THE SCHOOL DISTRICT OF PHILADELPHIA Office of Capital Programs 440 North Broad Street, 3rd Floor – Suite 371 Philadelphia, PA 19130

TELEPHONE: (215) 400-4730

Addendum No. 004

- Subject: 2020 Classroom Modernizations SDP Contract Numbers: B-004 C of 19/20 & B-006 C of 19/20
- Location: Samuel L. Gompers School 5701 Wynnefield Ave, Philadelphia PA 19131

This Addendum, dated March 6, 2020 shall modify and become part of the Contract Documents for the work of this project. Any items not mentioned herein, or affected by, shall be performed strictly in accordance with the original documents.

<u>1. BID OPENNG HAS BEEN POSTPONED TO THURSDAY, MARCH 12,</u> 2020 AT 2:00 PM

2.REVISIONS TO SPECIFICATIONS

SPECIFICATION 262416 – PANELBOARDS

1. ADD specification in its entirety.

SPECIFICATION 275313 – WIRELESS CLOCK SYSTEM

1. REVISE 2.2.H. to read "H. Basis of Design: Sapling Inc. SMA 2000 **3000** Series Master Clock (V8.1), Wireless Clock System. [Addendum No. 1]."

3. REVISSIONS TO DRAWINGS

A. COVER SHEETS

DRAWING CS.1 – COVER SHEET

1. REVISE cover to add Deed Address to read "2400 N. 57th ST, PHILADELPHIA, PA 19131."

B. ARCHITECTURAL DRAWINGS

DRAWING D1.1 – FIRST FLOOR DEMOLITION PLAN – UNIT A

- 1. REVISE demolition note 9M as indicated on the drawings.
- 2. ADD demolition note 2E as indicated on the drawings.

DRAWING D1.2 – FIRST FLOOR DEMOLITION PLAN – UNIT B

- 1. REVISE demolition note 9M as indicated on the drawings.
- 2. ADD demolition note 2E as indicated on the drawings.

3. REVISE plan 1/D1.2 FIRST FLOOR DEMOLITION PLAN – UNIT B – rooms 104, 105, 106 & 107 to add demolition note 2E as indicated on the drawings.

DRAWING D1.3 – SECOND FLOOR DEMOLITION PLAN – UNIT B

- 1. REVISE demolition note 9M as indicated on the drawings.
- 2. ADD demolition note 2E as indicated on the drawings.
- 3. REVISE plan 1/D1.2 FIRST FLOOR DEMOLITION PLAN UNIT B rooms 207, 211 & 213 to add demolition note 2E as indicated on the drawings.

DRAWING A1.1 – OVERALL FIRST FLOOR PLAN

1. REVISE plan 1/A1.1 OVERALL FIRST FLOOR PLAN – ROOM 106 – Add sink.

DRAWING A1.4 – FIRST FLOOR PLAN – UNIT B

1. REVISE plan 1/A1.4 FIRST FLOOR PLAN – UNIT B – ROOM 106 – Add sink.

DRAWING A2.2 – FIRST FLOOR REFLECTED CEILING PLAN – UNIT B

1. REVISE plan 1/A2.2 FIRST FLOOR REFLECTED CEILING PLAN – UNIT B – rooms 104, 105, 106 & 107 to add a new roller shade.

DRAWING A2.3 – SECOND FLOOR REFLECTED CEILING PLAN – UNIT B

1. REVISE plan 1/A2.3 SECOND FLOOR REFLECTED CEILING PLAN – UNIT B – ROOMS 207, 211 & 213 to add a new roller shade.

DRAWING A6.1 – ROOM FINISH & DOOR SCHEDULE

- 1. REVISE Room Finish Schedule column "COLOR SCHEME" at ROOMS 105, 213 to correspond to Color Scheme "C".
- 2. REVISE Room Finish Schedule column "COLOR SCHEME" at ROOMS 207, 211 to correspond to Color Scheme "D".
- 3. REVISE Color Scheme Schedule Color Scheme A to read as: "COLOR SCHEME A KINDERGARTEN".
 - a. REVISE item no. 6 to read as: "6. VINYL COMPOSITION TILE, ACCENT '2': ARMSTRONG, NO. 51947 BASIL GREEN"
 - b. ADD item no. 10 to read as: "10. VINYL BASE: JOHNSONITE, NO. 469 MYSTIFY".
- 4. REVISE Color Scheme Schedule Color Scheme B to read as: "COLOR SCHEME B FIRST GRADE AND SPECIAL EDUCATION".
 - a. REVISE item no. 3 to read as: "3. ACCENT PAINT 'B' TEACHING WALL: SHERWIN WILLIAMS, NO. SW6765 SPA"
 - b. REVISE item no. 5 to read as: "5. VINYL COMPOSITION TILE, ACCENT '1': ARMSTRONG, NO. 51927 FIELD GRAY"
 - c. REVISE item no. 6 to read as: "6. VINYL COMPOSITION TILE, ACCENT '2': ARMSTRONG, NO. 57509 LEMON LICK"
 - d. ADD item no. 10 to read as: "10. VINYL BASE: JOHNSONITE, NO. 469 MYSTIFY".
- REVISE Color Scheme Schedule Color Scheme C to read as: "COLOR SCHEME C SECOND GRADE".
 - a. ADD Color Scheme Information for Color Scheme C.
- REVISE Color Scheme Schedule Color Scheme D to read as: "COLOR SCHEME D THIRD GRADE".
 - a. ADD Color Scheme Information for Color Scheme D.
- 7. REVISE Color Scheme Schedule General Notes Item No. 7 to read as: "NOT USED".

INTERIOR DRAWINGS

DRAWING I4.2 – LARGE SCALE LAYOUTS - FIRST, SECOND, THIRD & SPECIAL EDUCATION

1. REVISE detail 1/I4.2 FIRST GRADE – ROOM 106 – Add sink.

C. PLUMBING DRAWINGS

DRAWING PD1.2 - PLUMBING FIRST FLOOR DEMOLITION PLAN - UNIT B

 ADD Demolition Key Note #2 to Rm 106. Keynote to read "EXISTING CLASSROOM SINK TO REMAIN. PREPARE ALL PLUMBING ROUGH-INS FOR NEW FIXTURES/ VALVE INSTALLATION. CONTRACTOR TO FIELD VERIFY THE NEW FIXTURES ROUGH-INS TO MAKE SURE THE EXISTING ROUGH-INS/ FLOOR/ WALL FLUSH/ ALL ASSOCIATED FITTINGS ARE COMPATIBLE WITH NEW FIXTURES. CONTRACTOR TO ADD/TRIM ROUGH-INS TO FIT WITH NEW FIXTURES AND PROVIDE NEW CARRIAGE FOR NEW SINK."

DRAWING P1.2 - PLUMBING FIRST FLOOR NEW WORK PLAN - UNIT B

1. ADD Sheet Key Note #2 to Rm 106 to make adjacent rooms. Provide fixture type F-3.

D. ELECTRICAL DRAWINGS

DRAWING ED1.1 - ELECTRICAL FIRST FLOOR DEMOLITION PLAN

1. ADD general note to read "ELECTRICAL CONTRACTOR TO PROVIDE ALLOWANCE FOR REMOVAL OF 10' – 0" OF SURFACE MOUNTED RACEWAY/ CONDUIT AND CONDUCTORS IN EACH CLASSROOM."

DRAWING ED1.2 - ELECTRICAL SECOND FLOOR DEMOLITION PLAN

 ADD general note to read "ELECTRICAL CONTRACTOR TO PROVIDE ALLOWANCE FOR REMOVAL OF 10' – 0" OF SURFACE MOUNTED RACEWAY/ CONDUIT AND CONDUCTORS IN EACH CLASSROOM."

DRAWING E2.1 - ELECTRICAL FIRST FLOOR POWER & TECHNOLOGY PLAN

- 1. ADD General Sheet Note #6 to read "ELECTRICAL CONTRACTOR TO RUN ALL NEW SURFACE MOUNTED CONDUITS AND RACEWAYS IN CORNERS OF EACH CLASSROOM TO AVOID CONFLICT WITH DISPLAY BOARDS AND OTHER CLASSROOM FURNISHINGS."
- 2. REVISE power and data as indicated on the drawings.

NOTE: Revisions that refer to Addendum No 1 and No 2 on this drawing are cumulative to this drawing, as included in this Addendum No 4

DRAWING E2.2 - ELECTRICAL SECOND FLOOR POWER & TECHNOLOGY PLAN

- 1. ADD General Sheet Note #6 to read "ELECTRICAL CONTRACTOR TO RUN ALL NEW SURFACE MOUNTED CONDUITS AND RACEWAYS IN CORNERS OF EACH CLASSROOM TO AVOID CONFLICT WITH DISPLAY BOARDS AND OTHER CLASSROOM FURNISHINGS."
- 2. REVISE power and data as indicated on the drawings.

NOTE: Revisions that refer to Addendum No 1 and No 2 on this drawing are cumulative to this drawing, as included in this Addendum No 4

4. BIDDER QUESTIONS SUBMITTED TO DATE & RESPONSES ARE AS FOLLOWS:

1. On the website, each school has an EC and GC bid. Who will be responsible for the HVAC and Plumbing work that is included?

Answer: There is no HVAC work in the project. Plumbing will be the responsibility of the GC.

2. Specifications call for Sapling Master 2000 Clock. Sapling 3000 is normally the school district standard. Manufacturer comment "a 3000 can set up bell schedules where a 2000 cannot. Philly schools does not have intercom systems, so they have no way of ringing bells without the 3000." Should the specs be revised to install a 3000?

Answer: Specification 275313 has been revised in this addendum. Refer to specification addendum section, above.

3. The specifications do not contain a specification for the electrical panels. Can you provide?

Answer: The specification has been added as part of this addendum.

- 4. Question not applicable to Gompers School.
- 5. Question not applicable to Gompers School.
- 6. Drawing D1.1, Demolition Note 9A states "existing unit ventilator and/or radiator, radiator cover and all associated piping and components to be removed (as applicable) and refinished with electrostatic paint and reinstalled as scheduled. Clean unit ventilator and/or radiator and all associated components prior to reinstallation of cover." Is this the responsibility of the GC?

