

**THE SCHOOL DISTRICT OF PHILADELPHIA  
BOARD OF EDUCATION  
Office of Capital Programs  
440 North Broad Street, Third Floor - Suite 371  
Philadelphia, PA 19130-4015**

TELEPHONE: (215) 400-4730

**Addendum No. 01**

Subject: **WC Bryant Classroom Modernization Project  
B-041C, B-042C of 2018/19**

Location: **WC Bryant School  
6001 Cedar Avenue  
Philadelphia, PA 19143**

---

**This Addendum, dated February 28, 2019, shall modify and become part of the Contract Documents for the work of this project. Any items not mentioned herein, or affected by, shall be performed strictly in accordance with the original documents.**

---

**1. Revisions to Drawings and Specifications**

- a. Demolition note #11 on D1.1 was revised. Refer to attached drawing.
- b. Detail 2/D1.1 was added. Refer to attached drawing.
- c. Plan 2/I4.2 was revised. Refer to attached drawing.
- d. Detail 3/I4.2 was revised. Refer to attached drawing.
- e. Toilet Accessory Schedule on I4.2 was modified. Refer to attached drawing.
- f. Details L/I4.5 and M/I4.5 were modified. Refer to attached drawing.
- g. Note regarding "Allowances and Unit Prices" has been removed from E2.1 and E2.2.  
Refer to attached drawings.

**2. Questions and Clarifications**

1. Question: Will another manufacturer besides Campbell Rhea be accepted?

Response: Campbell Rhea is the Basis of Design manufacturer. Manufacturers providing equal products may be submitted for review.

2. Question: Can MBE/WBE requirements be reduced to a combined goal?

Response: 15/20% Combined MBE/WBE Goal already included in the Bidding Documents.

3. Question: Please provide a spec for Electrostatic painting.

Response: Specification SECTION 105115: ELECTROSTATIC PAINTING already included in the Technical Specifications.

4. Question: Spec 101100 Visual Display, 1.2.A, Markerboard and Tackboard infills by GC, plans say by SDP. Who is responsible for them?

Response: Interactive Panel Boards (IPBs) shall be supplied and installed by others under the direction of the SDP. Provide blocking for IPBs as necessary and as indicated in the drawings.

Markerboards and tackboards shall be supplied by the SDP and installed by the contractor. The contractor shall coordinate with other prime contractors and field verify for the boards and advise SDP of any discrepancy or interferences affecting the design intent.

Markerboard and tackboard inserts shall be supplied and installed by the contractor.

5. Question: Please confirm all visual display boards supplied by SDP will be delivered to each location by the SDP.

Response: Yes, Owner supplied visual display boards will be delivered to the school.

6. Question: Reference spec. 101100; Owner supplied visual display units, par. 1.3 B .3. Please provide manufacturers installation details.

Response: Proceed on the basis that the Owner-supplied visual display units are similar in type to those listed in specification section 10 1100 VISUAL DISPLAY UNITS and install in accordance with the manufacturer's instructions as described in the specifications.

7. Question: Reference Supplementary Conditions section 16, photographs. Please consider deleting this section from scope of work as it does not seem appropriate or necessary for these type of projects.

Response: Already deleted by Section 01 1400 MODIFICATIONS TO THE GENERAL AND SUPPLEMENTARY CONDITIONS.

8. Question: Is there an environmental specification for Bryant school? Is there any asbestos removal for these projects?

Response: See Environmental Coordination already included in the Bidding and Contract Documents for requirements. No Specification for Asbestos Abatement for which GC would be responsible included in the Bidding and Contract Documents.

#### **END OF ADDENDUM NO. 1**

**Attachment(s) 5**

**Drawings – D1.1, I4.2, I4.5, E2.1, E2.2**

**Specification(s) - None**



A

B

C

D

E

F

GENERAL ALTERATION NOTES:

- R1. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND RECORDING OF ALL EXISTING BUILDING DIMENSIONS AND CONDITIONS RELATED TO THE WORK, INCLUDING BUT NOT LIMITED TO FINISHES, MATERIALS AND SYSTEMS SHOWN AND DESIGNATED AS EXISTING IN CONTRACT DOCUMENTS. ANY DISCREPANCIES FROM INFORMATION INDICATED ON CONTRACT DOCUMENTS SHALL BE DIRECTED TO THE ATTENTION OF THE ARCHITECT. VERIFICATION OF CLEARANCES REQUIRED FOR ALL NEW EQUIPMENT, PIPING, DUCTWORK, AND RELATED COMPONENTS SHALL BE THE CONTRACTORS RESPONSIBILITY.

R2. GENERAL CONTRACTORS RESPONSIBILITY TO REVIEW WITH THE OWNERS REPRESENTATIVE, ALL ITEMS REQUIRING REMOVAL BEFORE THE START OF WORK. OWNER RESERVES THE RIGHT TO SALVAGE ANY ITEM. ALL REMAINING ITEMS SHALL BE DISPOSED OFF OF SITE.

R3. WHERE EXISTING WALL OPENINGS ARE INDICATED TO BE CLOSED, USE MATERIALS AND FINISHES TO MATCH ADJACENT EXISTING FINISHES. MASONRY SHALL BE TOOTHED INTO THE EXISTING COURSING TO ACHIEVE A UNIFORM JOINT PATTERN TO MATCH THE EXISTING.

R4. ALL NEW MASONRY WALLS AND INFILLS THAT ARE IN CONTINUANCE WITH EXISTING MASONRY WALLS SHALL BE TOOTHED INTO THE EXISTING COURSING TO ACHIEVE A UNIFORM JOINT PATTERN TO MATCH THE EXISTING. FIELD VERIFY WALL THICKNESS.

