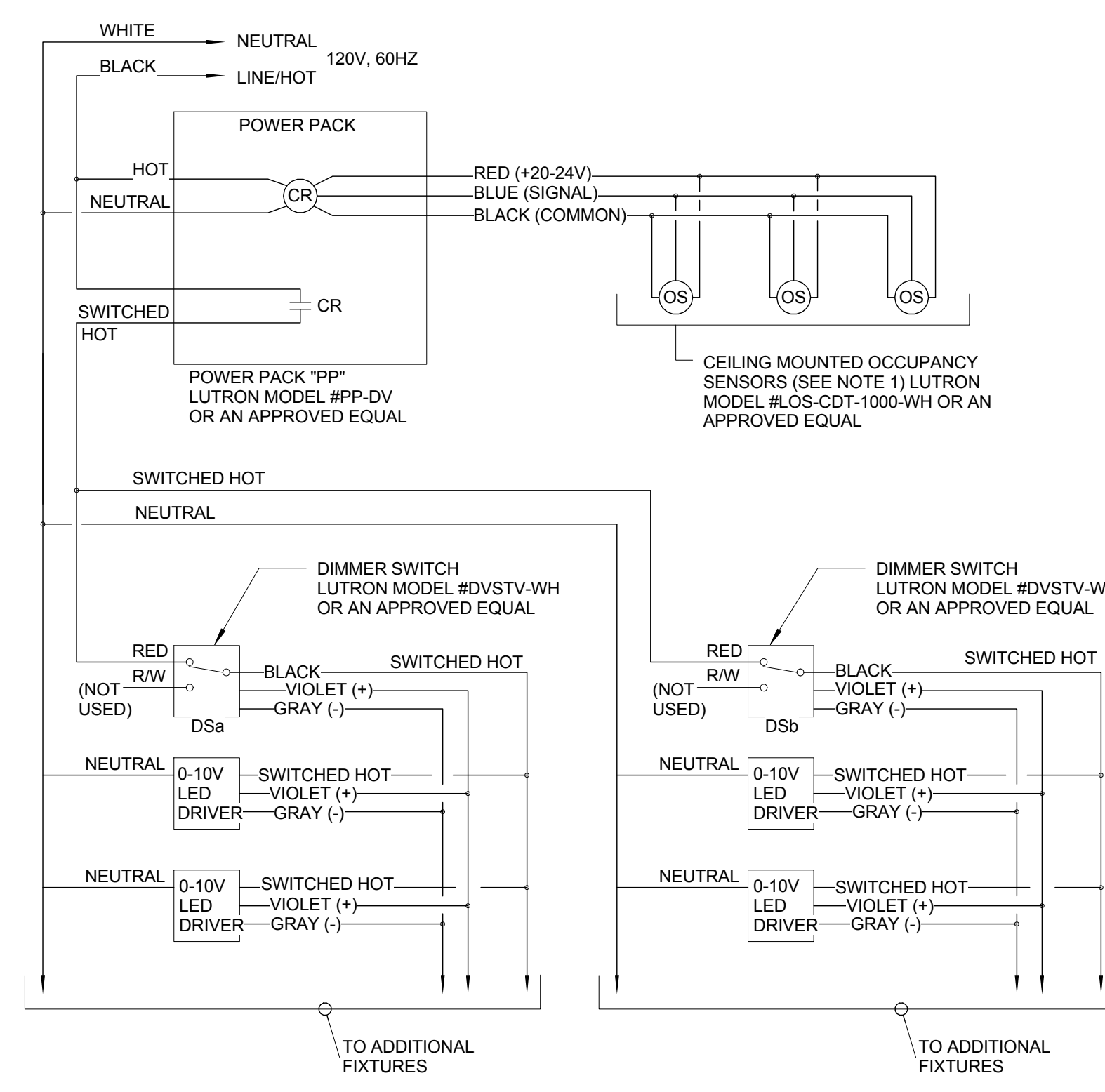
- NOTES**
- ELECTRICAL CONTRACTOR IS TO TEST EACH INDIVIDUAL DATA DROP AFTER TERMINATION AND PROVIDE A REPORT OF ALL DROPS TO SDP IT DEPARTMENT. SDP IT DEPARTMENT WILL BE RESPONSIBLE FOR FINAL CONNECTION AND ACTIVATION.
 - FOR EXACT NUMBER AND LOCATION OF DATA OUTLETS SEE POWER FLOOR PLANS NEW WORK.
 - FOR ALL COMMUNICATION REQUIREMENT SEE SPECIFICATION 271300 (COMMUNICATION SYSTEM).



NOTE
1. ALL RJ45 TERMINATION POINTS SHALL BE CONFIGURED TO THE EIA/TIA 568B STANDARD UNLESS SPECIFICALLY DIRECTED OTHERWISE BY SDP AUTHORIZED REPRESENTATIVE.

4 RJ45 TERMINATION DETAIL NTS

1 DATA RISER DIAGRAM NTS



- NOTES**
- MAXIMUM COMBINATION OF THREE OCCUPANCY SENSORS AND/OR RELAY UNITS PER CONTROL UNIT.
 - CONTRACTOR SHALL VERIFY CONTROLS COMPATIBILITY OF ALL DEVICE AND FIXTURE WITH MANUFACTURERS PRIOR TO PURCHASE.
 - DIAGRAM IS SCHEMATIC AND TO SHOW DESIGN INTENT AND IT IS BASED ON LUTRON PRODUCTS. CONTRACTOR SHALL VERIFY EXACT WIRING CONFIGURATION AND REQUIREMENTS PRIOR TO CONSTRUCTION.