Answer: Gompers School Classroom Modernization does not include the refinishing of radiator covers and/or all associated piping and components. This is being provided as part of another contract, (ESCO) that includes this work. Any and all new unit ventilators and ventilator covers and piping shall be protected during the work, where installed. Coordination with phasing of abatement, demolition and new work is required with the ESCO contract for the duration of the work.

7. Question not applicable to Gompers School.

8. The contract drawings don't show any window film. Please clarify? Not sure where we asked for window film? Please clarify.

Answer: Per Specification 101115, Section 2.2.B.2, location to be at Samuel L. Gompers Elementary per drawings only.

9. Question not applicable to Gompers School.

ATTACHMENTS

SPECIFICATIONS SPECIFICATION 262416	PANELBOARDS
DRAWINGS DRAWING D1.1 DRAWING D1.2 DRAWING D1.3	FIRST FLOOR DEMOLITION PLAN – UNIT A FIRST FLOOR DEMOLITION PLAN – UNIT B SECOND FLOOR DEMOLITION PLAN – UNIT B
DRAWING A1.1 DRAWING A1.4 DRAWING A2.2 DRAWING A2.3 DRAWING A6.1	OVERALL FIRST FLOOR PLAN FIRST FLOOR PLAN – UNIT B FIRST FLOOR REFLECTED CEILING PLAN – UNIT B SECOND FLOOR REFLECTED CEILING PLAN – UNIT B ROOM FINISH & DOOR SCHEDULE
DRAWING 14.2 EDUCATION	LARGE SCALE LAYOUTS - FIRST, SECOND, THIRD & SPECIAL
DRAWING E2.1 DRAWING E2.2	ELECTRICAL FIRST FLOOR POWER AND TECHNOLOGY PLAN ELECTRICAL SECOND FLOOR POWER AND TECHNOLOGY PLAN

END OF ADDENDUM #004

SECTION 262416 – PANELBOARDS

PART 1 - GENERAL

- 1.1 RELATED DOCUMENTS
 - A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.
- 1.2 SUMMARY
 - A. Section Includes:
 - 1. Lighting and appliance branch-circuit panelboards.
- 1.3 DEFINITIONS
 - A. ATS: Acceptance testing specification.
 - B. GFCI: Ground-fault circuit interrupter.
 - C. GFEP: Ground-fault equipment protection.
 - D. MCCB: Molded-case circuit breaker.
 - E. VPR: Voltage protection rating.
- 1.4 ACTION SUBMITTALS
 - A. Product Data: For each type of panelboard.
 - 1. Include materials, switching and overcurrent protective devices, SPDs, accessories, and components indicated.
 - 2. Include dimensions and manufacturers' technical data on features, performance, electrical characteristics, ratings, and finishes.
 - B. Shop Drawings: For each panelboard and related equipment.
 - 1. Include dimensioned plans, elevations, sections, and details.
 - 2. Show tabulations of installed devices with nameplates, conductor termination sizes, equipment features, and ratings.
 - 3. Detail enclosure types including mounting and anchorage, environmental protection, knockouts, corner treatments, covers and doors, gaskets, hinges, and locks.
 - 4. Detail bus configuration, current, and voltage ratings.
 - 5. Short-circuit current rating of panelboards and overcurrent protective devices.
 - 6. Detail features, characteristics, ratings, and factory settings of individual overcurrent protective devices and auxiliary components.
 - 7. Include wiring diagrams for power, signal, and control wiring.

- 8. Key interlock scheme drawing and sequence of operations.
- 9. Include time-current coordination curves for each type and rating of overcurrent protective device included in panelboards. Submit on translucent log-log graft paper; include selectable ranges for each type of overcurrent protective device. Include an Internet link for electronic access to downloadable PDF of the coordination curves.
- C. Contractor shall submit a "specifications compliance statement" for each manufactured piece of equipment. Contractor/Supplier shall add "redlined" line-by-line notations to a PDF of the indicating the product or actions reauired Specifications Section "complies". Contractor/Supplier shall itemize all deviations from the specified requirement on a line-by-line basis. List of exceptions to product specification shall include proposed materials, methods and cost difference where substitutions are allowed. If product does not comply with the specification the Contractor/Supplier shall state what modifications and actions are being implemented to ensure the product shall comply per the substitution section of the contract documents.

1.5 STATEMENT OF COMPLIANCE

A. Contractor shall submit a "specifications compliance statement" for each manufactured piece of equipment. Contractor/Supplier shall add "redlined" notations to a PDF of the Specifications Section indicating the product or actions required "complies". If product does not comply the Contractor/Supplier shall state what modifications and actions are being implemented to ensure the product shall comply per the substitution section of the contract documents.

1.6 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For testing agency.
- B. Panelboard Schedules: For installation in panelboards. Submit final versions after load balancing.

1.7 CLOSEOUT SUBMITTALS

- A. Operation and Maintenance Data: For panelboards and components to include in emergency, operation, and maintenance manuals. In addition to items specified in other section for "Operation and Maintenance Data," include the following:
 - 1. Manufacturer's written instructions for testing and adjusting overcurrent protective devices.
 - 2. Time-current curves, including selectable ranges for each type of overcurrent protective device that allows adjustments.

1.8 QUALITY ASSURANCE

A. Manufacturer Qualifications: ISO 9001 or 9002 certified.

- 1.9 DELIVERY, STORAGE, AND HANDLING
 - A. Remove loose packing and flammable materials from inside panelboards; install temporary electric heating (250 W per panelboard) to prevent condensation.
 - B. Handle and prepare panelboards for installation according to NECA 407.
- 1.10 FIELD CONDITIONS
 - A. Environmental Limitations:
 - 1. Do not deliver or install panelboards until spaces are enclosed and weathertight, wet work in spaces is complete and dry, work above panelboards is complete, and temporary HVAC system is operating and maintaining ambient temperature and humidity conditions at occupancy levels during the remainder of the construction period.
 - 2. Rate equipment for continuous operation under the following conditions unless otherwise indicated:
 - a. Ambient Temperature: Not exceeding 23 deg F (minus 5 deg C) to plus 104 deg F (plus 40 deg C).
 - b. Altitude: Not exceeding 6600 feet (2000 m).
 - B. Service Conditions: NEMA PB 1, usual service conditions, as follows:
 - 1. Ambient temperatures within limits specified.
 - 2. Altitude not exceeding 6600 feet (2000 m).
 - C. Interruption of Existing Electric Service: Do not interrupt electric service to facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging to provide temporary electric service according to requirements indicated:
 - 1. Notify Construction Manager no fewer than two days in advance of proposed interruption of electric service.
 - 2. Do not proceed with interruption of electric service without Construction Manager's written permission.
 - 3. Comply with NFPA 70E.

1.11 WARRANTY

- A. Manufacturer's Warranty: Manufacturer agrees to repair or replace panelboards that fail in materials or workmanship within specified warranty period.
 - 1. Panelboard Warranty Period: 18 months from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 PANELBOARDS COMMON REQUIREMENTS

A. Fabricate and test panelboards according to IEEE 344 to withstand seismic forces defined in other section for "Seismic Controls for Electrical Systems."

- B. Product Selection for Restricted Space: Drawings indicate maximum dimensions for panelboards including clearances between panelboards and adjacent surfaces and other items. Comply with indicated maximum dimensions.
- C. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, by a qualified testing agency, and marked for intended location and application.
- D. Comply with NEMA PB 1.
- E. Comply with NFPA 70.
- F. Enclosures: Flush and Surface-mounted, dead-front cabinets.
 - 1. Rated for environmental conditions at installed location.
 - a. Indoor Dry and Clean Locations: NEMA 250, Type 1.
 - b. Indoor Locations Subject to Dust, Falling Dirt, and Dripping Noncorrosive Liquids: NEMA 250, Type 5.
 - 2. Height: 84 inches (2.13 m) maximum.
 - 3. Hinged Front Cover: Entire front trim hinged to box and with standard door within hinged trim cover. Trims shall cover all live parts and shall have no exposed hardware.
 - 4. Gutter Extension and Barrier: Same gage and finish as panelboard enclosure; integral with enclosure body. Arrange to isolate individual panel sections.
 - 5. Finishes:
 - a. Panels and Trim: Steel, factory finished immediately after cleaning and pretreating with manufacturer's standard two-coat, baked-on finish consisting of prime coat and thermosetting topcoat.
 - b. Back Boxes: Same finish as panels and trim.
- G. Incoming Mains:
 - 1. Location: Top and Bottom.
 - 2. Main Breaker: Main lug interiors up to 400 amperes shall be field convertible to main breaker.
- H. Phase, Neutral, and Ground Buses:
 - 1. Material: Hard-drawn copper, 98 percent conductivity.
 - a. Plating shall run entire length of bus.
 - b. Bus shall be fully rated the entire length.
 - 2. Interiors shall be factory assembled into a unit. Replacing switching and protective devices shall not disturb adjacent units or require removing the main bus connectors.
 - 3. Equipment Ground Bus: Adequate for feeder and branch-circuit equipment grounding conductors; bonded to box.
 - 4. Full-Sized Neutral: Equipped with full-capacity bonding strap for service entrance applications. Mount electrically isolated from enclosure. Do not mount neutral bus in gutter.
- I. Conductor Connectors: Suitable for use with conductor material and sizes.