R5. IN ALL RENOVATED AREAS OF THE WORK, THE INTENT OF THESE CONTRACT DOCUMENTS IS TO PROVIDE A LEVEL OF QUALITY FOR ALL PATCHED SURFACES EQUAL TO THAT OF NEW SURFACES, INCLUDING BUT NOT LIMITED TO PLASTER, GYPSUM WALL BOARD AND MASONRY.
- R6. ALL EXISTING MATERIALS AND FINISHES DISTURBED OR INTERRUPTED BY THE WORK SHALL BE REPLACED OR "FILLED IN" TO ACHIEVE UNIFORM COLOR, TEXTURE, PATTERN AND APPEARANCE TO MATCHING ADJACENT MATERIALS AND FINISHES. TRANSITIONS BETWEEN EXISTING TO EXISTING AND NEW TO EXISTING MATERIALS AND FINISHES SHALL BE ACHIEVED IN STRAIGHT HORIZONTAL AND OR VERTICAL LINES BETWEEN DIFFERENT AND OR NEW MATERIALS AND FINISHES.

R7. PATCH ALL HOLES IN FLOORS, WALLS AND CEILINGS. LEVEL WITH EXISTING ADJACENT SURFACES TO RECEIVE NEW FINISHES AND/OR CONSTRUCTION TO COMPLETE THE WORK. MATCH THE EXISTING ADJACENT MATERIALS, PATTERNS AND FINISHES.

R8. PATCH, REPAIR OR REPLACE ALL EXISTING FINISHES AND MATERIALS DISTURBED DURING CONSTRUCTION OR AS A RESULT OF DEMOLITION OR REMOVAL OF AN ITEM. ALL REPAIR OR REPLACEMENT SHALL MATCH ADJACENT EXISTING AND/OR NEW FINISHES, PATTERNS AND MATERIALS. SEE ROOM FINISH SCHEDULE FOR NEW FINISHES.

R9. PREPARE EXISTING REMAINING WORK SUBSTRATES TO RECEIVE NEW FINISHES AS INDICATED ON THE ROOM FINISH SCHEDULE. SUBSTRATE PREPARATION SHALL BE IN CONFORMANCE WITH THE INSTALLATION REQUIREMENTS OF EACH NEW FINISH.

R10. ALL WALLS SHOWN WITH MASONRY HATCHING WITHIN THE EXISTING BUILDING SHALL BE NEW AND TOOTHED INTO EXISTING MASONRY, MATCH EXISTING COURSING, JOINT PATTERN AND THICKNESS UNLESS NOTED OTHERWISE.

R11. MASONRY WALLS AND INFILLS THAT ARE IN CONTINUANCE WITH EXISTING MASONRY WALLS SHALL BE TOOTHED INTO THE EXISTING COURSING TO ACHIEVE A UNIFORM JOINT PATTERN TO MATCH THE EXISTING WORK. MATCH EXISTING WALL THICKNESS.
- R12. AT THE DEMOLITION OF AN EXISTING ITEM, REMOVE ALL TRACES OF THE DEMOLISHED ITEMS COMPONENTS FROM THE SURFACE OF THE REMAINING FLOOR, WALLS AND CEILING. AT THE REMOVED FASTENERS IN ALL EXISTING MASONRY WALLS AND FLOORS, PATCH HOLE WITH GROUT LEVEL WITH EXISTING ADJACENT SURFACES IN ORDER TO RECEIVE NEW FINISHES.

R13. AT EXISTING FLOORS: CUT IN PLACE CONSTRUCTION TO RECEIVE NEW WORK. REPLACE WITH MATERIALS TO MATCH EXISTING REMAINING MATERIALS. PATCH FLUSH TO ADJACENT EXISTING ELEVATIONS. APPLY GEMINTUITOUS UNDERLAYMENT TO PRODUCE A UNIFORM SURFACE IN ALL AREAS RECEIVING NEW FINISHES AS INDICATED ON THE ROOM FINISH SCHEDULE. PATCHED JOINTS SHALL NOT TELEGRAPH THRU THE NEW FINISH. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND OTHER FINISHES.