TYPICAL CLASSROOM LED LIGHTING CONTROL SCHEMATIC CEILING OCCUPANCY SENSOR WITH TWO DIMMER SWITCHES NTS

BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

SCHOOL & LOCATION
William Rowen School
6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE
Classroom Modifications to William Rowen School

DRAWING TITLE
ELECTRICAL DETAILS

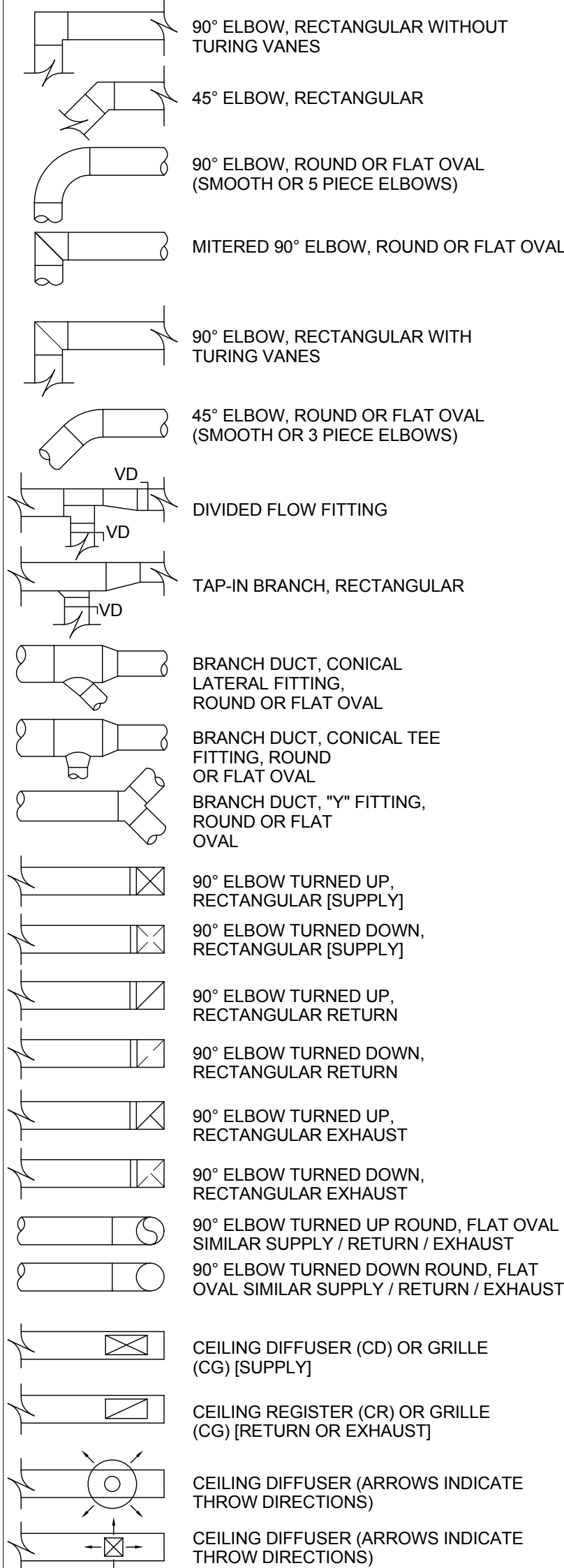
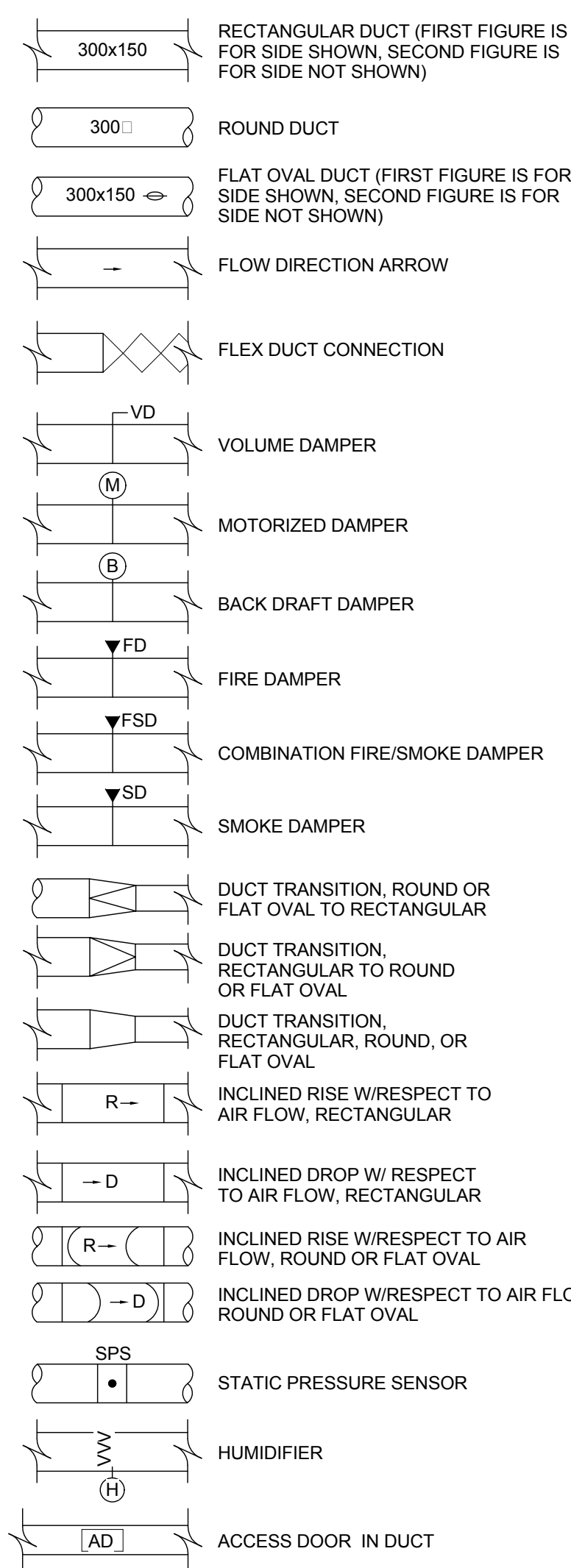
LOCATION NO.	FILE NO.
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DRAWN BY Author	CHECKED BY Checker
B-063 C B-066 C	OF 2017/18 OF 2017/18

