

BOARD OF EDUCATION Office of Capital Programs 440 North Broad Street, 3rd Floor – Suite 371 Philadelphia, PA 19130

TELEPHONE: (215) 400-4730

Addendum No. 1

Subject: Thomas M. Pierce New Construction Elementary School

Location: 2300 W. Cambria Street, Philadelphia, PA 19132

This Addendum, dated January31, 2020, shall modify and become part of the Contract Documents. Any items not mentioned herein, or affected by, shall remain strictly in accordance with the original document.

Additional Walkthrough:

A second walkthrough of the Project Site for Proposers is scheduled for **Tuesday**, **February 4**, **2020** at **2:00 PM**.

Clarifications:

- Change to Request For Proposal Technical Proposal and Fee Proposal Due Date Technical Proposal – Due 02/14/2020
 Fee Proposal – Due 02/14/2020
- Change to Request For Proposal Page 9, Section 9.0 Proposal Requirements under 9.1
 Technical Proposal Requirements, Tab 2, item b. Replace the word financing with cost
 estimating
- 3. Change to Request For Proposal Page 12, Section 12.0 Selection Procedure & Evaluation Criteria, Selection Stage 1, bullet point 1 & 3. Replace the word **financing** with **budget**
- 4. Change to Request For Proposal Page 12, Section 12.0 Selection Procedure & Evaluation Criteria, Selectio Stage 1, paragragh 2. Replace the word **financing** with **budget**

Addendum No. 1 (cont'd)

Questions & Answers:

Question 1: Dave mentioned that there was a discussion today about there being three properties upon which T.M. Peirce is situated. All the research we have completed indicate that this is one property. Please send along the Deed Description for the property for us to review.

Answer: According to the City of Philadelphia Atlas Map, the property is comprised of 4 parcels. The property will need to be consolidated by the awarded A&E. Deeds will be provided during the design process once the project is awarded. See attached existing site plan.

Question 2: Is "financing" an anticipated service of the prime as indicated on Page 9, Tab 2-b. "for each firm that will provide **financing**, planning, architecture..."?

Answer: See Clarification #2 for correction.

Question 3: Is geotechnical services the responsibility of the District or the design team? **Answer:** Environmental Geotechnical Soils Report Services will be the responsibility of the District, Soils Investigation Engineering Analysis Report will be the responsibility of the A&E.

Question 4: What is the construction budget?

Answer: 30 Million

Question 5: In lieu of audited financials, what other form of financial statement would be acceptable? **Answer:** The firm must submit its most recent financial statement, which shall not be more than 12 months old. The financial statement shall include, at a minimum, a balance sheet, related statements of income and retained earnings and cash flows and notes to financial statements in complete detail and shall comprise at least a six-month accounting cycle.

AUDITED OR REVIEWED STATEMENTS ARE STRONGLY PREFERRED.

The financial statement shall include a cover letter signed by the public accountant or CPA who prepared the document and audited financial statements shall have an unqualified opinion. Review and Compilation financial statements are acceptable in lieu of audited.

Question 6: Page 10, Tab 5, lists "Environmental Pollution Liability" as required coverage, however this level of coverage is not identified in the contract. Is having this coverage a requirement of the prime applicant?

Answer: If the scope involves environmental (asbestos, lead paint, on site disposal, transportation, etc.) risk has typically requested minimum coverage limits for Pollution Liability coverage this limit requirement to \$2,000,000 each pollution condition.

Question 7: The RFP states that a Phase I Environmental Site Assessment is being performed that may contain recommendations for remediation of any contamination on site. Will those recommendations be handled separately by the district, or will they be part of the design team's contact?

Answer: Environmental Remediation of the existing building and Underground Oil Tank will be handled under a separate demolition contract prior to construction of the new school. Any potential contamination of the site soil other than that related to the tank will be the responsibility of the CG for the new construction.

Question 8: Page 1, Section 3.0, states the due date as 2/18/2020, however Page 3, Section 6.0, states the due date as 2/14/2020. Which is the correct date?

Answer: 2/14/2020

Addendum No. 1 (cont'd)

Attachments:

- 1. Drawing C-001 Existing Site Plan
- 2. Walkthrough Sign-In Sheet
- 3. Picture of Walkthrough Business Cards