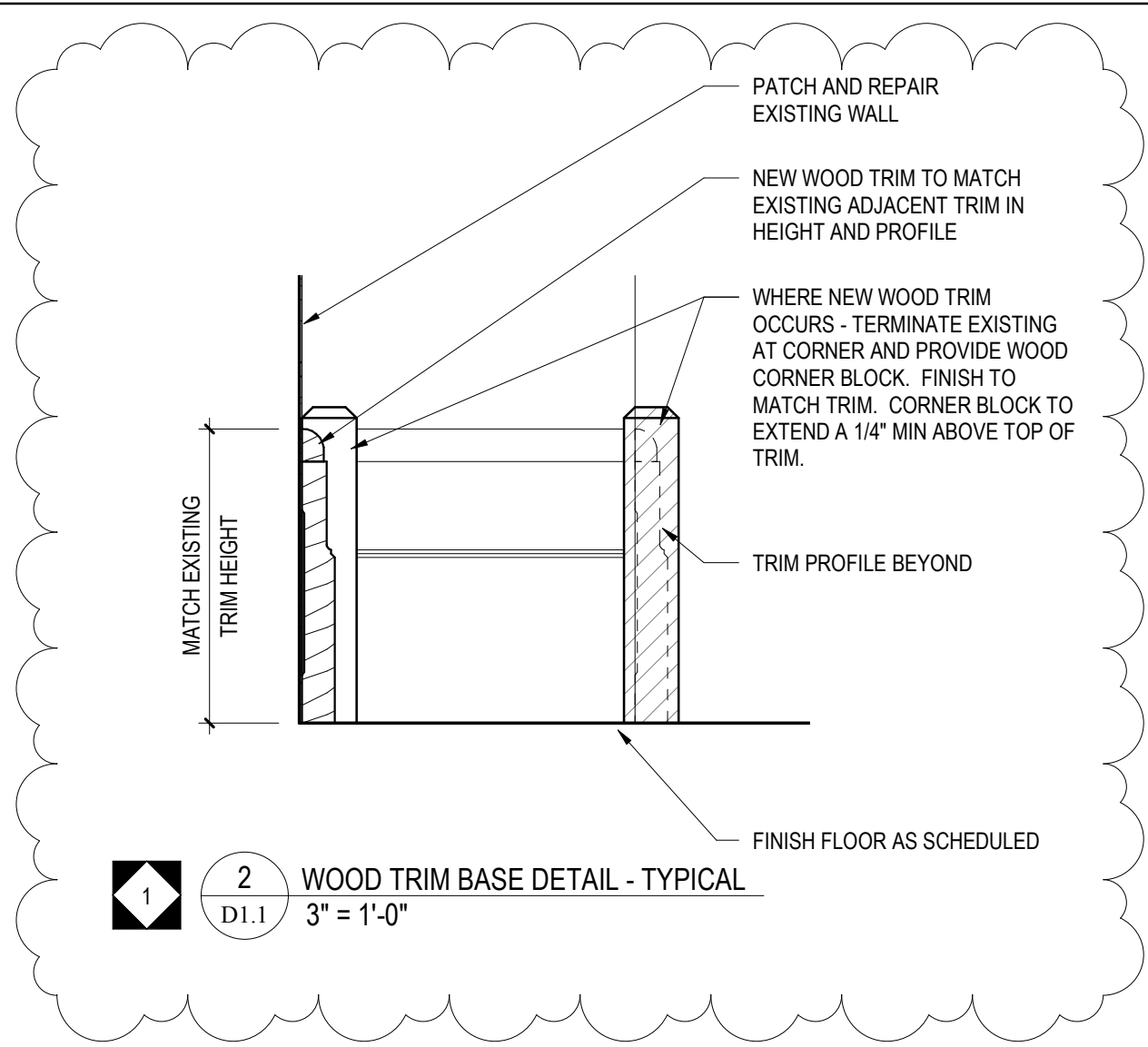
R14. AT EXISTING FLOORS: WHERE WALLS ARE SCHEDULED FOR DEMOLITION AND EXTEND TO BELOW THE CONTINUOUS CONCRETE FLOOR SLAB, THE WALL SHALL BE DEMOLISHED TO BELOW THE FLOOR THICKNESS. THE FLOOR SHALL BE PATCHED WITH CONCRETE AND GRANULAR FILL TO MATCH THE EXISTING THICKNESS. PROVIDE NEW VAPOR BARRIER TO THE PATCHED AREA. PATCH FLUSH TO ADJACENT EXISTING ELEVATIONS. APPLY CEMENTITIOUS UNDERLAYMENT TO PRODUCE A UNIFORM SURFACE IN ALL AREAS RECEIVING NEW FINISH AS INDICATED ON ROOM FINISH SCHEDULE. PATCHED JOINTS SHALL NOT TELEGRAPH THRU THE NEW FINISH.

R15. PAINT EXISTING METALS: AT EXISTING DOOR FRAMES TO REMAIN AND OTHER PAINTED METAL COMPONENTS INDICATED, REMOVE ALL DIRT, LOOSE PAINT AND RUST. SAND ENTIRE FRAME, PRIME AND PAINT. COLOR SELECTION BY ARCHITECT. WHERE THE EXISTING PAINT IS INCOMPLETE WITH NEW PAINT COATINGS, THE EXISTING PAINT SHALL BE COMPLETELY REMOVED.
- R16. PAINT SURFACES: WHERE PATCHING OCCURS IN THE WORK OF AN EXISTING PAINTED SURFACE, THE PATCHED AREA SHALL BE SPACKLED, PRIMED AND INTERMEDIATE PAINT COATS APPLIED OVER THE PATCH. APPLY FINAL PAINT COAT OVER ENTIRE UNBROKEN SURFACE CONTAINING THE PATCH. THE UNBROKEN SURFACE SHALL BE FROM THE INTERSECTION OF THE WALL TO FLOOR TO THE INTERSECTION OF THE WALL TO CEILING AND FROM THE RIGHT SIDE WALL TO WALL INTERSECTION TO THE LEFT SIDE WALL TO WALL INTERSECTION. PROVIDE ADDITIONAL SPACKLING AND/OR PAINT COATS UNTIL THE PATCH AREAS BLEND INVISIBLY INTO THE ADJACENT EXISTING SURFACE. UNBROKEN CEILING SURFACES SHALL BE FROM CEILING TO WALL INTERSECTION AND OR NEW BULKHEAD CEILING ELEVATION CHANGE FOR THE ENTIRE PERIMETER OF THE CEILING AREA. APPLY PAINT COATS AS DESCRIBED FOR THE WALLS.

R17. AT EXISTING CERAMIC TILE: AT DEMOLISHED ITEMS AND DAMAGED AREAS, FILL ALL HOLES IN EXISTING CERAMIC WALL AND FLOOR TILE THAT ARE UP TO 1" WITH A COLOR EPOXY GROUT TO MATCH THE EXISTING CERAMIC TILE COLOR. REMOVE AND REPLACE EXISTING TILES AT HOLES THAT ARE OVER 1" AND AT ALL BROKEN AND MISSING WALL AND FLOOR TILES WITH A NEW TILE TO MATCH EXISTING COLOR AND SIZE.