DRAWING NO.
E301

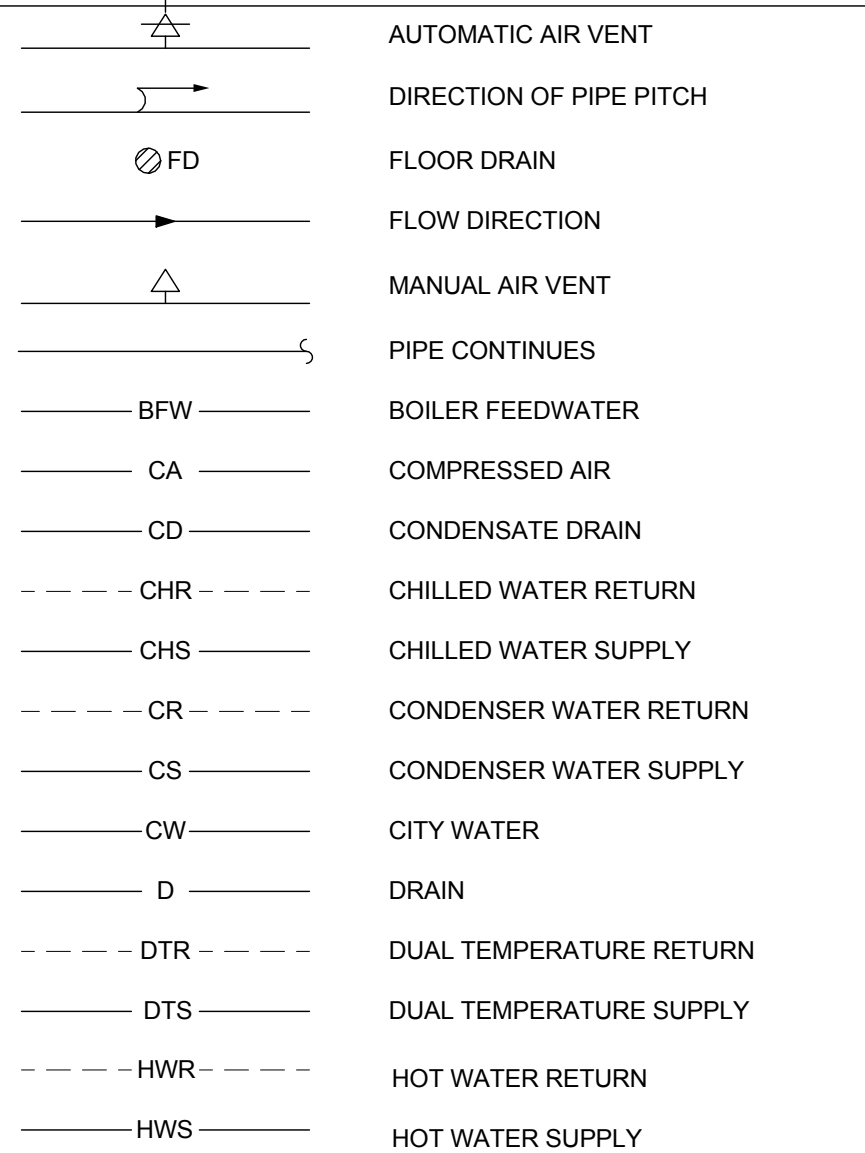
MECHANICAL GENERAL NOTES

- THE INTENT OF THESE DRAWINGS IS TO PROVIDE COMPLETE AND PROPERLY FUNCTIONING HVAC SYSTEMS. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO ACHIEVE SUCH ENDS. CONTRACTOR IS OBLIGATED TO EXAMINE PLANS. ANY OBSERVED FAULTS OR AMBIGUITY IN THESE PLANS SHALL BE CALLED TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY. SO THAT THE MATTER MAY BE RESOLVED PRIOR TO SUBMISSION OF BIDS. BY SUBMISSION OF BID, THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THESE PLANS AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIMS BASED ON INADEQUACY OF PLANS WILL NOT BE CONSIDERED.
- ALL WORK ON THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST APPLICABLE CODES AND REGULATIONS.
- THESE DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO DEPICT THE GENERAL LOCATION OF HVAC SYSTEM COMPONENTS. CONSULT THE ARCHITECTURAL PLANS FOR PROPER DIMENSIONS AND LOCATION OF EQUIPMENT.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF HVAC WORK WITH EXISTING CONDITIONS AND THE WORK OF OTHER TRADES. MINOR DEVIATIONS FROM THE PLANS MAY BE MADE TO AVOID MINOR CONFLICTS. WHEN MAJOR CONFLICTS ARE APPARENT, THE ARCHITECT SHALL BE ADVISED IMMEDIATELY, AND AFFECTED WORK SHALL NOT BE INSTALLED UNTIL THE CONFLICT HAS BEEN RESOLVED.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS AND ARRANGE FOR INSPECTIONS BY LOCAL AUTHORITIES HAVING JURISDICTION.
- MECHANICAL CONTRACTOR SHALL THOROUGHLY CLEAN HIS WORK AREA DAILY. MECHANICAL CONTRACTOR SHALL ALSO REMOVE ALL TRASH AFTER WORK COMPLETION.
- WHERE EXISTING FIELD CONDITIONS ARE DIFFERENT THAN SHOWN, THE CONTRACTOR SHALL ADVISE THE ENGINEER OF DISCREPANCIES WHICH WILL AFFECT THE PROPOSED WORK PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL LOCATE ALL EQUIPMENT WHICH MUST BE SERVICED, OPERATED, MAINTAINED IN FULLY ACCESSIBLE POSITION. EQUIPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, VALVES, TRAPS, CLEANOUTS, MOTORS, CONTROLLERS, DRAIN POINTS, ETC. IF REQUIRED FOR ACCESSIBILITY, FURNISH ACCESS DOORS FOR THIS PURPOSE. MINOR DEVIATIONS FROM DRAWINGS MAY BE MADE TO ALLOW FOR BETTER ACCESSIBILITY.
- ALL WORK TO BE GUARANTEED FOR TWO YEAR AGAINST LABOR AND MATERIALS. ANY DEFECTIVE MATERIALS OR WORKMANSHIP AS WELL AS DAMAGE TO THE WORK OF ALL TRADES RESULTING FROM SAME, SHALL BE REPLACED OR REPAIRED AS DIRECTED FOR THE DURATION OF THE GUARANTEE PERIOD. TIME FOR THIS GUARANTEE SHALL BEGIN FROM THE DATE OF ACCEPTANCE OF THE COMPLETE WORK BY THE OWNER OR HIS APPOINTED REPRESENTATIVE. NOTE: THESE GUARANTEES SHALL BE SUBMITTED TO THE TENANT AND/OR BUILDING OWNER FOR RECORD PURPOSES.
- AS USED IN DRAWINGS AND SPECIFICATIONS FOR MECHANICAL WORK, CERTAIN NON-TECHNICAL WORDS SHALL BE UNDERSTOOD TO HAVE SPECIFIC MEANINGS AS FOLLOWS REGARDLESS OF INDICATIONS TO THE CONTRARY IN THE GENERAL CONDITION OR OTHER DOCUMENTS GOVERNING THE MECHANICAL WORK.
 - "FURNISH" - PURCHASE AND DELIVER TO THE PROJECT SITE COMPLETE WITH EVERY NECESSARY APPURTENANCE AND SUPPORT. ALL AS PART OF THE MECHANICAL WORK. PURCHASING SHALL INCLUDE PAYMENT OF ALL SALES TAXES AND OTHER SURCHARGES AS MAY BE REQUIRED TO ASSURE THAT PURCHASED ITEMS ARE FREE OF ALL LIENS, CLAIMS OR ENCUMBRANCES.
 - "INSTALL" - UNLOAD AT THE DELIVERY POINT AT THE SITE AND PERFORM EVERY OPERATION NECESSARY TO ESTABLISH SECURE MOUNTING AND CORRECT OPERATION AT THE PROPER LOCATION IN THE PROJECT. ALL AS PART OF THE MECHANICAL WORK.
 - "PROVIDE" - "FURNISH" AND "INSTALL".
 - "NEW" - MANUFACTURED WITHIN THE PAST TWO YEARS AND NEVER BEFORE USED.
- ALL MATERIAL, EQUIPMENT AND ACCESSORIES, FURNISHED AND INSTALLED SHALL BE NEW AND EQUAL TO OR SURPASS THE QUALITY OF SIMILAR MATERIALS AS SCHEDULED. ALL MATERIALS, EQUIPMENT AND METHODS SHALL BE AS SPECIFIED IN THE BASE BUILDING CONTRACT DOCUMENTS UNLESS NOTED OTHERWISE.