- 1. Material: Hard-drawn copper, 98 percent conductivity.
- 2. Terminations shall allow use of 75 deg C rated conductors without derating.
- 3. Size: Lugs suitable for indicated conductor sizes, with additional gutter space, if required, for larger conductors.
- 4. Main and Neutral Lugs: Mechanical type, with a lug on the neutral bar for each pole in the panelboard.
- 5. Ground Lugs and Bus-Configured Terminators: Mechanical type, with a lug on the bar for each pole in the panelboard.
- 6. Feed-Through Lugs: Mechanical type, suitable for use with conductor material. Locate at opposite end of bus from incoming lugs or main device.
- 7. Subfeed (Double) Lugs: Mechanical type suitable for use with conductor material. Locate at same end of bus as incoming lugs or main device.
- 8. Gutter-Tap Lugs: Mechanical type suitable for use with conductor material and with matching insulating covers. Locate at same end of bus as incoming lugs or main device.
- J. Future Devices: Panelboards or load centers shall have mounting brackets, bus connections, filler plates, and necessary appurtenances required for future installation of devices.
 - 1. Percentage of Future Space Capacity: 20 percent.
- K. Panelboard Short-Circuit Current Rating: Match existing condition Ratings (Field coordinate).
- L. Panelboard Short-Circuit Current Rating: Fully rated to interrupt symmetrical short-circuit current available at terminals. Assembly listed by an NRTL for 100 percent interrupting capacity. However, if the short-circuit & coordination study requires higher AIC rating, then the contractor shall provide higher rated panels without any additional cost to the owners. It is highly recommended that short-circuit & coordination study be prepared prior to ordering the panels.
 - 1. Panelboards and overcurrent protective devices rated 240 V or less shall have shortcircuit ratings as shown on Drawings, but not less than 10,000 A rms symmetrical.
 - 2. Panelboards and overcurrent protective devices rated above 240 V and less than 600 V shall have short-circuit ratings as shown on Drawings, but not less than 14,000 A rms symmetrical.

2.2 PERFORMANCE REQUIREMENTS

- A. Seismic Performance: Panelboards shall withstand the effects of earthquake motions determined according to ASCE/SEI 7.
 - 1. The term "withstand" means "the unit will remain in place without separation of any parts from the device when subjected to the seismic forces specified."

2.3 LIGHTING AND APPLIANCE BRANCH-CIRCUIT PANELBOARDS

- A. <u>Manufacturers:</u> Subject to compliance with requirements, provide products by one of the following:
 - 1. <u>Eaton</u>.
 - 2. East coast Panelboard Inc.
 - 3. <u>Square D; by Schneider Electric</u>.

- B. Panelboards: NEMA PB 1, lighting and appliance branch-circuit type.
- C. Mains: Circuit breaker or lugs only.
- D. Branch Overcurrent Protective Devices: Bolt-on circuit breakers, replaceable without disturbing adjacent units.
- E. Doors: Door-in-door construction with concealed hinges; secured with multipoint latch with tumbler lock; keyed alike. Outer door shall permit full access to the panel interior. Inner door shall permit access to breaker operating handles and labeling, but current carrying terminals and bus shall remain concealed.

2.4 DISCONNECTING AND OVERCURRENT PROTECTIVE DEVICES

- A. <u>Manufacturers:</u> Subject to compliance with requirements, provide products by one of the following:
 - 1. <u>Eaton</u>.
 - 2. East coast Panelboard Inc.
 - 3. Square D; by Schneider Electric.
- B. MCCB: Comply with UL 489, with interrupting capacity to meet available fault currents.
 - 1. Thermal-Magnetic Circuit Breakers:
 - a. Inverse time-current element for low-level overloads.
 - b. Instantaneous magnetic trip element for short circuits.
 - c. Adjustable magnetic trip setting for circuit-breaker frame sizes 250 A and larger.
 - 2. GFCI Circuit Breakers: Single- and double-pole configurations with Class A ground-fault protection (6-mA trip).
 - 3. Subfeed Circuit Breakers: Vertically mounted.
 - 4. MCCB Features and Accessories:
 - a. Standard frame sizes, trip ratings, and number of poles.
 - b. Breaker handle indicates tripped status.
 - c. UL listed for reverse connection without restrictive line or load ratings.
 - d. Lugs: Mechanical style, suitable for number, size, trip ratings, and conductor materials.
 - e. Application Listing: Appropriate for application; Type SWD for switching fluorescent lighting loads.
 - f. Communication Capability: Circuit-breaker-mounted communication module with functions and features compatible with power monitoring and control system specified in other section for "Electrical Power Monitoring and Control."
 - g. Shunt Trip: 120-V trip coil energized from separate circuit, set to trip at 55 percent of rated voltage.
 - h. Undervoltage Trip: Set to operate at 35 to 75 percent of rated voltage without intentional time delay.
 - i. Auxiliary Contacts: One, SPDT switch with "a" and "b" contacts; "a" contacts mimic circuit-breaker contacts and "b" contacts operate in reverse of circuit-breaker contacts.
 - j. Alarm Switch: Single-pole, normally open contact that actuates only when circuit breaker trips.

- k. Multipole units enclosed in a single housing with a single handle or factory assembled to operate as a single unit.
- I. Handle Padlocking Device: Fixed attachment, for locking circuit-breaker handle in on or off position.
- m. Handle Clamp: Loose attachment, for holding circuit-breaker handle in on position.

2.5 IDENTIFICATION

- A. Panelboard Label: Manufacturer's name and trademark, voltage, amperage, number of phases, and number of poles shall be located on the interior of the panelboard door.
- B. Breaker Labels: Faceplate shall list current rating, UL and IEC certification standards, and AIC rating.
- C. Circuit Directory: Computer-generated circuit directory mounted inside panelboard door with transparent plastic protective cover.
 - 1. Circuit directory shall identify specific purpose with detail sufficient to distinguish it from all other circuits.

2.6 ACCESSORY COMPONENTS AND FEATURES

A. Accessory Set: Include tools and miscellaneous items required for overcurrent protective device test, inspection, maintenance, and operation.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify actual conditions with field measurements prior to ordering panelboards to verify that equipment fits in allocated space in, and comply with, minimum required clearances specified in NFPA 70.
- B. Receive, inspect, handle, and store panelboards according to NECA 407.
- C. Examine panelboards before installation. Reject panelboards that are damaged, rusted, or have been subjected to water saturation.
- D. Examine elements and surfaces to receive panelboards for compliance with installation tolerances and other conditions affecting performance of the Work.
- E. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

A. Coordinate layout and installation of panelboards and components with other construction that penetrates walls or is supported by them, including electrical and other types of equipment, raceways, piping, encumbrances to workspace clearance requirements, and adjacent

surfaces. Maintain required workspace clearances and required clearances for equipment access doors and panels.

- B. Comply with NECA 1.
- C. Install panelboards and accessories according to NECA 407.
- D. Equipment Mounting:
 - 1. Attach panelboard to the vertical finished or structural surface behind the panelboard.
 - 2. Comply with requirements for seismic control devices specified in other section for "Seismic Controls for Electrical Systems."
- E. Comply with mounting and anchoring requirements specified in other section for "Seismic Controls for Electrical Systems."
- F. Mount top of trim 90 inches (2286 mm) above finished floor unless otherwise indicated.
- G. Mount panelboard cabinet plumb and rigid without distortion of box.
- H. Mount recessed panelboards with fronts uniformly flush with wall finish and mating with back box.
- I. Mount surface-mounted panelboards to steel slotted supports 5/8 inch (16 mm) in depth. Orient steel slotted supports vertically.
- J. Install overcurrent protective devices and controllers not already factory installed.
 - 1. Set field-adjustable, circuit-breaker trip ranges.
 - 2. Tighten bolted connections and circuit breaker connections using calibrated torque wrench or torque screwdriver per manufacturer's written instructions.
- K. Install filler plates in unused spaces.
- L. Arrange conductors in gutters into groups and bundle and wrap with wire ties after completing load balancing.

3.3 IDENTIFICATION

- A. Identify field-installed conductors, interconnecting wiring, and components; install warning signs complying with requirements in other section for "Identification for Electrical Systems."
- B. Create a directory to indicate installed circuit loads after balancing panelboard loads; incorporate Owner's final room designations. Obtain approval before installing. Handwritten directories are not acceptable. Install directory inside panelboard door.
- C. Panelboard Nameplates: Label each panelboard with a nameplate complying with requirements for identification specified in other section for "Identification for Electrical Systems."
- D. Device Nameplates: Label each branch circuit device in power panelboards with a nameplate complying with requirements for identification specified in other section for "Identification for Electrical Systems."

E. Install warning signs complying with requirements in other section for "Identification for Electrical Systems" identifying source of remote circuit.

3.4 FIELD QUALITY CONTROL

- A. Manufacturer's Field Service: Engage a factory-authorized service representative to inspect, test, and adjust components, assemblies, and equipment installations, including connections.
- B. Perform tests and inspections.
 - 1. Manufacturer's Field Service: Engage a factory-authorized service representative to inspect components, assemblies, and equipment installations, including connections, and to assist in testing.
- C. Acceptance Testing Preparation:
 - 1. Test insulation resistance for each panelboard bus, component, connecting supply, feeder, and control circuit.
 - 2. Test continuity of each circuit.
- D. Tests and Inspections:
 - 1. Perform each visual and mechanical inspection and electrical test for low-voltage air circuit breakers stated in NETA ATS, Paragraph 7.6 Circuit Breakers. Perform optional tests. Certify compliance with test parameters.
 - 2. Correct malfunctioning units on-site, where possible, and retest to demonstrate compliance; otherwise, replace with new units and retest.
 - 3. Perform the following infrared scan tests and inspections and prepare reports:
 - a. Infrared Scanning: After Substantial Completion, but not more than 60 days after Final Acceptance, perform an infrared scan of each panelboard. Remove front panels so joints and connections are accessible to portable scanner.
 - b. Instruments and Equipment:
 - 1) Use an infrared scanning device designed to measure temperature or to detect significant deviations from normal values. Provide calibration record for device.
- E. Panelboards will be considered defective if they do not pass tests and inspections.
- F. Prepare test and inspection reports, including a certified report that identifies panelboards included and that describes scanning results, with comparisons of the two scans. Include notation of deficiencies detected, remedial action taken, and observations after remedial action.