DEMOLITION LEGEND	
TAG	DEMOLITION NOTE
1	EXISTING WOOD FLOORING, BASE, STAIRS AND PLATFORMS (WHERE OCCUR) SHALL BE STRIPPED AND SANDED IN THEIR ENTIRETY. REMOVE ALL TRANSITION STRIPS (WHERE OCCUR) AND PREPARE FOR NEW TRANSITION STRIPS AT ALL MATERIAL TRANSITIONS AS SCHEDULED. ASSUME 50 SF OF EXISTING WOOD FLOORING TO REMAIN THROUGHOUT ENTIRE PROJECT WILL REQUIRE PATCHING; FOR PATCHING PROVIDE SAME WIDTH AND THICKNESS OF FLOORING TO MATCH AND TOOTH INTO EXISTING. PREPARE FLOORS AND INFILLS FOR NEW FINISH AS SCHEDULED.
2	REMOVING EXISTING FLOORING AND BASE IN ITS ENTIRETY INCLUDING EXISTING FINISH, TRANSITION STRIPS AND SUBFLOOR. PREPARE STRUCTURE TO RECEIVE NEW SUBFLOORING, FINISH AND TRANSITIONS AS SCHEDULED.
3	REMOVE EXISTING TOILET PARTITIONS AND ASSOCIATED ACCESSORIES AND HARDWARE. STORE FOR THE DURATION OF CONSTRUCTION AND REINSTALL IN SAME LOCATION. PATCH AND PREPARE ADJACENT SURFACES FOR FINISH AS SCHEDULED.
4	EXISTING HARD AND/OR TIN CEILING SHALL BE SCRAPPED. REMOVE ANY/ALL ABANDONED OR UNUSED CONDUIT, WIRING, FASTENERS, BRACKETS, PROJECTORS AND MOUNTS AND ASSOCIATED ACCESSORIES IN THEIR ENTIRETY. ALL ABANDONED OR UNUSED CONDUIT, WIRING AND PIPING SHALL BE REMOVED TO THE SOURCE OF SUPPLY. PATCH ANY AND ALL PENETRATIONS AND CRACKING THROUGHOUT AND PREPARE WALLS, COLUMNS, EXPOSED PIPING AND CONDUIT AND ASSOCIATED ACCESSORIES TO RECEIVE NEW FINISH MATCHING ADJACENT SURFACE AS SCHEDULED. WHERE CAPPING OF OLD OR ABANDONED SYSTEMS OCCURS, PROVIDE COVER PLATE AND PAINT TO MATCH EXISTING SURFACES. REFER TO ENGINEERING DRAWINGS FOR FURTHER INFORMATION WHERE OCCURS.
5	EXISTING WALLS SHALL BE SCRAPPED. REMOVE ANY/ALL ABANDONED OR UNUSED CONDUIT, WIRING, FASTENERS, BRACKETS, PROJECTORS AND MOUNTS, PROJECTOR SCREENS AND ASSOCIATED ACCESSORIES IN THEIR ENTIRETY. ALL ABANDONED OR UNUSED CONDUIT, WIRING AND PIPING SHALL BE REMOVED TO THE SOURCE OF SUPPLY. PATCH ANY AND ALL PENETRATIONS AND CRACKING THROUGHOUT AND PREPARE WALLS, COLUMNS, EXPOSED PIPING AND CONDUIT AND ASSOCIATED ACCESSORIES TO RECEIVE NEW FINISH MATCHING ADJACENT FINISHED SURFACE AS SCHEDULED. WHERE CAPPING OF OLD OR ABANDONED SYSTEMS OCCURS, PROVIDE COVER PLATE AND PAINT TO MATCH EXISTING SURFACES. WHERE PIPE INSULATION IS ABATED IN ACCORDANCE WITH THE DISTRICT ASBESTOS INSPECTION REPORT AND THE ENVIRONMENTAL REMEDIATION SCOPE OF WORK PROVIDE NEW JACKETED FIBERGLASS PIPE INSULATION, JOHNS MANVILLE MICRO-LOK OR EQUAL, TO REPLACE THE REMOVED MATERIAL. NEW INSULATION SHALL EXTEND TO UNDERSIDE OF CEILING AND PAINTED TO MATCH ADJACENT FINISH SURFACE AS SCHEDULED. REFER TO ENGINEERING DRAWINGS FOR FURTHER INFORMATION WHERE OCCURS.
6	REMOVE SUSPENDED CEILING ASSEMBLY IN ITS ENTIRETY. PREPARE ADJACENT SURFACES FOR NEW CEILING ASSEMBLY AS SCHEDULED.
7	EXISTING TRIM THROUGHOUT ENTIRE ROOM INCLUDING, BUT NOT LIMITED TO, EXTERIOR AND INTERIOR WINDOW TRIM AND INTERMITTENT WOOD MULLIONS, BASE AND CROWN MOLDING, SHALL BE STRIPPED, SANDED, PATCHED OF ANY PENETRATIONS AND PREPARED TO RECEIVE NEW FINISH AS SCHEDULED. ALL EXISTING WINDOW SHADES AND ASSOCIATED COMPONENTS SHALL BE REMOVED IN THEIR ENTIRETY. EXISTING OPAQUE EXTERIOR WINDOW PANELS AND INTERIOR PANEL INFILLS SHALL BE PREPARED AND PAINTED TO MATCH ADJACENT FINISH SURFACE AS SCHEDULED. EXTERIOR METAL WINDOW FRAMES, SOLID POLYMER SILLS, SECURITY GRILLES AND GUARDS, AND ALL TRANSPARENT GLAZING SHALL BE THOROUGHLY CLEANED OF ALL ADHESIVES, STAPLES AND UNUSED FASTENERS.
8	EXISTING DOOR AND HARDWARE TO BE REMOVED IN ITS ENTIRETY FROM BOTH SIDES OF FRAME, INCLUDING BUT NOT LIMITED TO, SECURITY GRILL ASSEMBLIES, CLOSERS, CONDUIT AND WIRING, AND ASSOCIATED ACCESSORIES AND FASTENERS. EXISTING FRAME TO REMAIN; REMOVE ANY AND ALL FASTENERS AND ADHESIVES AND PATCH AND PREPARE BOTH SIDES OF FRAME AND ADJACENT WALLS TO RECEIVE NEW DOOR AND HARDWARE AND FINISH AS SCHEDULED.

