



THE SCHOOL DISTRICT OF PHILADELPHIA

**BOARD OF EDUCATION
Office of Capital Programs
440 North Broad Street, 3rd Floor – Suite 371
Philadelphia, PA 19130**

TELEPHONE: (215) 400-4730

Addendum No. 1

Subject: Thomas M. Pierce New Construction Elementary School

Location: 2300 W. Cambria Street, Philadelphia, PA 19132

This Addendum, dated January 31, 2020, shall modify and become part of the Contract Documents. Any items not mentioned herein, or affected by, shall remain strictly in accordance with the original document.

Additional Walkthrough:

A second walkthrough of the Project Site for Proposers is scheduled for **Tuesday, February 4, 2020 at 2:00 PM.**

Clarifications:

1. Change to Request For Proposal Technical Proposal and Fee Proposal Due Date
Technical Proposal – Due 02/14/2020
Fee Proposal – Due 02/14/2020
2. Change to Request For Proposal - Page 9, Section 9.0 Proposal Requirements under 9.1 Technical Proposal Requirements, Tab 2, item b. Replace the word **financing** with **cost estimating**
3. Change to Request For Proposal – Page 12, Section 12.0 Selection Procedure & Evaluation Criteria, Selection – Stage 1, bullet point 1 & 3. Replace the word **financing** with **budget**
4. Change to Request For Proposal – Page 12, Section 12.0 Selection Procedure & Evaluation Criteria, Selectio – Stage 1, paragraph 2. Replace the word **financing** with **budget**

Addendum No. 1 (cont'd)

Questions & Answers:

Question 1: Dave mentioned that there was a discussion today about there being three properties upon which T.M. Peirce is situated. All the research we have completed indicate that this is one property. Please send along the Deed Description for the property for us to review.

Answer: According to the City of Philadelphia Atlas Map, the property is comprised of 4 parcels. The property will need to be consolidated by the awarded A&E. Deeds will be provided during the design process once the project is awarded. See attached existing site plan.

Question 2: Is “financing” an anticipated service of the prime as indicated on Page 9, Tab 2-b. “for each firm that will provide financing, planning, architecture...”?

Answer: See Clarification #2 for correction.

Question 3: Is geotechnical services the responsibility of the District or the design team?

Answer: Environmental Geotechnical Soils Report Services will be the responsibility of the District, Soils Investigation Engineering Analysis Report will be the responsibility of the A&E.

Question 4: What is the construction budget?

Answer: 30 Million

Question 5: In lieu of audited financials, what other form of financial statement would be acceptable?

Answer: The firm must submit its most recent financial statement, which shall not be more than 12 months old. The financial statement shall include, at a minimum, a balance sheet, related statements of income and retained earnings and cash flows and notes to financial statements in complete detail and shall comprise at least a six-month accounting cycle.

AUDITED OR REVIEWED STATEMENTS ARE STRONGLY PREFERRED.

The financial statement shall include a cover letter signed by the public accountant or CPA who prepared the document and audited financial statements shall have an unqualified opinion. Review and Compilation financial statements are acceptable in lieu of audited.

Question 6: Page 10, Tab 5, lists “Environmental Pollution Liability” as required coverage, however this level of coverage is not identified in the contract. Is having this coverage a requirement of the prime applicant?

Answer: If the scope involves environmental (asbestos, lead paint, on site disposal, transportation, etc.) risk has typically requested minimum coverage limits for Pollution Liability coverage this limit requirement to \$2,000,000 each pollution condition.

Question 7: The RFP states that a Phase I Environmental Site Assessment is being performed that may contain recommendations for remediation of any contamination on site. Will those recommendations be handled separately by the district, or will they be part of the design team’s contact?

Answer: Environmental Remediation of the existing building and Underground Oil Tank will be handled under a separate demolition contract prior to construction of the new school. Any potential contamination of the site soil other than that related to the tank will be the responsibility of the CG for the new construction.

Question 8: Page 1, Section 3.0, states the due date as [2/18/2020](#), however Page 3, Section 6.0, states the due date as [2/14/2020](#). Which is the correct date?

Answer: 2/14/2020

Addendum No. 1 (cont'd)

Attachments:

1. Drawing C-001 Existing Site Plan
2. Walkthrough Sign-In Sheet
3. Picture of Walkthrough Business Cards

End of Addendum #1

SEAL:

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Attn: Kathy McGuire

Cost Estimating:
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Address: 221 Chestnut Street, Suite 200
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Key Plan:

January 8, 2020

SCHOOL & LOCATION

TM Peirce Elementary School
2829-59 N. 23rd Street, Philadelphia
PA 19132

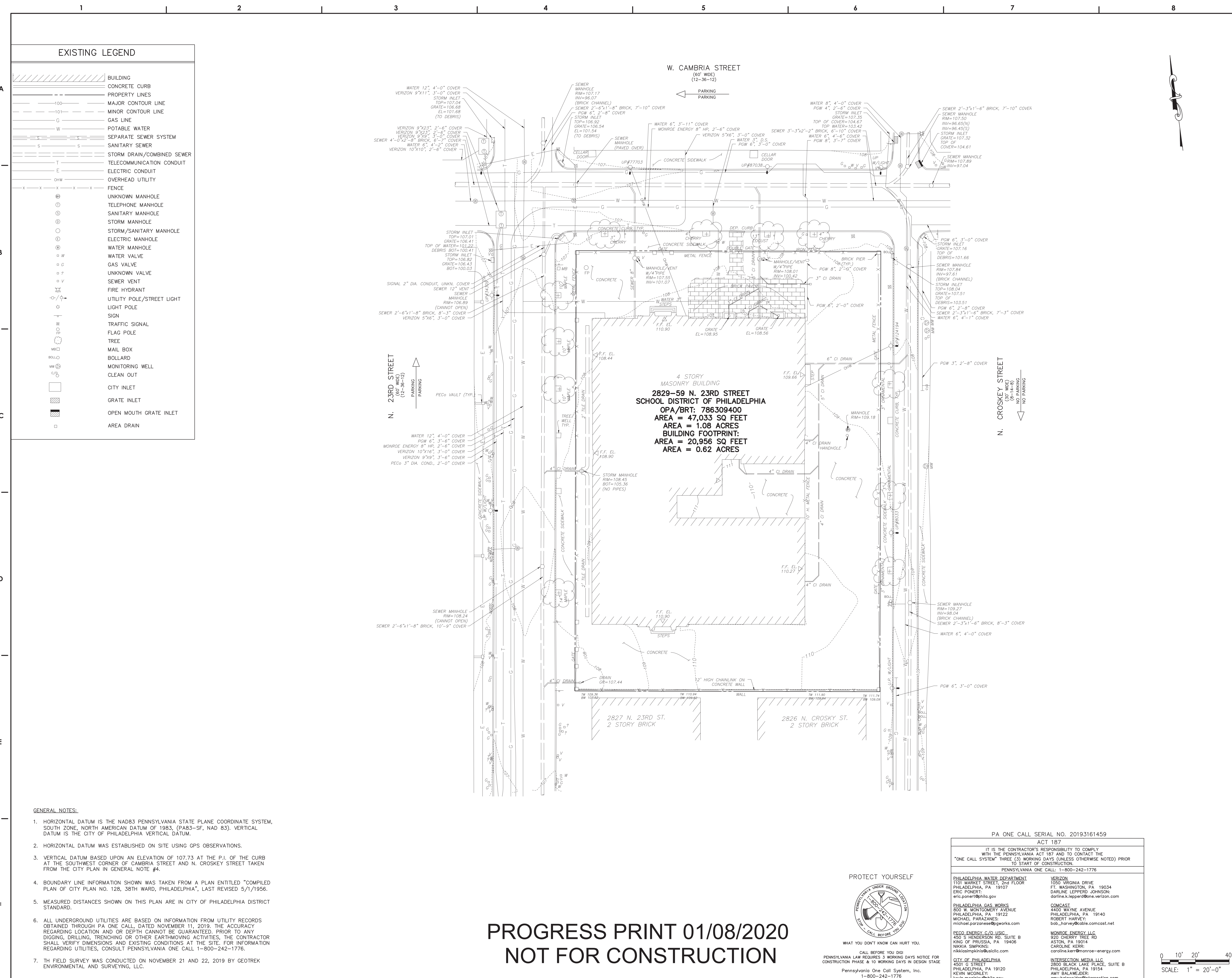
PROJECT TITLE

Demolition of TM Peirce
Elementary School

DRAWING TITLE

EXISTING SITE PLAN

LOCATION NO.	FILE NO.
DRAWN BY AB	CHECKED BY RSB
DRAWING NO. C-001	
SHEET 2 OF 9	



Thomas M Pierce ES
New School
Walkthrough - 1/30/2020

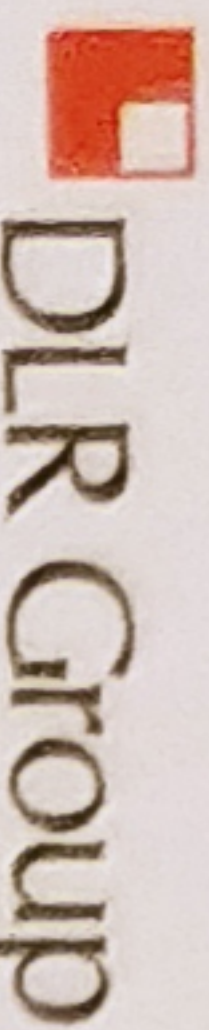
Sign-In Sheet

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