3.5 ADJUSTING

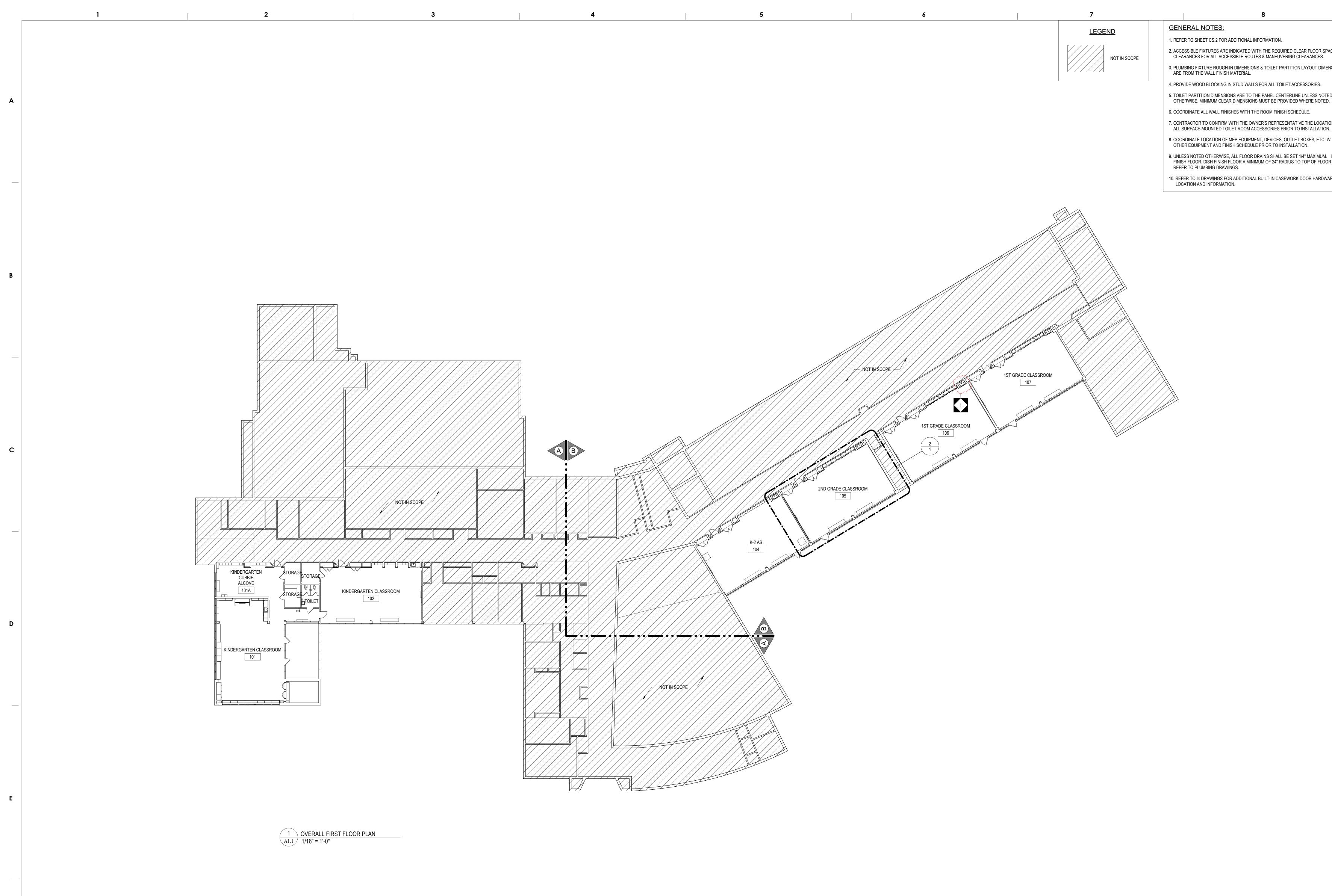
- A. Adjust moving parts and operable components to function smoothly, and lubricate as recommended by manufacturer.
- B. Set field-adjustable circuit-breaker trip ranges as specified in other section for "Coordination Studies."

- C. Load Balancing: After Substantial Completion, but not more than 60 days after Final Acceptance, measure load balancing and make circuit changes. Prior to making circuit changes to achieve load balancing, inform Architect of effect on phase color coding.
 - 1. Measure loads during period of normal facility operations.
 - 2. Perform circuit changes to achieve load balancing outside normal facility operation schedule or at times directed by the Architect. Avoid disrupting services such as fax machines and on-line data processing, computing, transmitting, and receiving equipment.
 - 3. After changing circuits to achieve load balancing, recheck loads during normal facility operations. Record load readings before and after changing circuits to achieve load balancing.
 - 4. Tolerance: Maximum difference between phase loads, within a panelboard, shall not exceed 20 percent.

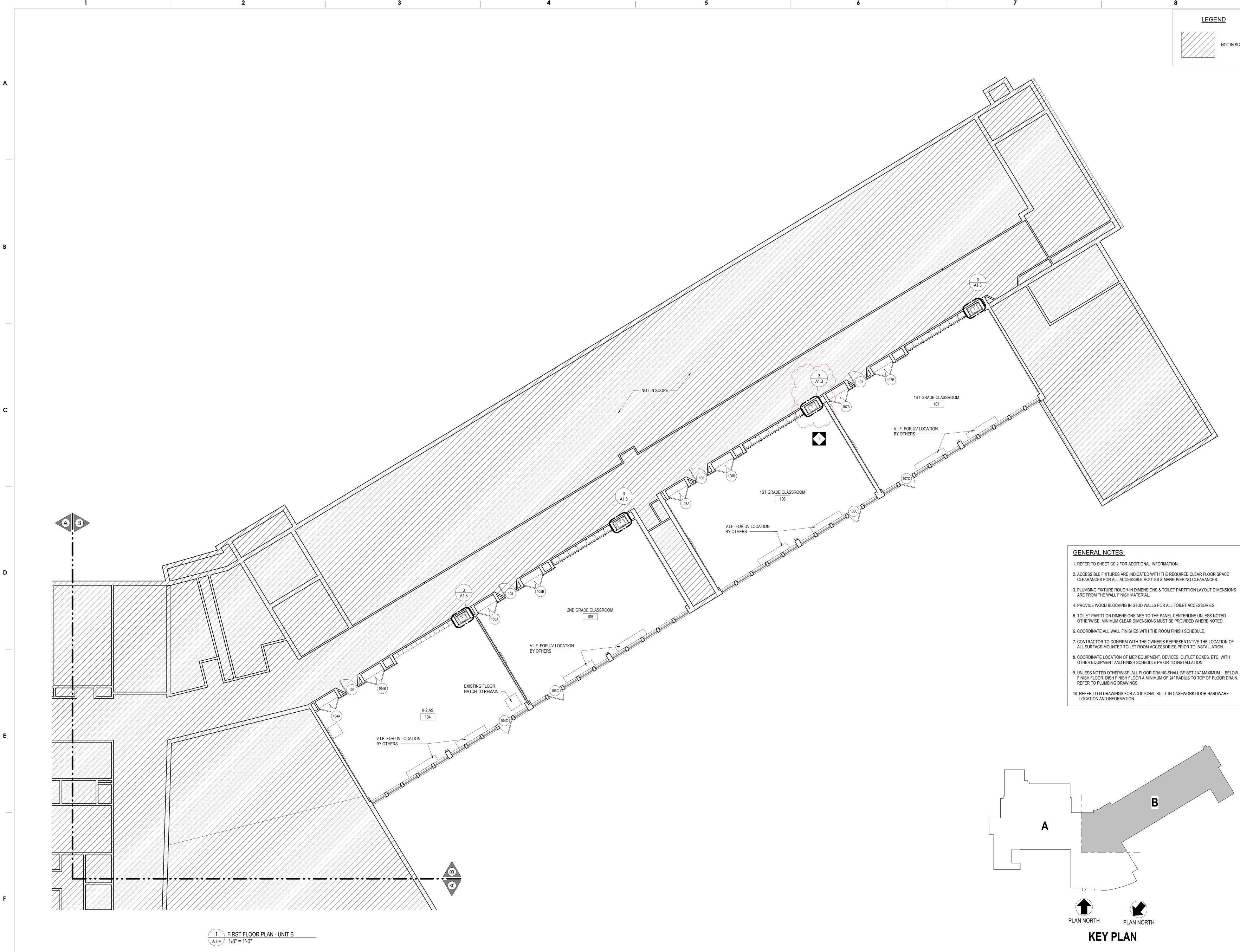
3.6 PROTECTION

A. Temporary Heating: Prior to energizing panelboards, apply temporary heat to maintain temperature according to manufacturer's written instructions.