DEMOLITION LEGEND	
TAG	DEMOLITION NOTE
9	EXISTING DOOR AND FRAME TO REMAIN. ALL SECURITY GRILL ASSEMBLIES AND COVERS, CLOSERS, CONDUIT AND WIRING, STAPLES AND ASSOCIATED ACCESSORIES AND FASTENERS SHALL BE REMOVED IN THEIR ENTIRETY FROM BOTH SIDES OF DOOR AND FRAME. REPLACE ANY COMPONENTS OR PANELS OF DOOR THAT ARE MISSING, INCLUDING GLASS, OR METAL MESH WITH SOLID WOOD, UNLESS OTHERWISE INDICATED. INFILL OLD HARDWARE PENETRATIONS IN DOOR AND FRAME WITH WOOD INFILL AND PREPARE DOORS TO RECEIVE NEW HARDWARE AND FINISH AS SCHEDULED.
10	EXISTING DOOR AND HARDWARE TO BE REMOVED IN ITS ENTIRETY FROM BOTH SIDES OF FRAME, INCLUDING BUT NOT LIMITED TO, SECURITY GRILL ASSEMBLIES, CLOSERS, CONDUIT AND WIRING, AND ASSOCIATED ACCESSORIES AND FASTENERS. EXISTING FRAME TO REMAIN; REMOVE ANY AND ALL FASTENERS AND ADHESIVES, INFILL OLD HARDWARE PENETRATIONS IN FRAME WITH WOOD INFILL AND PREPARE OPENINGS ON BOTH SIDE FOR NEW FINISH AS SCHEDULED.
11	EXISTING BUILT-IN CASEWORK, BUILT-IN SHELVING AND/OR COAT HOOKS AND ASSOCIATED BLOCKING AND FASTENERS SHALL BE REMOVED IN THEIR ENTIRETY. PATCH AND PREPARE ALL ADJACENT FINISHES FOR NEW WORK AND FINISH AS SCHEDULED. WHERE FLOOR-MOUNTED CASEWORK IS REMOVED, PATCH EXISTING WOOD FLOORING, BASE AND ALL ADJACENT SURFACES. TOOTH WOOD FLOORING INTO EXISTING, MATCH FLOORING WIDTH AND STYLE. PATCH EXISTING WOOD TRIM TO MATCH EXISTING, ADJACENT. REFER TO TYPICAL DETAIL D1.1 FOR MORE INFORMATION.
12	REMOVE EXISTING WOOD PANELS, DOORS, SHELVING AND HARDWARE. EXISTING WOOD TRIM AND PLATFORM TO REMAIN AND SHALL BE STRIPPED, SANDED, PATCHED OF ANY PENETRATIONS AND PREPARED TO RECEIVE NEW FINISH AS SCHEDULED. PATCH AND PREPARE ALL ADJACENT SURFACES FOR NEW WORK.
13	REMOVE EXISTING FOLDING PARTITION IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ANY ASSOCIATED HARDWARE, TRACKS, AND DISPLAY BOARDS. EXISTING WOOD TRIM AROUND PERIMETER OF EXISTING PARTITION OPENING TO REMAIN AND SHALL BE STRIPPED, SANDED, PATCHED OF ANY PENETRATIONS AND PREPARED TO RECEIVE NEW FINISH AS SCHEDULED. PREPARE ADJACENT FINISHES FOR NEW WORK.
14	REMOVE EXISTING UNIT VENTILATOR AND/OR RADIATOR COVER. CLEAN ASSEMBLY AND ALL ASSOCIATED COMPONENTS AND PREPARE FOR NEW COVER AS SCHEDULED. PREPARE ADJACENT SURFACES FOR NEW WORK.
15	EXISTING UNIT VENTILATOR AND/OR RADIATOR COVER TO BE REMOVED, REFINISHED AND REINSTALLED AS SCHEDULED. CLEAN UNIT VENTILATOR AND/OR RADIATOR AND ALL ASSOCIATED COMPONENTS PRIOR TO REINSTALLATION OF COVER.
16	PREPARE EXISTING DISPLAY BOARDS AND TRIM FOR NEW FINISH AS SCHEDULED. DISPLAY BOARDS SHALL BE FREE OF ANY FASTENERS, STAPLES AND ADHESIVES. REMOVE ANY/ALL ABANDONED OR UNUSED CONDUIT, WIRING, FASTENERS, BRACKETS, PROJECTORS AND MOUNTS, PROJECTOR SCREENS AND ASSOCIATED ACCESSORIES IN THEIR ENTIRETY. ALL ABANDONED OR UNUSED CONDUIT, WIRING AND PIPING SHALL BE REMOVED TO ABOVE CEILING, MINIMUM. ENTIRE ASSEMBLY TO BE THOROUGHLY CLEANED, SANDED, PATCHED OF ANY PENETRATIONS OR CRACKING AND PREPARED FOR NEW FINISH AND INFILL AS SCHEDULED.
17	EXISTING SHELVING WITHIN CLOSET SHALL BE REMOVED AND REPLACED IN KIND. PROVIDE A METAL BRACKET, ON CENTER, AT REAR OF CLOSET TO FURTHER SUPPORT NEW SHELVES. 5 SHELVES, MINIMUM, PER CLOSET SHALL BE PROVIDED.
18	EXISTING BUILT-IN CASEWORK TO REMAIN. STRIP, SAND AND PREPARE EXISTING ASSEMBLY AND ASSOCIATED COMPONENTS FOR NEW WORK AS SCHEDULED.
19	REMOVE ALL FLOOR MOUNTED FIXTURES, FLOOR DRAIN COVERS AND TOILET ROOM ACCESSORIES INCLUDING, BUT NOT LIMITED TO, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, TOILET PAPER DISPENSERS, MIRRORS, SOAP DISHES, ETC FROM ROOM IN THEIR ENTIRETY. RETURN ALL ACCESSORIES TO OWNER. WHERE RECESSED SOAP TRAYS OCCUR, REMOVE AND PATCH WALL TO RECEIVE NEW FINISH AS SCHEDULED. REFER TO ENGINEERING DRAWINGS FOR FURTHER INFORMATION WHERE OCCURS.
20	REMOVE PLUMBING FIXTURES AND PREPARE FOR NEW WORK AS SCHEDULED. IF FIXTURE IS TO BE REMOVED AND CAPPED, PROVIDE METAL PLATE OVER ANY PENETRATIONS AND PAINT TO MATCH ADJACENT FINISH, UNLESS OTHERWISE INDICATED. REFER TO ENGINEERING DRAWINGS FOR FURTHER INFORMATION WHERE OCCURS.