DOUBLE LINE DUCTWORK



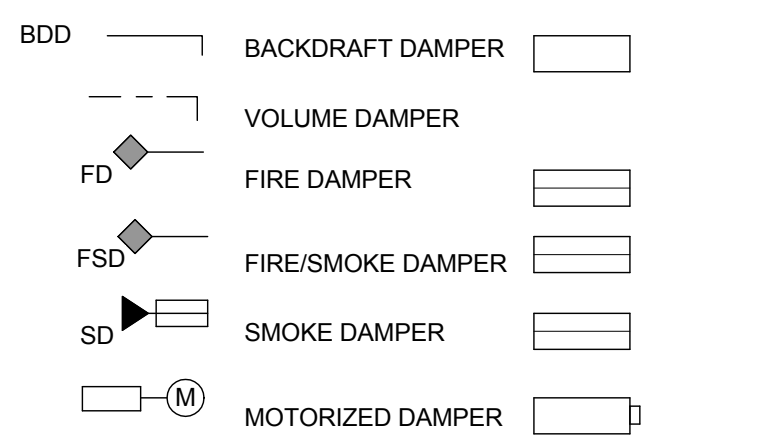
GENERAL PIPING



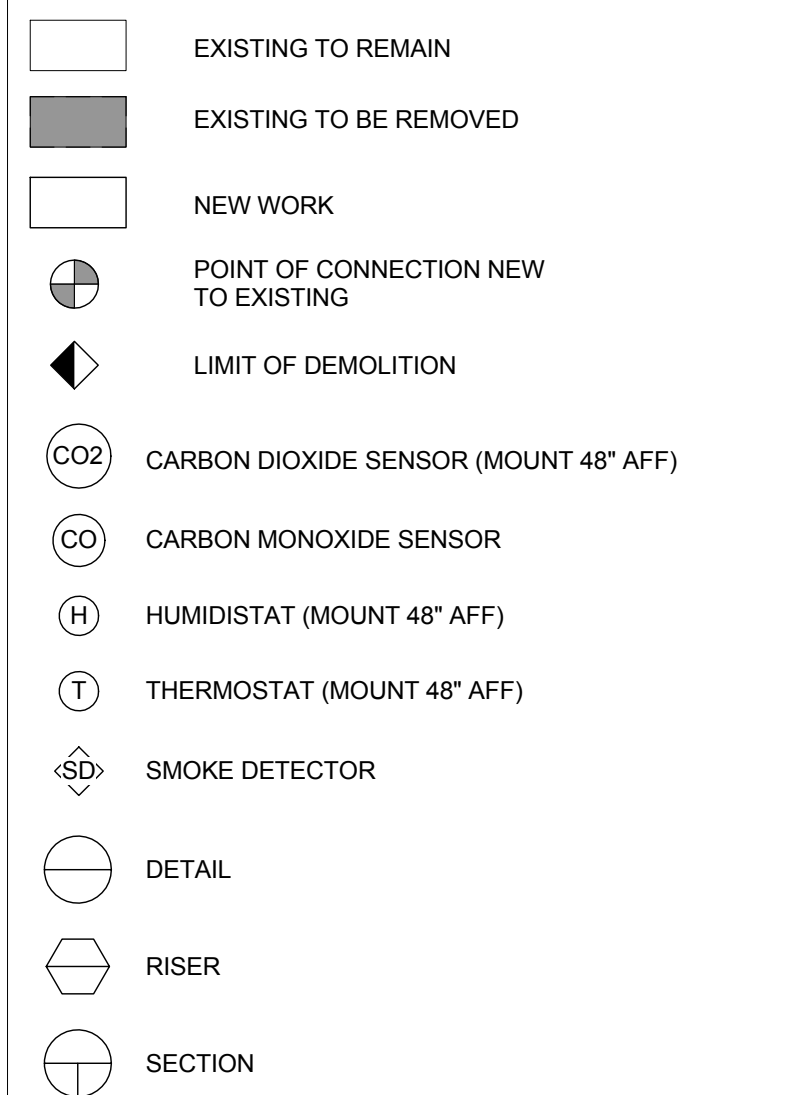
ABBREVIATIONS

AABC	ASSOCIATED AIR BALANCE	LBHR	POUNDS PER HOUR
AAV	AUTOMATIC AIR VENT	LRA	LOCKED ROTOR AMP
ABV	ABOVE	LWT	LEAVING WATER TEMPERATURE
AC	AIR CONDITIONING UNIT	M	MOTORIZED DAMPER
ACT	ACOUSTICAL CEILING TILE	MA	MIXED AIR
AD	ACCESS DOOR	MAT	MIXED AIR TEMPERATURE
ADDTL	ADDITIONAL	MAX	MAXIMUM
ADJ	ADJUST	MBH	ONE THOUSAND BTUH
AFC	ABOVE FINISHED CEILING	MC	MECHANICAL CONTRACTOR
AFCP	AIR FLOW CONTROL PANEL	MCC	MOTOR CONTROL CENTER
AF	ABOVE FINISHED FLOOR	MD	MANUAL DAMPER
AFM	AIR FLOW MEASURING STATION	MECH	MECHANICAL EQUIPMENT ROOM
AHU	AIR HANDLING UNIT	MFR	MANUFACTURER
AL	ALUMINUM	MIN	MINIMUM
AMB	AMBIENT	MJA	MAKE-UP AIR
AMT	AMOUNT	MUAU	MAKE-UP AIR UNIT
APD	AIR PRESSURE DROP	N/A	NOT APPLICABLE
ARCH	ARCHITECT	NC	NORMALLY CLOSED/NOISE CRITERIA
ARI	AMERICAN REFRIGERATION	NEC	NATIONAL ELECTRICAL CODE
AS	AIR SEPARATOR	NEG	NATIONAL GAS
ASHRAE	AMERICAN SOCIETY OF AIR CONDITIONING ENGINEERS	NG	NATURAL GAS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NO	NUMBER/NORMALLY OPEN
ATU	AIR TERMINAL UNIT	NTS	NOT TO SCALE
AUTO	AUTOMATIC	O/A	OUTSIDE AIR
B	BOILER	OAF	OUTSIDE AIR FAN
BAL	BALANCE/ING	OAL	OUTSIDE AIR LOUVER
BCU	BUILDING CONTROL UNIT	OBDD	OPPOSED BLADE DAMPER
BHP	BOILER HORSEPOWER/BRAKE	OC	ON CENTER/POWER
BOP	BOTTOM OF PIPE	OCC	OCCUPIED
BLDG	BUILDING	OCF	OVERFLOW
BLW	BELOW	OP	OPPOSITE
BOS	BOTTOM OF STEEL	ORIG	ORIGINAL
BPD	BACK PRESSURE DAMPER	O&M	OPERATION AND MAINTENANCE
BTUH	BRITISH THERMAL UNIT PER HOUR	P	PUMP
CA	COMBUSTION AIR	PC	PLUMBING CONTRACTOR
CAO	CEILING AIR DIFFUSER	PD	PRESSURE DROP
CAL	COMBUSTION AIR LOUVER	PDCV	PRESSURE DIFFERENTIAL CONTROL
CAP	CAPACITY	PH	PHASE
CAV	CONSTANT AIR VOLUME	PRV	PRESSURE REDUCING VALVE
CC	COILING COIL	PSI	POUNDS PER SQUARE INCH
CF	CENTRIFUGAL FAN	PRESS	PRESSURE
CFM	CUBIC FEET PER MINUTE	PSI	POUNDS PER SQUARE INCH
CLG	CEILING	PSIG	POUNDS PER SQUARE INCH GAUGE
CLD	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	QTY	QUANTITY
COND	CONDITIONING	RA	RETURN AIR
CONN	CONNECT/CONNECTION	RAG	RETURN AIR GRILLE
CONT	CONTINUATION	RAR	RETURN AIR REGISTER
CP	CIRCULATING PUMP	REF	REFERENCE
CSR	CEILING SUPPLY REGISTER	REG	REGISTER