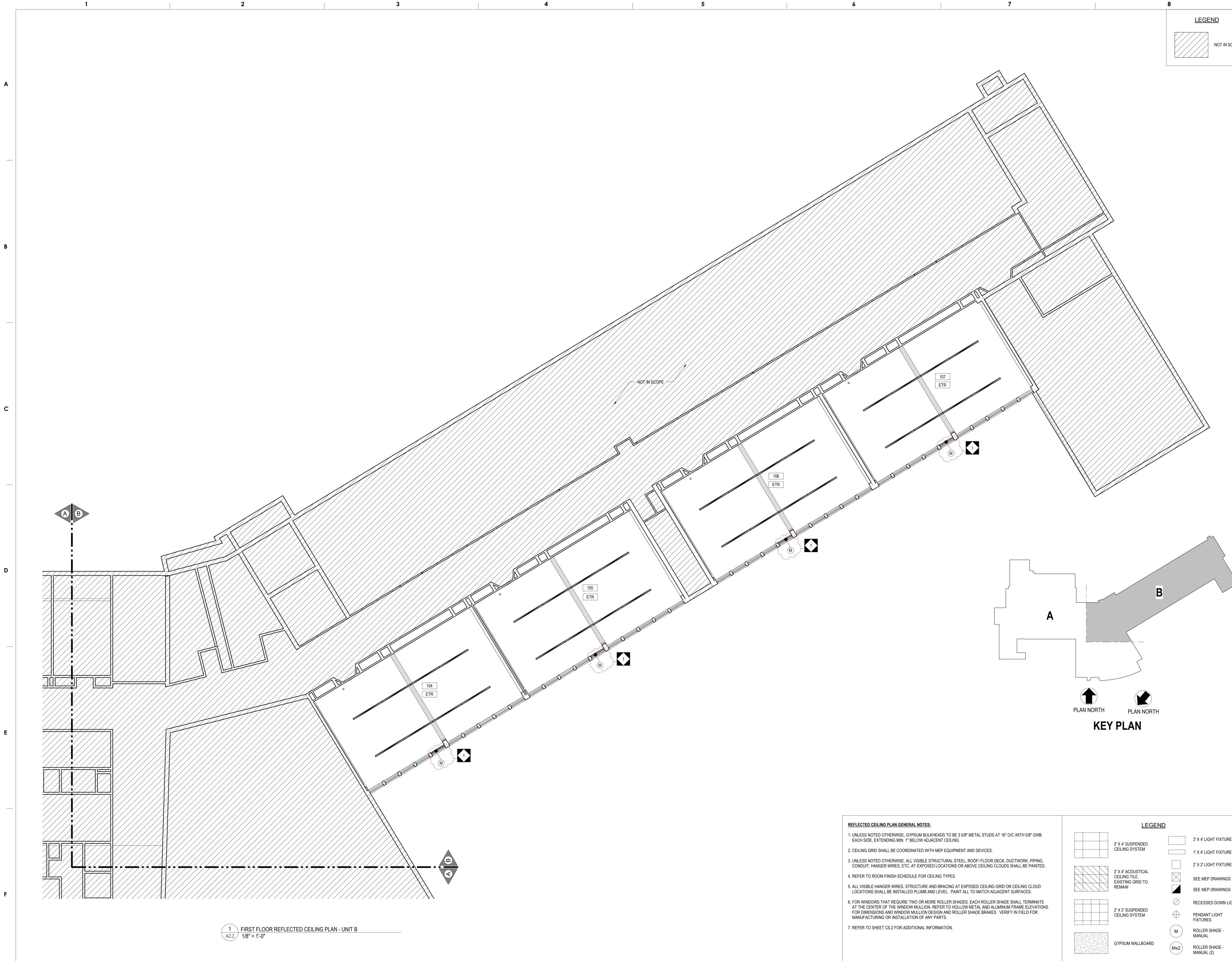
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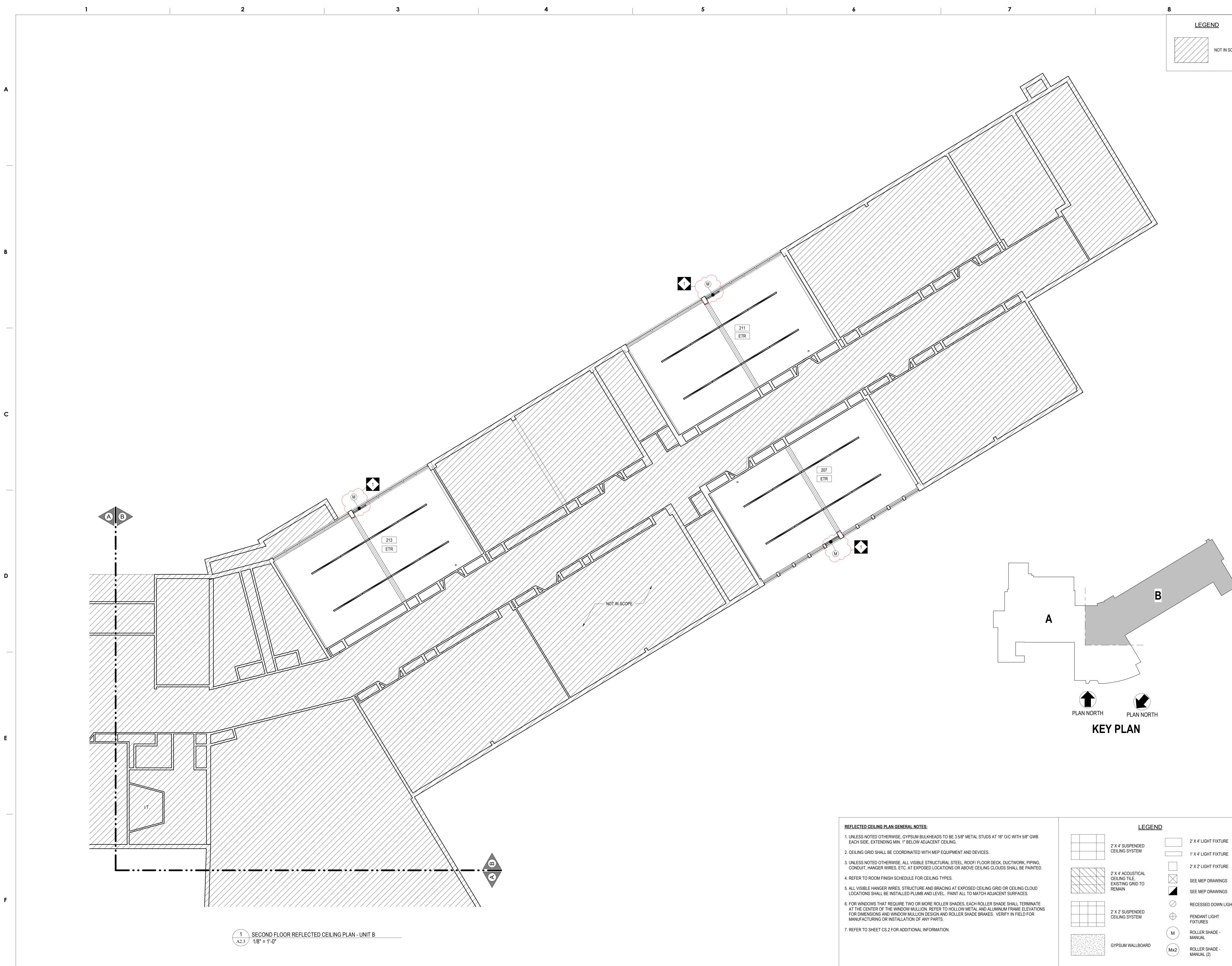
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ARE	THIN REY STRAUB
	R. JEFFREY STRAUB STATE AND LICENSE NO: RA403652
	<u>ARCHITECT</u> CRABTREE, ROHRBAUGH & ASSOCIATES
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	SETTY One South Street, Suite 1130 Baltimore, MD 21202
	Phone: 667-309-6036 Email: deepak.at@setty.com
	Attn: Deepak Ajjimane
	<u>100% DESIGN SUBMISSION</u> 1/22/2020
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	1 2/20/2020 ADDENDUM # 1
	NO. DATE REVISION SCHOOL & LOCATION
	SAMUEL GOMPERS ELEMENTARY SCHOOL
	Mailing Address: 5701
	WYNNEFIELD AVE, PHILADELPHIA, PA 19131
	DEED ADDRESS: 2400 N 57TH ST, PHILADELPHIA, PA 19131-1300
	CLASSROOM MODERNIZATION
	DRAWING TITLE
	OVERALL FIRST FLOOR PLAN
	LOCATION NO. FILE NO.
	DRAWN BY CHECKED BY
	B-004C OF 2019 / 20
	B-006C OF 2019 / 20
	DRAWING NO.