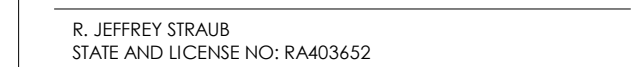
1 OVERALL FIRST FLOOR DEMOLITION PLAN  
D1.1 1/8" = 1'-0"



10	
9	
8	
7	
6	
5	
4	
3	
2	
1	2/27/2019 ADDENDUM #1
NO.	DATE REVISION

LOCATION NO.	FILE NO.
DRAWN BY	CRA NO.3223
CHECKED BY	
B-041C OF 2018 / 19	
B-042C OF 2018 / 19	





**ARCHITECT**

Email: [jharder@cra-architects.com](mailto:jharder@cra-architects.com)  
Attn: Jessie Harder

**MEP ENGINEERS**

Email: [deepak.at@setty.com](mailto:deepak.at@setty.com)  
Attn: Deepak Ajimane

10		
9		
8		
7		
6		
5		
4		
3		
2		
1	2/27/2019	ADDENDUM # 1
NO.	DATE	REVISION

6001 CEDAR AVENUE,  
PHILADELPHIA, PA 19143

DRAWING TITLE

LOCATION NO.	FILE NO. CRA NO.3223
--------------	-------------------------

DRAWING NO.

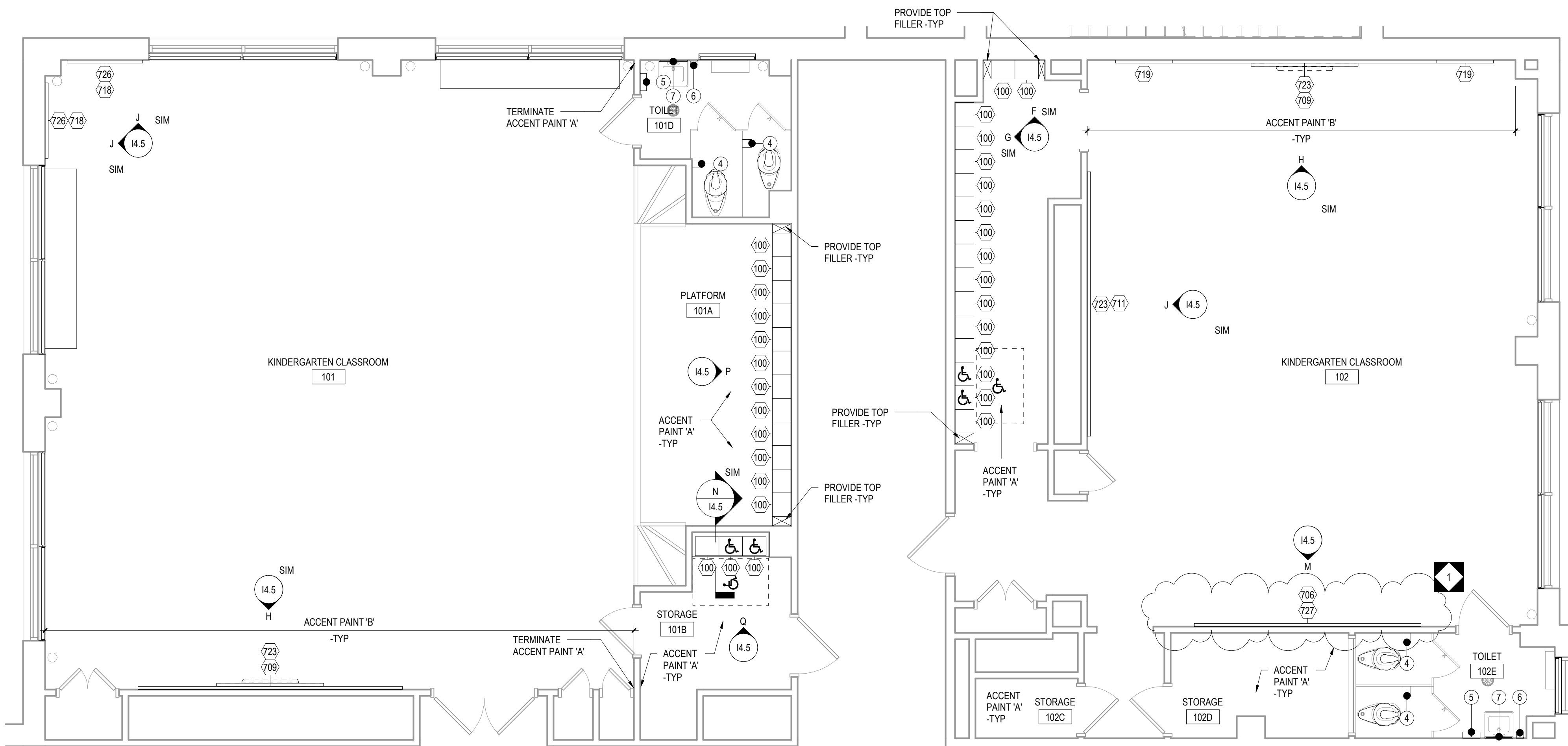
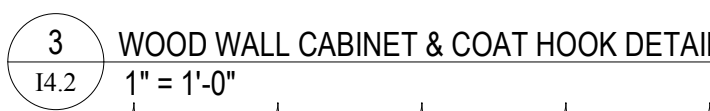
---