CU	CONDENSING UNIT	RF	RETURN/RELIEF FAN
CV	CONTROL VALVE	RLA	RATED LOAD AMP
CW	COLD WATER	RLD	RETURN LINEAR AIR DIFFUSER
DB	DRY BULB	RM	ROOM
DB	DEGREE	RPM	REVOLUTIONS PER MINUTE
DDC	DIRECT DIGITAL CONTROL	SA	SUPPLY AIR
AP	PRESSURE DROP	SAG	SUPPLY AIR GRILLE
DA	DIAMETER	SAN	SANITARY
DIFF	DIFFERENCE	SAR	SUPPLY AIR REGISTER
DISC SW	DISCONNECT SWITCH	SC	SHADING COEFFICIENT
DN	DOWN	SD	SMOKE DAMPER/SPLITTER DAMPER
DOW	DRAIN POINT	SDC	SOUND DIGITAL CONTROLLER
DTL	DETAIL	SEER	SEASONAL ENERGY EFFICIENCY
DWG	DRAWING	SF	SUPPLY FAN
DX	DIRECT EXPANSION	SIM	SIMILAR
EA	EXHAUST AIR/EACH	SLAD	SLOT LINEAR AIR DIFFUSER
EAL	EXHAUST AIR LOUVER	SM&CA	SHEET METAL AND AIR
EAR	EXHAUST AIR REGISTER	SO	SCREENED OPENING
EAT	ENTERING AIR TEMPERATURE	SP	STATIC PRESSURE
EC	ELECTRICAL CONTRACTOR	SPEC	SPECIFICATION
ECON	ECONOMIZER	SQ FT	SQUARE FEET
EER	ENERGY EFFICIENCY RATIO	SQ IN	SQUARE INCHES
EF	EXHAUST FAN	SRV	STEAM RELIEF VENT
EFF	EFFICIENCY	SS	STAINLESS STEEL
ELEV	ELEVATION	STL	STEEL
ELL	ELBOW	STN	SECTION
ENT	ENTERING	SUSP	SUSPENSION
EQUIP	EQUIPMENT	SWR	SIDE WALL REGISTER
EQUIV	EQUIVALENT	SYM	SYMBOL
ESP	EXTERNAL STATIC PRESSURE	T	THERMOSTAT
EST	ESTIMATED	TCC	TEMPERATURE CONTROL/TEMPERATURE
EW	ELECTRIC WALL HEATER	TD	TEMPERATURE DIFFERENCE
EWT	ENTERING WATER	TEMP	TEMPERATURE
EXH	EXHAUST	TG	TRANSFER GRILLE
EXIST	EXISTING	TOS	TOP OF STEEL
'F	DEGREES FAHRENHEIT	TOT	TOTAL
FC	FLEXIBLE CONNECTION	TSP	TOTAL STATIC PRESSURE
FD	FIRE DAMPER	TV	TURNING VANE
FFE	FINISHED FLOOR ELEVATION	TXV	THERMAL EXPANSION VALVE
FLA	FULL LOAD AMP	TYP	TYPICAL
FLEX	FLEXIBLE	U	UNDERCUT
FLG	FLANGE	UG	UNDERGROUND
FLR	FLOOR	UL	UNDERWRITERS LABORATORY
FM	FACTORY MUTUAL	UV	UNIT VENTILATOR
FPM	FEET PER MINUTE	V	VOLTS
FEET	FEET	VAV	VARIABLE AIR VOLUME
FT	FEET OF WATER GAUGE	VD	VOLUME DAMPER
GA	GAUGE	VDR	VANED RETURN REGISTER
GAL	GALLONS	VFD	VARIABLE FREQUENCY DRIVE
GC	GENERAL CONTRACTOR	VOL	VOLUME
GPM	GALLONS PER MINUTE	VTR	VENT THROUGH ROOF
H	HEIGHT	W	WATT
HD	HEAD	W	WITH
HP	HORSEPOWER	WB	WET BULB
HVAC	HEATING, VENTILATION & AIR	WG	WATER GAUGE
HZ	HERTZ	WPD	WATER PRESSURE DROP
IN	INCHES	W/O	WITHOUT
INSUL	INSULATE/INSULATION		
IWG	INCHES WATER GAUGE		
KW	KILOWATT		
LAT	LEAVING AIR TEMPERATURE		
LB	POUND		
LBG	LINEAR BAR GRILLE		