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	REY STRAUB
	R. JEFFREY STRAUB
	STATE AND LICENSE NO: RA403652
	<u>Architect</u> Crabtree, Rohrbaugh & Associates
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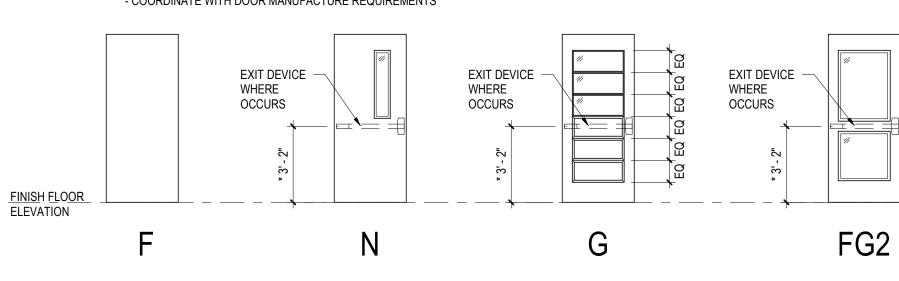
							DOOR S	CHEDULE						
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				DOOR		DTH		-			FRAME	GLAZING/		
OPENING				SCHEDULED					FRAME	FRAME	SCHEDULED	INFILL	HARDWARE	
NUMBER	TYPE	NEW	MATERIAL	FINISH	LEAF 1	LEAF 2	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	SET	REMARKS
FIRST FLOOR								4.0/48					00.04	
101A	G	NEW	WD	PNT	3' - 0"		7' - 0"	1 3/4"	ETR	HM	PNT	TG	SG-04	C, G
101B		ETR	WD	PNT	3' - 0"		7' - 0"	ETR	ETR	HM	PNT		SG-02	B, F, G
101C	F	ETR	WD	PNT	3' - 0"		7' - 0"	ETR	ETR	HM	PNT		SG-02	B, F, G
101D	I	ETR	WD	PNT	3' - 0"		7' - 0"	ETR	ETR	HM	PNT		SG-03	B, F, G
101E	G	NEW	WD	PNT	3' - 0"	41 01	7' - 0"	1 3/4"	ETR	HM	PNT	TG	SG-01	C, G
101F		ETR	WD	PNT	1' - 6"	1' - 6"	6' - 0"	ETR	ETR	WD	PNT		SG-05	B, F, G
101G	1	ETR	WD	PNT	1' - 6"	1' - 6"	6' - 0"	ETR	ETR	WD	PNT	 ГТD	SG-05	B, F, G
101H	FG2	ETR	ALUM	CLN	3' - 0"		7' - 0"	ETR	ETR	ALUM	CLN	ETR	ETR	A, F
101J	FG2	ETR	ALUM		3' - 0"		7' - 0"	ETR	ETR	ALUM		ETR	ETR	A, F
102	G	NEW	WD WD	PNT	3' - 0"		7' - 0"	1 3/4"	ETR	HM	PNT	TG	SG-04	C, G
102A		ETR	WD	PNT	3' - 0"	2' 4"	7' - 0" 6' - 0"	ETR	ETR ETR	HM	PNT		SG-02	B, F, G
102B	г г	ETR ETR	WD WD	PNT	2' - 4"	2' - 4"		ETR		HM	PNT		SG-05	B, F, G
102C	г G		WD WD	PNT	2' - 4" 3' - 0"	2' - 4"	6' - 0" 7' - 0"	ETR	ETR ETR	HM	PNT	 TG	SG-05	B, F, G
104	G F	NEW		PNT		2' 6"		1 3/4"		HM	PNT		SG-04	C, G
104A	F F	ETR	WD WD	PNT	2' - 6" 2' - 6"	2' - 6"	6' - 0" 6' - 0"	ETR	ETR ETR	HM HM	PNT PNT		SG-05	B, F, G
104B		ETR ETR	STL	PNT PNT	2 - 6 3' - 5"	2' - 6"	0 - 0 7' - 2"	ETR	ETR	STL	PNT PNT	 CTD	SG-05 ETR	B, F, G
104C 105	N G	NEW	WD	PNT	3 - 5		7' - 2''		ETR	HM	PNT	ETR TG		A, F, H
105 105A	G F	ETR	WD	PNT	2' - 6"	2' - 6"	6' - 0"	1 3/4" ETR	ETR	НМ	PNT		SG-04 SG-05	C, G B, F, G
105A	F	ETR	WD	PNT	2 - 0	2 - 0	6' - 0"	ETR	ETR	HM	PNT		SG-05	B, F, G B, F, G
105B	N	ETR	STL	PNT	2 - 0 3' - 5"	2-0	7' - 2"	ETR	ETR	STL	PNT	ETR	ETR	A, F, H
1050	G	NEW	WD	PNT	3' - 0"		7' - 2''	1 3/4"	ETR	HM	PNT	TG	SG-04	C, G
106A	F	ETR	WD	PNT	2' - 6"	2' - 6"	6' - 0"	ETR	ETR	HM	PNT		SG-04	B, F, G
106A	F	ETR	WD	PNT	2' - 6"	2'-6"	6' - 0"	ETR	ETR	HM	PNT		SG-05	B, F, G
106D	N	ETR	STL	PNT	3' - 5"	2 - 0	7' - 2"	ETR	ETR	STL	PNT	ETR	ETR	A, F, H
1000	G	NEW	WD	PNT	3' - 0"		7' - 0"	1 3/4"	ETR	HM	PNT	TG	SG-04	C, G
107A	F	ETR	WD	PNT	2' - 6"	2' - 6"	6' - 0"	ETR	ETR	HM	PNT		SG-05	B, F, G
1077X	F	ETR	WD	PNT	2' - 6"	2' - 6"	6' - 0"	ETR	ETR	HM	PNT		SG-05	B, F, G
107B	N	ETR	STL	PNT	3' - 5"	2 0	7' - 2"	ETR	ETR	STL	PNT	ETR	ETR	A, F, H
SECOND FLOO														
207	N	ETR	WD	PNT	3' - 0"		7' - 0"	ETR	ETR	HM	PNT	ETR	SG-04	B, F, G
207 207A	F	ETR	WD	PNT	2' - 6"	2' - 6"	6' - 0"	ETR	ETR	HM	PNT		SG-04	B, F, G
207A 207B	F	ETR	WD	PNT	2 - 6"	2'-0"	6' - 0"	ETR	ETR	HM	PNT		SG-05	B, F, G
2078	G	NEW	WD	PNT	3' - 0"		7' - 0"	1 3/4"	ETR	HM	PNT	TG	SG-04	C, G
211A	F	ETR	WD	PNT	2' - 6"	2' - 6"	6' - 0"	ETR	ETR	HM	PNT		SG-05	B, F, G
211A 211B	F	ETR	WD	PNT	2' - 6"	2' - 6"	6' - 0"	ETR	ETR	HM	PNT		SG-05	B, F, G
2113	G	NEW	WD	PNT	3' - 0"		7' - 0"	1 3/4"	ETR	HM	PNT	TG	SG-04	C, G
213A	F	ETR	WD	PNT	2' - 6"	2' - 6"	6' - 0"	ETR	ETR	HM	PNT		SG-05	B, F, G
213R	F	ETR	WD	PNT	2' - 6"	2' - 6"	6' - 0"	ETR	ETR	HM	PNT		SG-05	B, F, G
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ROOM FINISH SCHEDULE									
					WALLS				
		COLOR		-	WALL	WAIN	SCOT	CEILING	
NUMBER	NAME	SCHEME	FLOOR	BASE	FINISH	FINISH	HEIGHT	FINISH	REMARKS
IRST FLOOR									
01	KINDERGARTEN CLASSROOM	А	VCT	WD1/WD2	PNT			PNT	R53
01A	KINDERGARTEN CUBBIE ALCOVE	А	VCT	WD1	PNT			PNT	
01B	STORAGE	А	VCT	WD1	PNT			PNT	
01C	STORAGE	А	VCT	WD1	PNT			PNT	
01D	TOILET	G	PT	СТ	EPX2	СТ	7'-0"	PNT	R52
02	KINDERGARTEN CLASSROOM	А	VCT	VB	PNT/CT			PNT	R52, R53, R55
02A	STORAGE	А	VCT	VB	PNT			PNT	
04	K-2 AS	B	VCT	VB	PNT/CT			PNT	R52, R53, R55
05	2ND GRADE CLASSROOM	(Ċ)	VCT	VB	PNT/CT			PNT	R52, R53, R55
06	1ST GRADE CLASSROOM	B	VCT	VB	PNT/CT			PNT	R52, R53, R55
07	1ST GRADE CLASSROOM	В	VCT	VB	PNT/CT			PNT	R52, R53, R55
ECOND FLOOR									
207	3RD GRADE CLASSROOM	D	VCT	VB	PNT/CT			PNT	R52, R53, R55
211	3RD GRADE CLASSROOM	D	VCT	VB	PNT/CT			PNT	R52, R53, R55
213	2ND GRADE CLASSROOM	С	VCT	VB	PNT/CT			PNT	R52, R53, R55

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DOOR TYPES

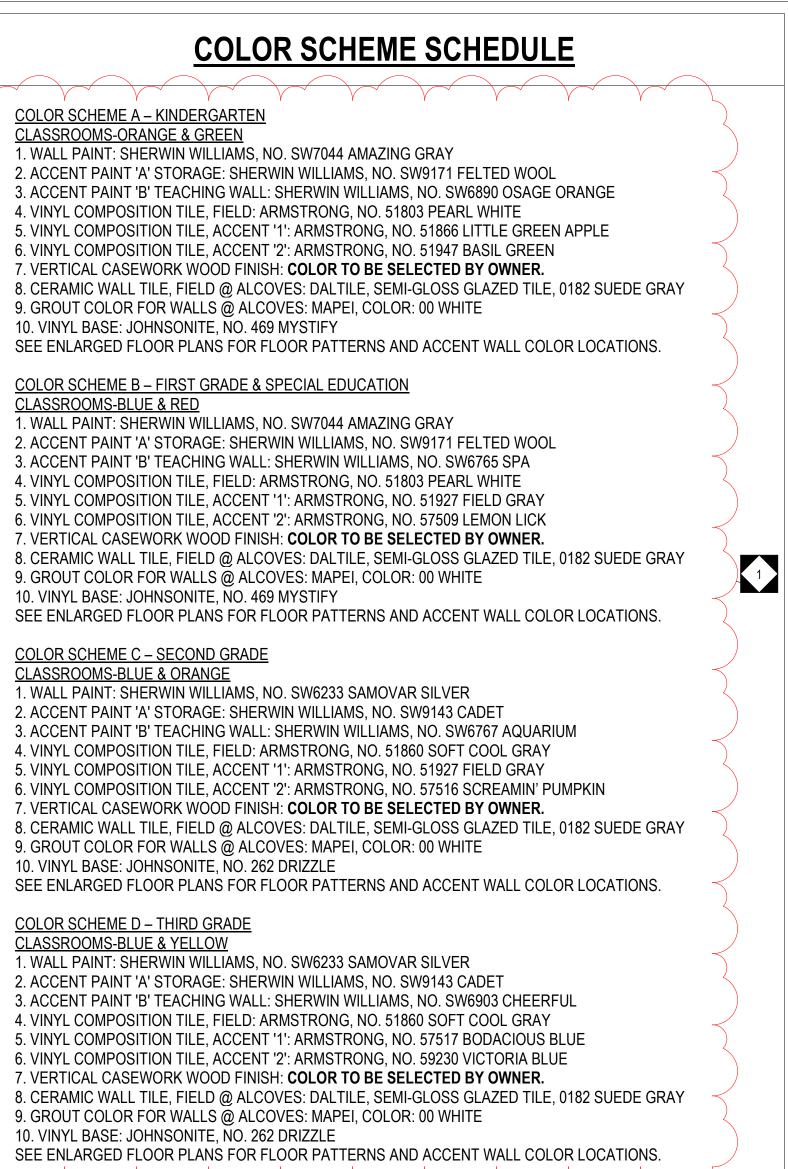
* - RECOMMENDED MOUNTING HEIGHT FROM FINISHED FLOOR TO CENTER LINE OF FIRE EXIT DEVICE ** - COORDINATE WITH DOOR MANUFACTURE REQUIREMENTS