GENERAL NOTES:

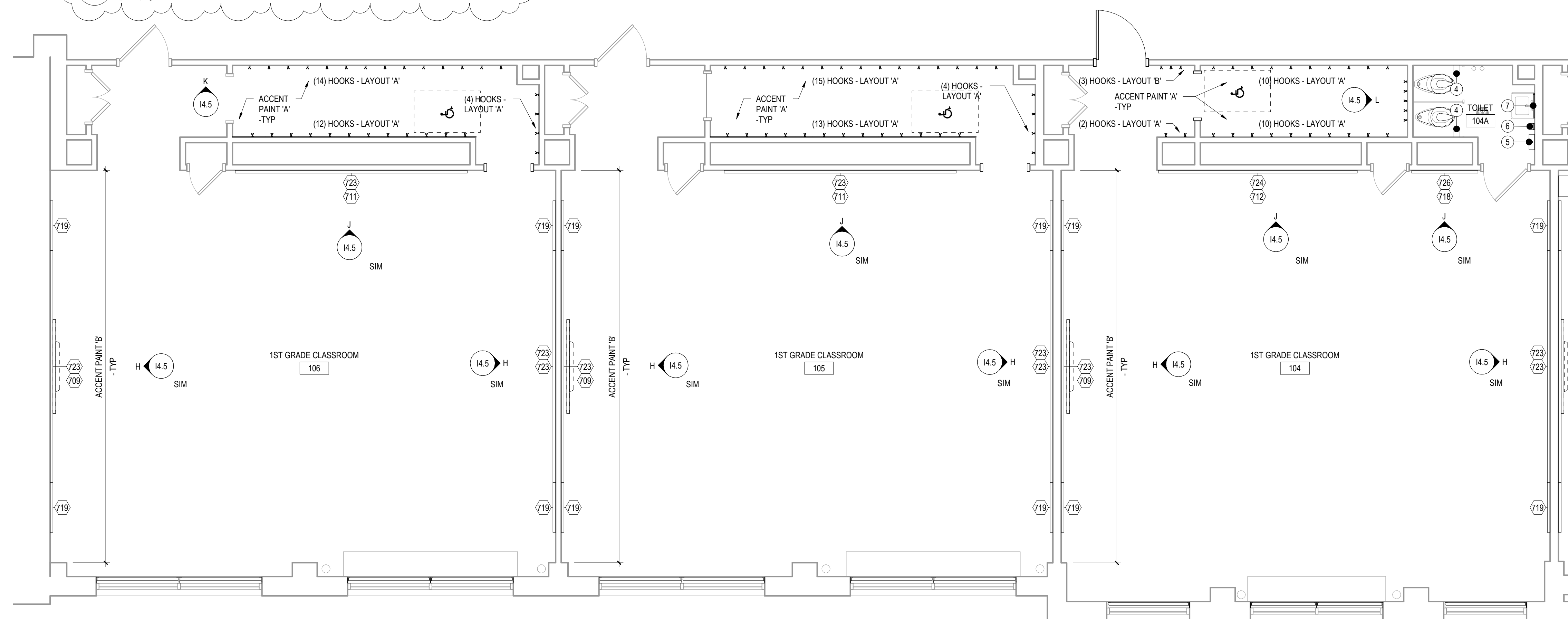
1. HANDICAPPED FIXTURES ARE INDICATED WITH THE REQUIRED CLEAR FLOOR SPACE CLEARANCES FOR ALL ACCESSIBLE ROUTES & MANEUVERING CLEARANCES.
2. PLUMBING FIXTURE ROUGH-IN DIMENSIONS & TOILET PARTITION LAYOUT DIMENSIONS ARE FROM THE WALL FINISH MATERIAL.
3. PROVIDE WOOD BLOCKING IN STUD WALLS FOR ALL TOILET ACCESSORIES.
4. TOILET PARTITION DIMENSIONS ARE TO THE PANEL CENTERLINE UNLESS NOTED OTHERWISE. MINIMUM CLEAR DIMENSIONS MUST BE PROVIDED WHERE NOTED.
5. COORDINATE ALL WALL FINISHES WITH THE ROOM FINISH SCHEDULE.

6. CONTRACTOR TO CONFIRM WITH THE OWNER'S REPRESENTATIVE THE LOCATION OF ALL SURFACE-MOUNTED TOILET ROOM ACCESSORIES PRIOR TO INSTALLATION.