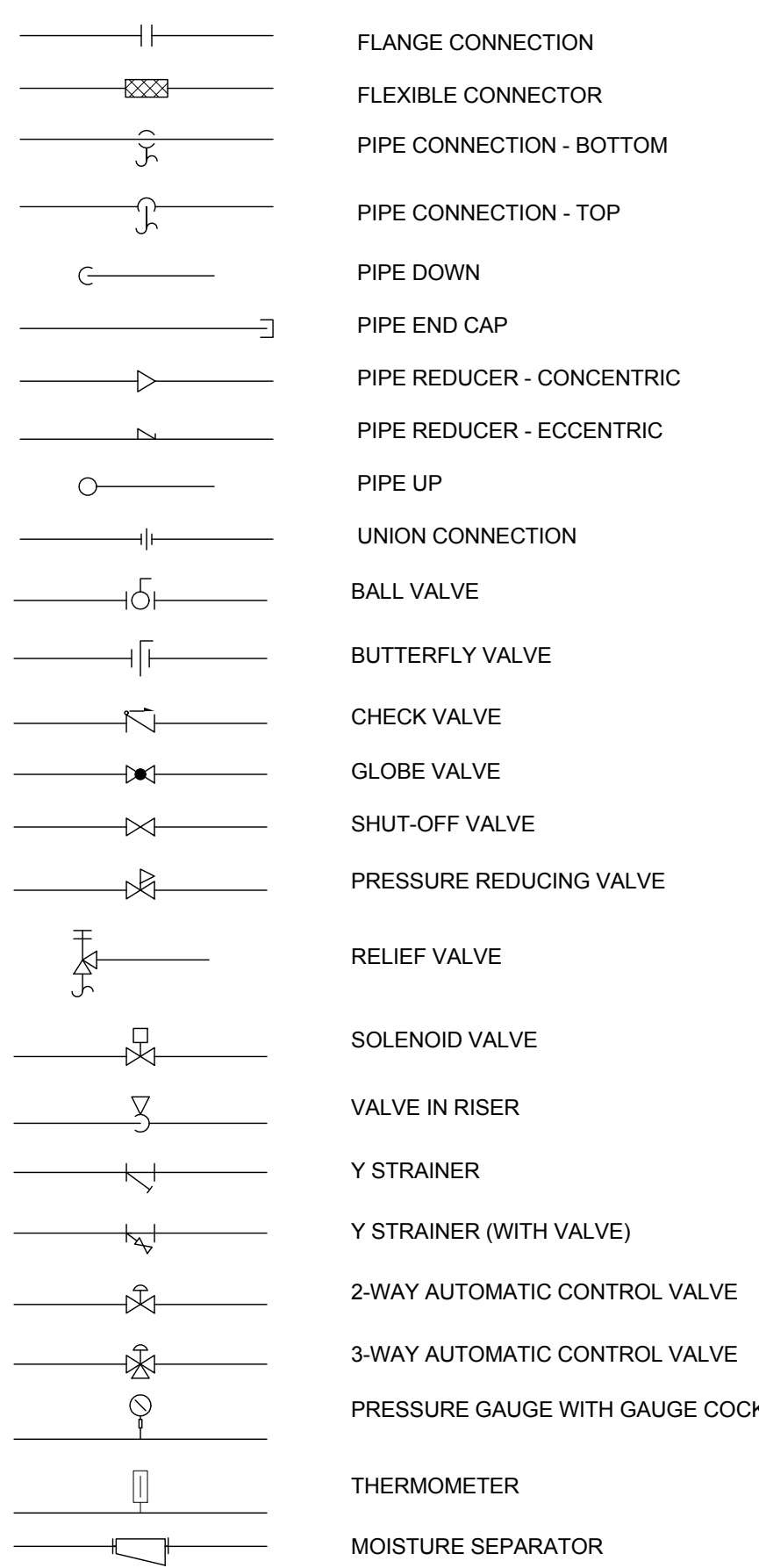
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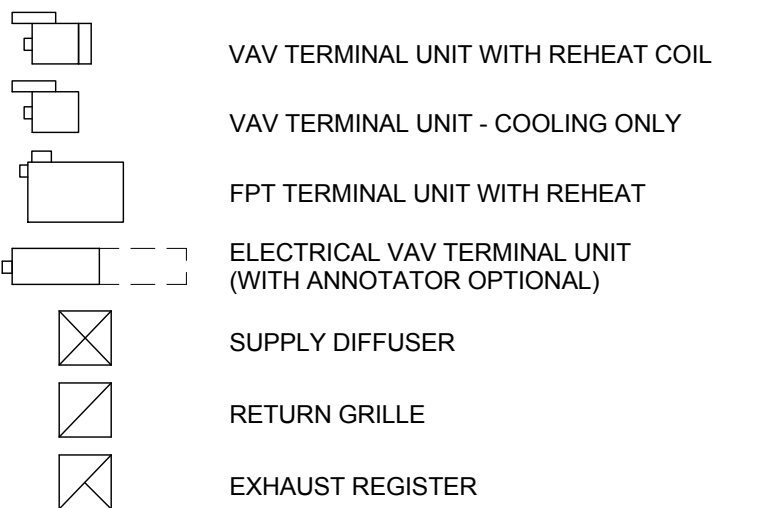
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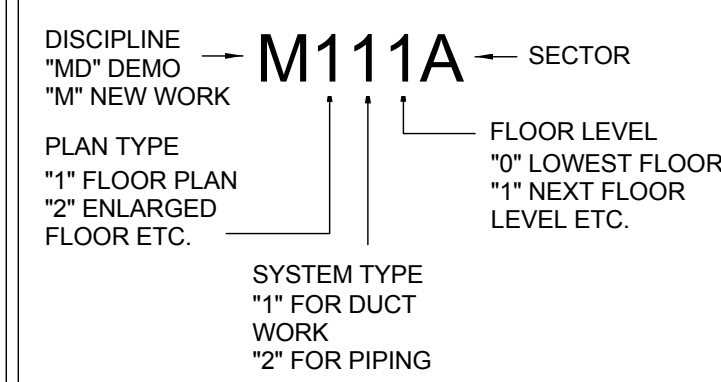
PIPE FITTINGS/VALVES