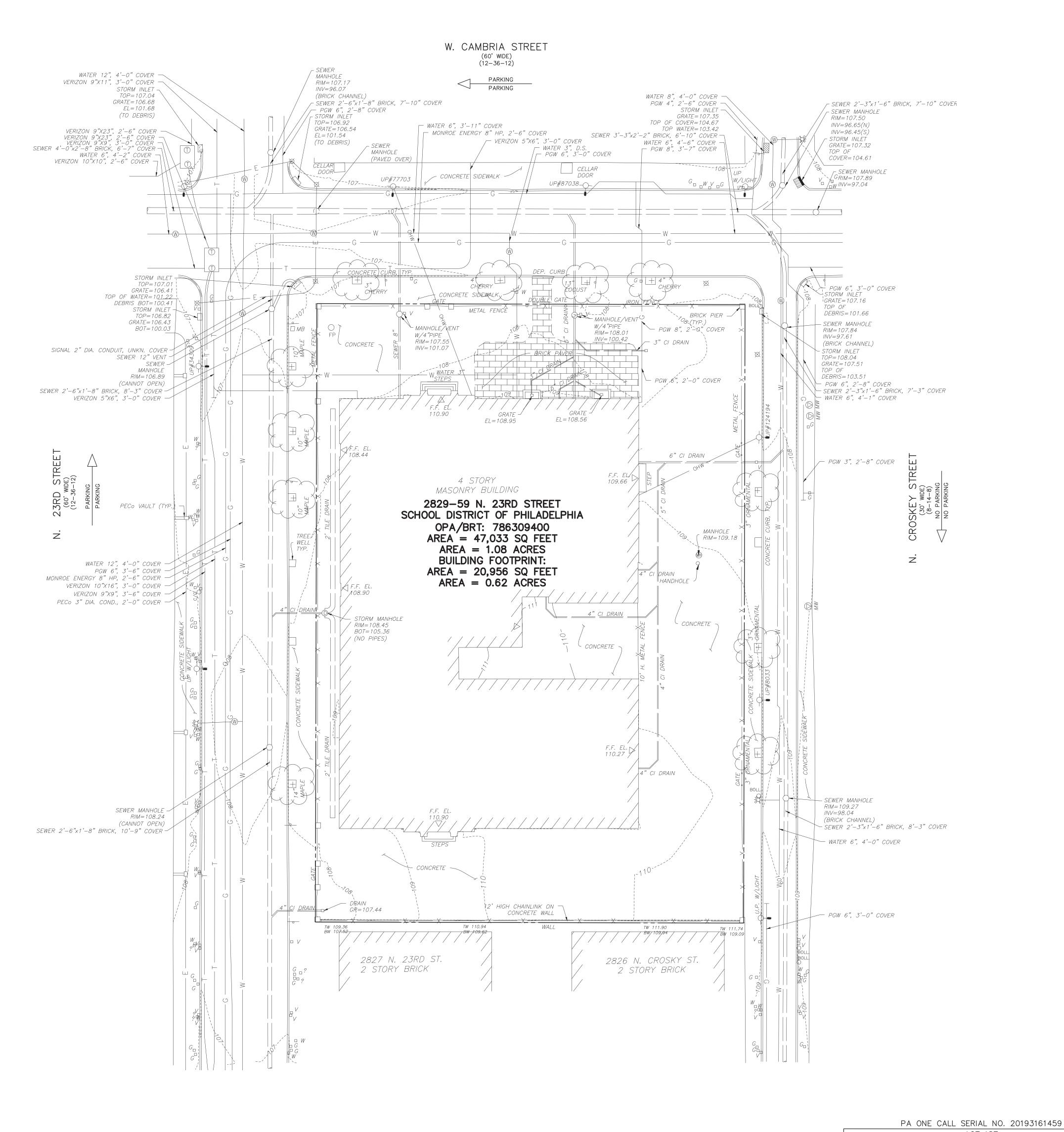
End of Addendum #1

EXISTING LEGEND CONCRETE CURB - PROPERTY LINES MAJOR CONTOUR LINE MINOR CONTOUR LINE GAS LINE POTABLE WATER SEPARATE SEWER SYSTEM SANITARY SEWER STORM DRAIN/COMBINED SEWER TELECOMMUNICATION CONDUIT ELECTRIC CONDUIT OVERHEAD UTILITY __x ____x ___x ___x ____ FENCE UNKNOWN MANHOLE TELEPHONE MANHOLE SANITARY MANHOLE STORM MANHOLE STORM/SANITARY MANHOLE ELECTRIC MANHOLE WATER MANHOLE \square W WATER VALVE $\Box G$ GAS VALVE UNKNOWN VALVE □ ? SEWER VENT $\Box V$ FIRE HYDRANT -0-/ **0**--UTILITY POLE/STREET LIGHT LIGHT POLE SIGN TRAFFIC SIGNAL FLAG POLE TREE МВ□ MAIL BOX BOLL. BOLLARD MW 🔘 MONITORING WELL CLEAN OUT CITY INLET GRATE INLET OPEN MOUTH GRATE INLET AREA DRAIN

GENERAL NOTES:

- 1. HORIZONTAL DATUM IS THE NAD83 PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983, (PA83—SF, NAD 83). VERTICAL DATUM IS THE CITY OF PHILADELPHIA VERTICAL DATUM.
- 2. HORIZONTAL DATUM WAS ESTABLISHED ON SITE USING GPS OBSERVATIONS.
- 3. VERTICAL DATUM BASED UPON AN ELEVATION OF 107.73 AT THE P.I. OF THE CURB AT THE SOUTHWEST CORNER OF CAMBRIA STREET AND N. CROSKEY STREET TAKEN FROM THE CITY PLAN IN GENERAL NOTE #4.
- 4. BOUNDARY LINE INFORMATION SHOWN WAS TAKEN FROM A PLAN ENTITLED "COMPILED PLAN OF CITY PLAN NO. 128, 38TH WARD, PHILADELPHIA", LAST REVISED 5/1/1956.
- 5. MEASURED DISTANCES SHOWN ON THIS PLAN ARE IN CITY OF PHILADELPHIA DISTRICT
- 6. ALL UNDERGROUND UTILITIES ARE BASED ON INFORMATION FROM UTILITY RECORDS OBTAINED THROUGH PA ONE CALL, DATED NOVEMBER 11, 2019. THE ACCURACY REGARDING LOCATION AND OR DEPTH CANNOT BE GUARANTEED. PRIOR TO ANY DIGGING, DRILLING, TRENCHING OR OTHER EARTHMOVING ACTIVITIES, THE CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS AT THE SITE. FOR INFORMATION REGARDING UTILITIES, CONSULT PENNSYLVANIA ONE CALL 1—800—242—1776.
- 7. TH FIELD SURVEY WAS CONDUCTED ON NOVEMBER 21 AND 22, 2019 BY GEOTREK

ENVIRONMENTAL AND SURVEYING, LLC.



PROGRESS PRINT 01/08/2020 NOT FOR CONSTRUCTION



1-800-242-1776

ACT 187 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TÒ START OF CONSTRUCTION. PENNSYLVANIA ONE CALL: 1-800-242-1776 VERIZON 1050 VIRGINIA DRIVE FT. WASHINGTON, PA 19034 PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2nd FLOOR PHILADELPHIA, PA 19107 DARLINE LEPPERD JOHNSON: ERIC PONERT: eric.ponert@phila.gov darline.k.lepperd@one.verizon.com PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE COMCAST 4400 WAYNE AVENUE PHILADELPHIA, PA 19140 PHILADELPHIA, PA 19122 MICHAEL PARAZANES: ROBERT HARVEY: michael.parzanese@pgworks.com bob_harvey@cable.comcast.net PECO ENERGY C/O USIC 450 S HENDERSON RD. SUITE B MONROE ENERGY LLC 920 CHERRY TREE RD KING OF PRUSSIA, PA 19406 ASTON, PA 19014 CAROLINE KERR: NIKKIA SIMPKINS: nikkiasimpkinis@usicllc.com caroline.kerr@monroe-energy.com INTERSECTION MEDIA LLC 2800 BLACK LAKE PLACE, SUITE B PHILADELPHIA, PA 19120 PHILADELPHIA, PA 19154

AMY BALAWEJDER:

amy.balawejder@intersection.com

KEVIN MCGINLEY:

kevin.mcginley@phila.gov

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SEAL:

NAME (LICENSED DATE PROFESSIONAL) XX/XX/XX STATE AND LICENSE NO: PA. PE041605R

Civil:
KS Engineers, P.C.
Address: 35 S. 3rd Street
Philadelphia, PA 19106

Phone: 215 925 0425
Email: rburrell@kseng.com
Attn: Richard S. Burrell

Structural:

Keast and Hood

Address: 400 Market Street, Suite 1250

Philadelphia, PA 19106

Email:

Phone: 215 625 0099 ext. 121

Attn: Denise Richards

Field Survey:

Field Survey:
GeoTrek Environmental and Surveying, LLC
Address: 304 W. Ashland Street
Doylestown, PA 18901

Phone: 267 300 1536

Email: kdmcguire@geotrekenv.com

Attn: Kathy McGuire

Cost Estimating:
International Consultants, Inc.

Address: 221 Chestnnut Street, Suite 200
Philadelphia, PA 19106

Phone: 215 923 8888 ext. 101 Email:

Attn: Michael Funk

Key Plan:

January 9, 2020

<u>January 8, 2020</u>						
	Revision Schedule					
NO.	DESCRIPTION	DATE				

SCHOOL & LOCATION

TM Peirce Elementary School
2829-59 N. 23rd Street, Philadelphia,

PA 19132
PROJECT TITLE

Demoliton of TM Peirce

Elementary School

DRAWING TITLE

EXISTING SITE PLAN

DRAWN BY
AB

CHECKED BY
RSB

DRAWING NO.

C-001

SHEET 2 OF 9

Thomas M Pierce ES New School Walkthrough – 1/30/2020

Sign-In Sheet

Representing	Phone	E-Mail	
DR GOUD	303,744,0577	Koaileya Alva-	4)
CRA ARCHITEC	717468-0270	Johna betra-arditect	5. com
Schrahorgreeis	215-452-740	inpettoniesgare, com	
C.P.A. APCHINETS	717.458-0272	sdouty@gmail.com	
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USA ARCHITECTS	215-710-3835	REARGULOS & OTA MEUTIECI	
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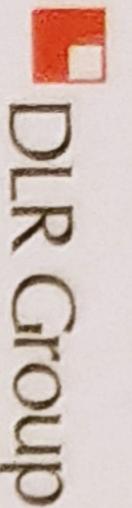
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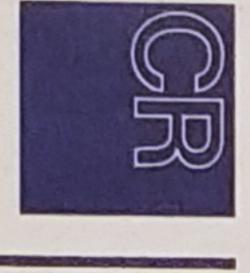


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