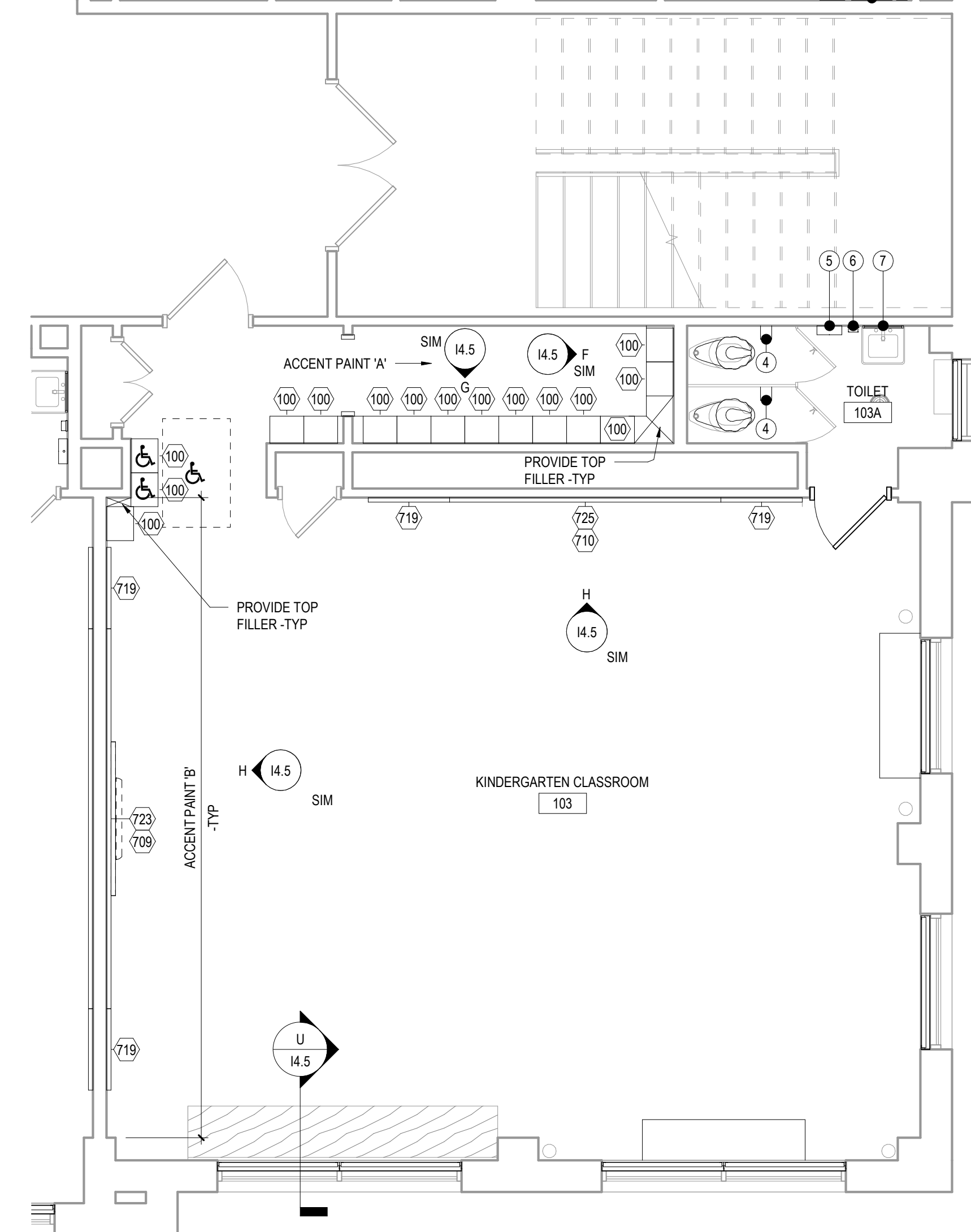
7. URINAL PARTITIONS SHALL BEGIN AT A HEIGHT NO MORE THAN 12" FROM AND EXTEND NOT LESS THAN 60" ABOVE THE FINISHED FLOOR SURFACE. URINAL PARTITIONS SHALL EXTEND FROM THE WALL SURFACE AT EACH SIDE OF THE URINAL A MINIMUM OF 18".



1 KINDERGARTEN 101, 102, 103  
14.2 1/4" = 1'-0"



2 FIRST GRADE 106, 105, 104  
14.2  $1/4" = 1'-0"$



PRE-K & KINDERGARTEN MOUNTING HEIGHT SCHEDULE	
MARKER BOARD	2'-0" AFF TO BOTTOM EDGE
TACK BOARD	2'-0" AFF TO BOTTOM EDGE

NOTE: WHERE NEW MARKER BOARD OR TACK BOARD IS BEING MOUNTED NEXT TO OR ON THE SAME WALL AS AN EXISTING TACK BOARD OR MARKER BOARD MATCH EXISTING HEIGHT.

GRADE 1-3 MOUNTING HEIGHT SCHEDULE	
MARKER BOARD	2'-6" AFF TO BOTTOM EDGE
TACK BOARD	2'-6" AFF TO BOTTOM EDGE
WALL CABINETS	SEE TYPICAL SECTION DETAIL
SMART-BOARD	CENTERED ON THE MARKER BOARD

NOTE: WHERE NEW MARKER BOARD OR TACK BOARD IS BEING MOUNTED NEXT TO OR ON THE SAME WALL AS AN EXISTING TACK BOARD OR MARKER BOARD MATCH EXISTING HEIGHT.



DRAWING NO.  
14.5