EQUIPMENT



SHEET NUMBERING LEGEND



SEAL:



Vassilis K. Stathi
STATE AND LICENSE NO. PA PEB01566 DATE 09/30/2019

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BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
1	05/09/18	ADDENDUM 1

SCHOOL & LOCATION

William Rowen School
6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE

Classroom Modifications to William Rowen School

DRAWING TITLE

MECHANICAL COVER SHEET

LOCATION NO. 18-011	FILE NO.
DRAWN BY HS	CHECKED BY AG
B-063 C B-066 C	OF 2017/18 OF 2017/18

DRAWING NO.
M001

GENERAL NOTES

- REFER TO M001 FOR GENERAL NOTES, SYMBOL LEGEND AND LIST OF ABBREVIATIONS.
- DURING THE INITIAL SURVEY, UNIT VENTILATORS WERE FOUND IN GOOD CONDITION THROUGH VISUAL INSPECTION. COSMETICAL UPGRADE TO BE PROVIDED, INCLUDING SANDBLASTING AND REPAINTING TO GIVE EXISTING UNITS NEW FINISH LOOK.

KEYED NOTES

- EXISTING UNIT VENTILATOR TO REMAIN. REMOVE UV'S CASING FOR SANDBLASTING OUTSIDE THE BUILDING. REPAINT AND COORDINATE THE COLOR WITH ARCHITECT. PROTECT THE ALUMINUM DECORATIVE MATERIAL ON CASING NOT TO BE PAINTED. CLEAN UV COIL. MOTOR. DISCHARGE GRILLE AND RETURN GRILLE. REPLACE UV FILTER. REINSTALL THE CASING. DISCONNECT UV. REMOVE SEDIMENT CLOGS FROM THE COIL AND RECONNECT UV.
- REMOVE RADIATOR'S CASING FOR SANDBLASTING OUTSIDE THE BUILDING. REPAINT AND COORDINATE THE COLOR WITH ARCHITECT. CLEAN COIL. REINSTALL THE CASING. DISCONNECT RADIATOR. REMOVE SEDIMENT CLOGS FROM THE COIL AND RECONNECT RADIATOR.
- REFURBISH RADIATOR. CLEAN AND REMOVE DUST FROM THE RADIATOR SURFACE. DISCONNECT RADIATOR. REMOVE SEDIMENT CLOGS FROM THE COIL AND RECONNECT.



Vassilis K. Skarlis DATE: 09/30/2019
STATE AND LICENSE NO. PA PE0181586

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BID DOCUMENTS
APRIL 20, 2018

NO.	DATE	REVISION
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SCHOOL & LOCATION
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6841 N 19th St, Philadelphia, PA 19126

PROJECT TITLE
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DRAWING TITLE
FIRST LEVEL - MECHANICAL FLOOR PLAN - NEW WORK

LOCATION NO.	FILE NO.
18-011	

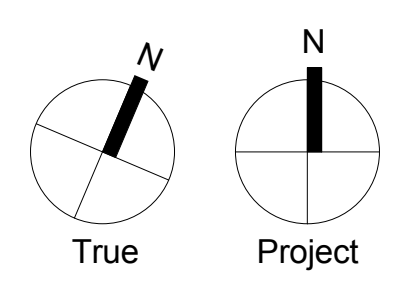
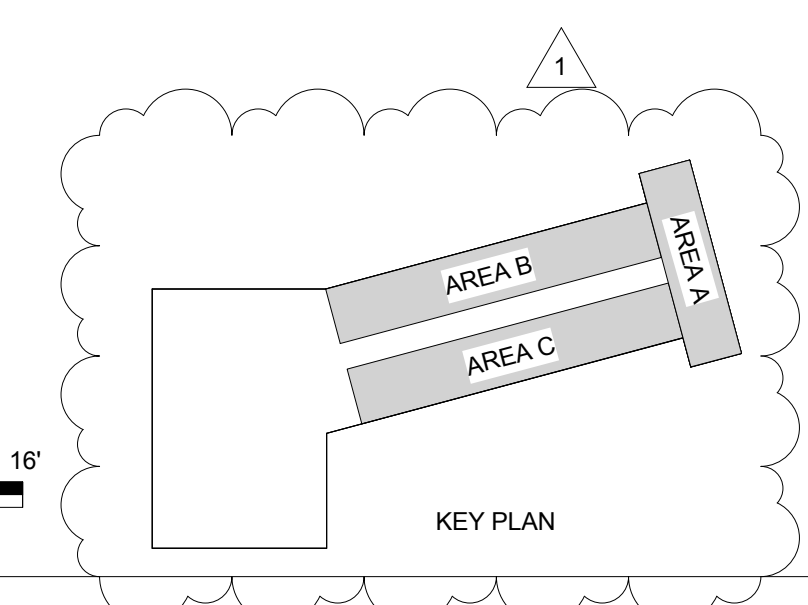
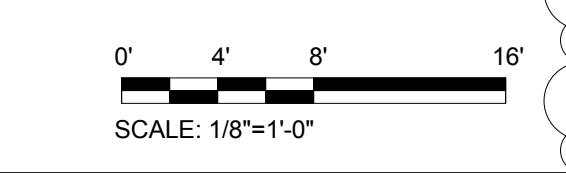
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HS	AG