DOOR & BUILT-IN CABINET SCHEDULE NOTES: *NOTE: NOT ALL NOTES MAY NECESSARILY APPLY							
SCHEDULE REMARKS*:	GENERAL NOTES:	ABBREVIATIONS:					
 A. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. B. PROVIDE NEW HARDWARE TO EXISTING DOOR AND FRAME. C. PROVIDE NEW DOOR AND HARDWARE TO EXISTING FRAME. D. PROVIDE NEW DOOR TO EXISTING FRAME. REINSTALL EXISTING HARDWARE INTO NEW DOOR. E. PROVIDE NEW DOOR, FRAME AND HARDWARE. F. CLEAN AND PATCH ALL SUFFACES OF EXISTING DOOR, FRAME AND/OR HARDWARE TO "LIKE NEW" CONDITION. G. REFINISH DOOR AND/OR FRAME AS SCHEDULED ON BOTH SIDES OF ASSEMBLY. H. REFINISH DOOR AND/OR FRAME AS SCHEDULED ON INTERIOR FACE (OR CLASSROOM SIDE) OF ASSEMBLY ONLY. I. REMOVE EXISTING GLAZING AND REPLACE WITH NEW MATERIAL AS SCHEDULED. WHERE TACKBOARD IS SCHEDULED, PROVIDE MDF BACKER AND TACKBOARD INFILL, TYPICAL. INLAY 1/2" QUARTERROUND WOOD TRIM, CONTINUOUS, AROUND PERIMETER OF ALL TACKBOARD INFILLS. J. REFINISH DOOR AND/OR FRAME AS SCHEDULED ON EXTERIOR FACE (OR ALCOVE SIDE) OF ASSEMBLY ONLY. K. EXISTING MOSAIC AND/OR FRAME AS SCHEDULED ON EXTERIOR FACE (OR ALCOVE SIDE) OF ASSEMBLY ONLY. K. EXISTING MOSAIC AND/OR RAT TO REMAIN. CONTRACTOR TO PROTECT DURING CONSTRUCTION. L. REFER TO 14 SERIES DRAWINGS FOR ADDITIONAL INFORMATION. M. REPLACE BROKEN TRANSOM GLAZING WITH NEW TEMPERED GLAZING AS REQUIRED. 	 REFER TO GENERAL PROJECT ALTERATION NOTES ON SHEET CS.2 FOR ADDITIONAL INFORMATION. FINAL CORING AND KEYING SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. WHERE INDICATED, PROVIDE 3/4" MDF INFILL PANEL IN EXISTING FRAME. RELOCATE AND RESECURE FRAME STOPS AS REQUIRED TO ACCOMODATE NEW MATERIAL. PAINT MDF PANEL TO MATCH FRAME COLOR AS INDICATED ON FINISH SCHEDULE. CONTRACTOR SHALL NOT REMOVE ANY COMPONENTS OF DOOR OR HARDWARE UNTIL ALL COMPONENTS OF NEW ASSEMBLY ARE PHYSICALLY ON SITE, INCLUDING CORES. WHERE FINISH IS SCHEDULED, REFER TO FINISH SCHEDULE FOR COLOR SELECTION. DOORS SHALL BE SHAVED DOWN AS REQUIRED TO ACCEPT NEW HARDWARE AND/OR ALLOW FOR USE UNOBSTRUCTED. 	ETREXISTING TO REMAINALUMALUMINUMSTLSTEELWDWOODHMHOLLOW METALIGINSULATED GLASSTGTEMPERED GLASSRGRATED GLASS PER ULMDFMEDIUM DENSITY FIBERBOARTBTACKBOARDWSWIRE SCREEN (MATCH EXIST)PNTPAINTSTNSTAINCLNCLEAN ONLY					

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7

<u>COLOR SCHEME E</u>

COLOR SCHEME F

NOT USED

NOT USED

COLOR SCHEME G BATHROOMS

- 1. WALL PAINT: SHERWIN WILLIAMS, NO. SW7029 AGREEABLE GRAY
- 2. PORCELAIN FLOOR TILE: DALTILE, EVER PORCELIAN, COLOR: EV03 ARCTIC UNPOLISHED
- 3. CERAMIC WALL TILE, FIELD: DALTILE, SEMI-GLOSS GLAZED TILE, 0182 SUEDE GRAY
- 4. CERAMIC WALL TILE, ACCENT '1': DALTILE, SEMI-GLOSS GLAZED TILE, Q151 TOTALLY TANGERINE
- 5. CERAMIC WALL TILE, ACCENT '2': DALTILE, SEMI-GLOSS GLAZED TILE, Q097 ORANGE BURST
- 6. GROUT COLOR FOR WALLS: MAPEI, COLOR: 00 WHITE 7. GROUT COLOR FOR FLOORS: MAPEI, COLOR: 27 SILVER
- SEE ENLARGED PLANS FOR ACCENT WAINSCOT COLOR LOCATIONS.

GENERAL NOTES:

THE FOLLOWING MATERIALS ARE TO BE APPLIED AT ALL LOCATIONS WHERE SPECIFIED

UNLESS OTHERWISE NOTED:

- 1. TACK BOARDS: CLARIDGE FABRICORK, KL498 WINTHROPE
- 2. ROLLER WINDOW SHADES : MERMET, GREENSCREEN REVIVE, 5% OPEN, COLOR: 0.22 STONE 3. SOLID SURFACE COUNTERTOP & SIDE/BACK SPLASH: CORIAN, COLOR: DEEP CAVIAR
- 4. CEILING PAINT: SHERWIN WILLIAMS, NO. SW7006 EXTRA WHITE
- 5. PREVIOUSLY PAINTED WOOD COMPONENTS: DOORS, TRIM, BASE, CHAIR RAIL, CROWN MOULDING,
- VISUAL DISPLAY TRIM, WINDOW SILLS.: SHERWIN WILLIAMS, NO. SW7068 GRIZZLE GRAY
- 6. PREVIOUSLY STAINED WOOD COMPONENTS: WOOD DOORS, WOOD TRIM, WOOD BASE, VISUAL DISPLAY BOARD TRIM, ETC.: COLOR TO MATCH EXISTING AND FIELD VERIFIED BY ARCHITECT/OWNER. 7. NOT USED.
 - 8. PREVIOUSLY PAINTED METAL TIERED COAT HOOKS & PREVIOUSLY PAINTED STUDENT CUBBIES SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.

NOTES:

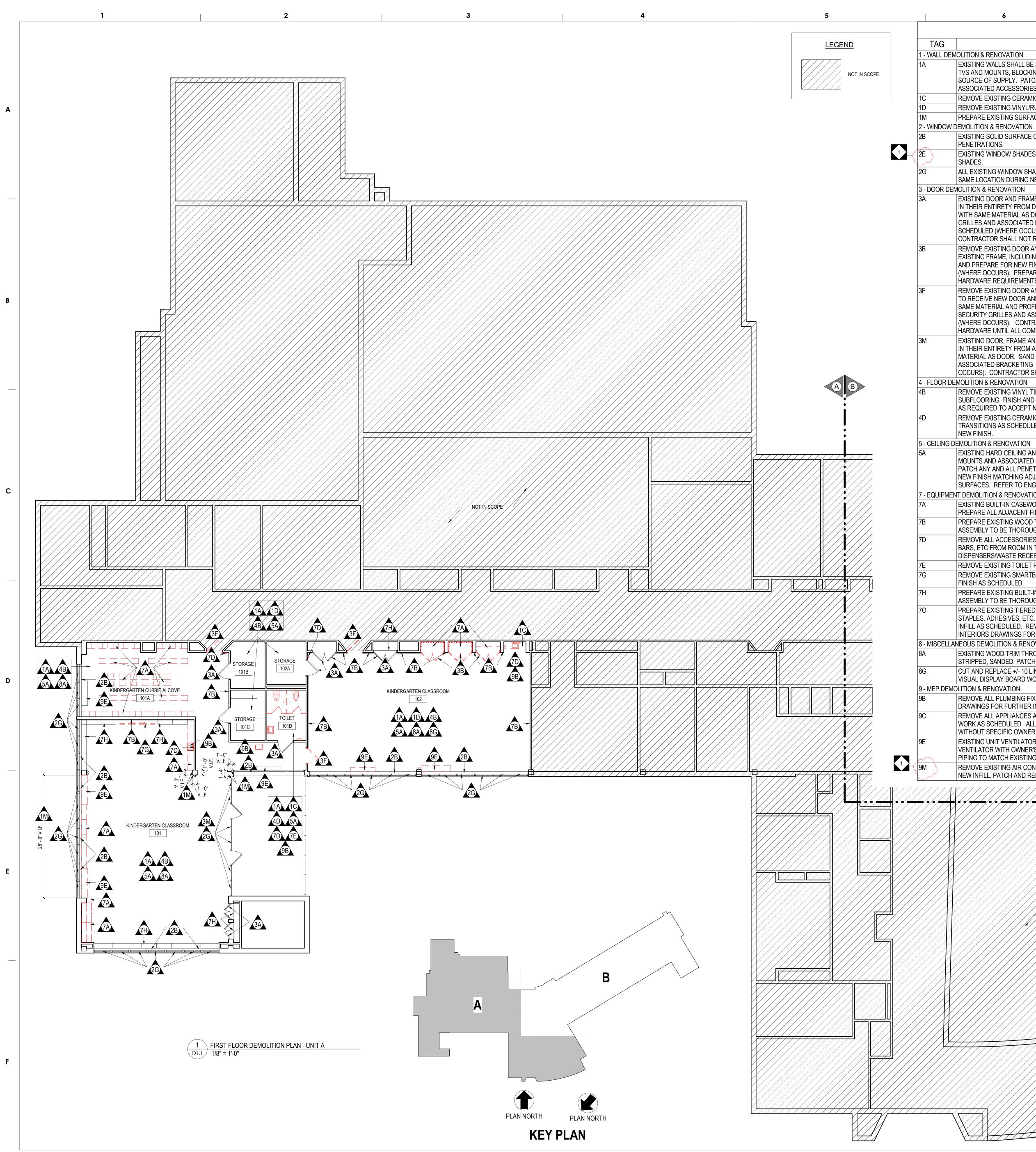
- A. IF ROOM IS NOT INDICATED TO RECEIVE A FLOOR PATTERN, FIELD COLOR VCT SHALL BE USED.
- B. VCT ORIENTATION SHALL BE MATCHED TO EXISTING ADJACENT ROOM.
 C. ARCHITECT REQUIRES AN ON-SITE MOCK-UP FOR EACH PAINT COLOR. PROVIDE A MINIMUM 8'x10' AREA, A DOOR FRAME. CONTRACTOR MUST RECEIVE ARCHITECT'S APPROVAL BEFORE ORDERING.
- D. VERTICAL AND HORIZONTAL PLANES OF SOFFIT AND BULKHEAD SHALL BE PAINTED TO MATCH THE ADJACENT WALL COLOR, UNLESS OTHERWISE NOTED.
- E. COORDINATE ROOM FINISH SCHEDULE AND COLOR SCHEME SCHEDULE WITH DEMO/ALTERATION NOTES. F. ALL EXPOSED MECHANICAL, PLUMBING, & HVAC COMPONENTS SHALL BE PAINTED THE ADJACENT WALL COLOR. ITEMS INCLUDING BUT NOT LIMITED TO: PIPING, CONDUIT, VENTS, LOUVERS, GRILLES, RADIATORS, RADIATOR COVERS, ELECTRICAL PANELS, METAL ACCESS PANELS, METAL LOCKERS SHALL BE PAINTED
- RADIATOR COVERS, ELECTRICAL PANELS, METAL ACCESS PANELS, METAL LOCKERS SHALL BE PAINTED ADJACENT WALL COLOR.