	OF	2017/18
B-063 C	OF	2017/18
B-066 C	OF	2017/18

DRAWING NO.
M111



1 FIRST LEVEL - MECHANICAL FLOOR PLAN - NEW WORK
1/8" = 1'-0"



GENERAL NOTES

- REFER TO M001 FOR GENERAL NOTES, SYMBOL, LEGEND AND LIST OF ABBREVIATIONS.
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- REMOVE RADIATOR'S CASING FOR SANDBLASTING OUTSIDE THE BUILDING. REPAINT AND COORDINATE THE COLOR WITH ARCHITECT. CLEAN COIL. REINSTALL THE CASING. DISCONNECT RADIATOR. REMOVE SEDIMENT CLOGS FROM THE COIL AND RECONNECT RADIATOR.

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SCHOOL & LOCATION
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PROJECT TITLE
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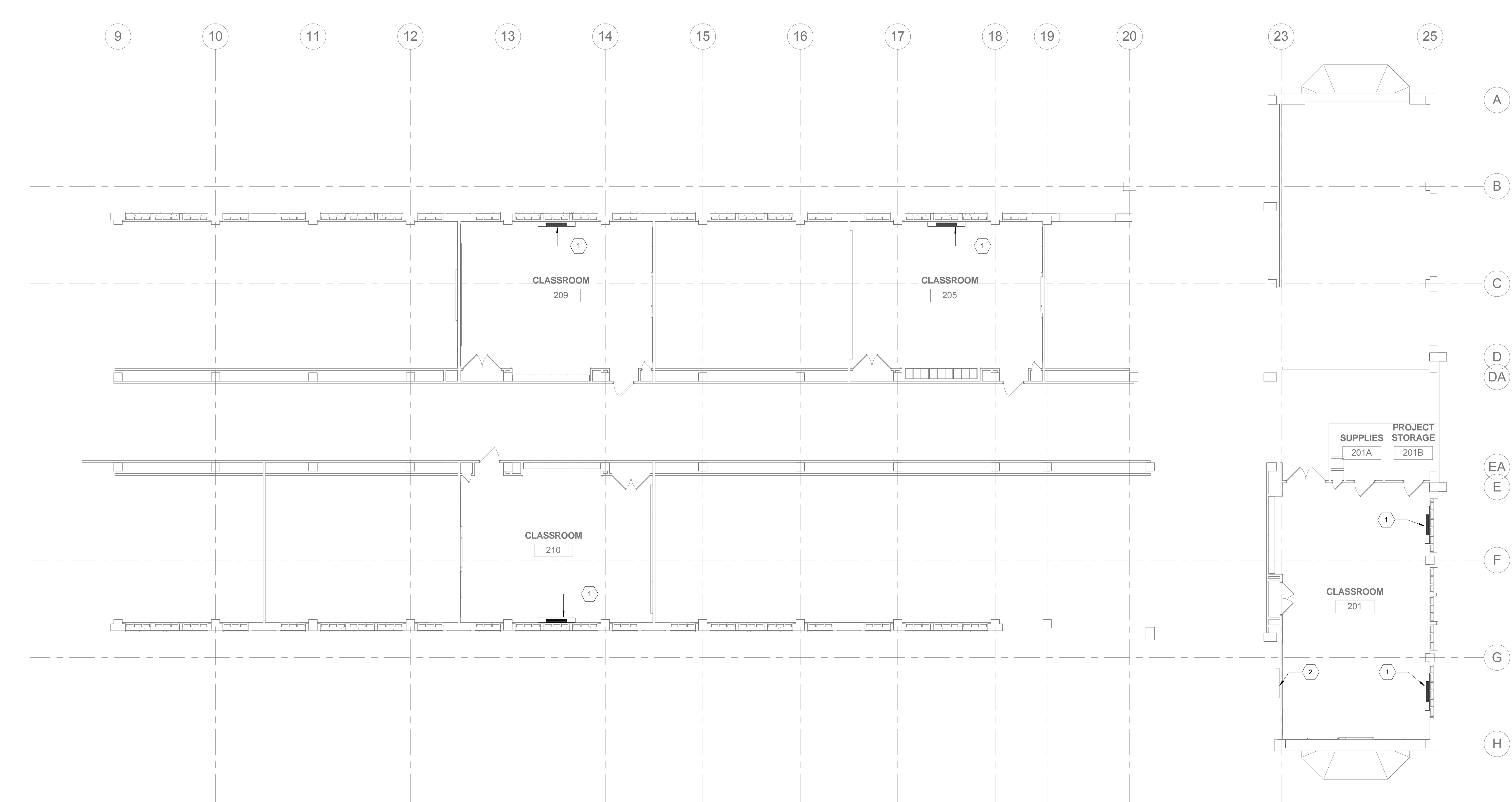
DRAWING TITLE
SECOND LEVEL - MECHANICAL FLOOR PLAN - NEW WORK

LOCATION NO.	FILE NO.
18-011	

DRAWN BY	CHECKED BY
HS	AG

	OF	2017/18
B-063 C	OF	2017/18
B-066 C	OF	2017/18

DRAWING NO.
M112



1 SECOND LEVEL - MECHANICAL FLOOR PLAN - NEW WORK
1/8" = 1'-0"