ROOM I	FINISH SCHEDULE LEGEND
FLOOR	FINISH
PT VCT	PORCELAIN TILE VINYL COMPOSITION TILE
FLOOR	REMARKS
R1-R25: I	NOT USED
BASE	FINISH
CT VB WD1 WD2	,
BASE	REMARKS
R26-R50:	NOT USED
WALL	FINISH
CT EPX PNT	CERAMIC TILE EPOXY PAINT PAINT
WALL	REMARKS
R51: R52: R53: R54: R55: R56-R75	SEE INTERIOR ELEVATIONS FOR VARYING WALL MATERIALS.
CEILIN	IG FINISH
ACT PNT	ACOUSTICAL CEILING TILE PAINTED GYPSUM WALLBOARD/PLASTER
CEILII	NG REMARKS
R76-R100): NOT USED
GENE	RAL NOTES
2. REFI DET/ 3. GYP BE P 4. ALL I EXTE 5. ALL I INCL	ER TO SPECIFICATIONS FOR DETAILED CRIPTION OF FINISH SYSTEM/TYPES. ER TO WALL TYPES FOR MASONRY LOCATIONS AND AILS. SUM WALLBOARD BULKHEADS AND SOFFITS SHALL PAINTED. HOLLOW METAL DOOR AND FRAMES, INTERIOR AND ERIOR, SHALL BE PAINTED. INTERIOR FERROUS METAL SHALL BE PAINTED UDING LINTELS, RAILINGS, GRILLES AND LOUVERS. ES NOT INCLUDE FACTORY OR PRE-FINISHED
	17 DRAWINGS FOR MATERIAL TRANSITIONS &

8

- 6. SEE I7 DRAWINGS FOR MATERIAL TRANSITIONS & FLOOR PATTERN PLANS.
- 7. ETR = EXISTING TO REMAIN
- 8. EXIST = EXISTING

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	STATE AND LICENSE NO: RA403652	
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	CRABTREE, ROHRBAUGH & ASSOCIATES 401 E. Winding Hill Road Mechanicsburg, PA 17055	
	Phone: 717-458-0272 Email: jharder@cra-architects.com Attn: Jessie Harder	
	MEP ENGINEERS	
	SETTY One South Street, Suite 1130 Baltimore, MD 21202	
	Phone: 667-309-6036 Email: deepak.at@setty.com Attn: Deepak Ajjimane	
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DEMOLITION LEGEND	

DEMOLITION NOTE

- WALL DEMOLITION & RENOVATION

EXISTING WALLS SHALL BE SCRAPED; REMOVE ANY/ALL ABANDONED OR UNUSED CONDUIT, WIRING, FASTENERS, BRACKETS, PROJECTORS AND MOUNTS, PROJECTOR SCREENS, TVS AND MOUNTS, BLOCKING AND ASSOCIATED ACCESSORIES IN THEIR ENTIRETY. ALL ABANDONED OR UNUSED CONDUIT, WIRING AND PIPING SHALL BE REMOVED TO THE SOURCE OF SUPPLY. PATCH ANY AND ALL PENETRATIONS AND CRACKING THROUGHOUT AND PREPARE WALLS, COLUMNS, EXPOSED PIPING, REGISTERS, HEATERS, CONDUIT AND ASSOCIATED ACCESSORIES TO RECEIVE NEW FINISH MATCHING ADJACENT FINISHED SURFACE AS SCHEDULED.

REMOVE EXISTING CERAMIC TILE WALL FINISH AND WALL BASE DOWN TO EXISTING SUBSTRATE. PREPARE SURFACE TO RECEIVE NEW SCHEDULED FINISH. REMOVE EXISTING VINYL/RUBBER BASE IN ITS ENTIRETY. PATCH AND REPAIR EXISTING TO REMAIN SURFACE TO RECEIVE NEW SCHEDULED FINISH.

PREPARE EXISTING SURFACE TO RECEIVE NEW SCHEDULED FINISH.

EXISTING SOLID SURFACE OR SLATE WINDOW SILL SHALL BE CLEANED AND REMOVED OF ALL EXISTING ADHESIVES. REMOVE ALL MISC./OBSOLETE ITEMS FROM SILL, PATCH ALL PENETRATIONS. EXISTING WINDOW SHADES AND ASSOCIATED COMPONENTS SHALL BE REMOVED IN THEIR ENTIRETY. PATCH AND PREPARE ADJACENT FINISHES FOR NEW FINISHES AND/OR

SHADES. ALL EXISTING WINDOW SHADES AND ASSOCIATED COMPONENTS SHALL BE REMOVED, SALVAGED AND STORED AT A LOCATION DESIGNATED BY OWNER. TO BE RELOCATED IN SAME LOCATION DURING NEW CONSTRUCTION.

3 - DOOR DEMOLITION & RENOVATION EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN. REMOVE ANY/ALL OBSOLETE EQUIPMENT, CONDUIT AND WIRING, STAPLES AND ASSOCIATED ACCESSORIES AND FASTENERS IN THEIR ENTIRETY FROM DOOR AND FRAME ASSEMBLY. ANY/ALL PENETRATIONS IN EXISTING DOOR AND FRAME. INCLUDING OLD HARDWARE PENETRATIONS. SHALL BE PATCHEI WITH SAME MATERIAL AS DOOR. SAND AND RETURN TO "LIKE NEW" CONDITION AND PREPARE FOR NEW FINISH AS SCHEDULED. ALL MISCELLANEOUS HARDWARE AND SECURIT GRILLES AND ASSOCIATED BRACKETING SHALL BE REMOVED IN ITS ENTIRETY (WHERE OCCURS). PREPARE DOOR AND/OR FRAME ASSEMBLIES TO RECEIVE NEW INFILL AS SCHEDULED (WHERE OCCURS). PREPARE DOOR FOR NEW HARDWARE AS SCHEDULED. CONTRACTOR SHALL VERIFY IN FIELD ALL DOOR, FRAME AND HARDWARE REQUIREMENT CONTRACTOR SHALL NOT REMOVE ANY COMPONENTS OF DOOR OR HARDWARE UNTIL ALL COMPONENTS OF NEW ASSEMBLY ARE PHYSICALLY ON SITE. INCLUDING CORES. REMOVE EXISTING DOOR AND HARDWARE IN THEIR ENTIRETY. FRAME SHALL BE STRIPPED, SANDED AND PREPARED FOR NEW FINISH AS SCHEDULED. ANY/ALL PENETRATIONS EXISTING FRAME, INCLUDING OLD HARDWARE PENETRATIONS, SHALL BE PATCHED WITH SAME MATERIAL AND PROFILE AS FRAME. SAND AND RETURN TO "LIKE NEW" CONDITIO AND PREPARE FOR NEW FINISH AS SCHEDULED. ALL MISCELLANEOUS HARDWARE AND SECURITY GRILLES AND ASSOCIATED BRACKETING SHALL BE REMOVED IN ITS ENTIRET (WHERE OCCURS). PREPARE FRAME ASSEMBLIES TO RECEIVE NEW INFILL AS SCHEDULED (WHERE OCCURS). CONTRACTOR SHALL VERIFY IN FIELD ALL DOOR, FRAME AND

HARDWARE REQUIREMENTS. REMOVE EXISTING DOOR AND HARDWARE IN THEIR ENTIRETY. FRAME SHALL BE STRIPPED, SANDED AND PREPARED FOR NEW FINISH AS SCHEDULED. PREPARE EXISTING FRAME TO RECEIVE NEW DOOR AND HARDWARE AS SCHEDULED. ANY/ALL PENETRATIONS IN EXISTING FRAME, INCLUDING OLD HARDWARE PENETRATIONS, SHALL BE PATCHED WITH SAME MATERIAL AND PROFILE AS FRAME. SAND AND RETURN TO "LIKE NEW" CONDITION AND PREPARE FOR NEW FINISH AS SCHEDULED. ALL MISCELLANEOUS HARDWARE AND SECURITY GRILLES AND ASSOCIATED BRACKETING SHALL BE REMOVED IN ITS ENTIRETY (WHERE OCCURS). PREPARE FRAME ASSEMBLIES TO RECEIVE NEW INFILL AS SCHEDU (WHERE OCCURS). CONTRACTOR SHALL VERIFY IN FIELD ALL DOOR, FRAME AND HARDWARE REQUIREMENTS. CONTRACTOR SHALL NOT REMOVE ANY COMPONENTS OF DOOR ASSOCIATED BRACKETING SHALL BE REMOVED IN ITS ENTIRETY (WHERE OCCURS). PREPARE DOOR AND/OR FRAME ASSEMBLIES TO RECEIVE NEW INFILL AS SCHEDULED (WHE

HARDWARE UNTIL ALL COMPONENTS OF NEW ASSEMBLY ARE PHYSICALLY ON SITE, INCLUDING CORES. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. REMOVE ANY/ALL OBSOLETE EQUIPMENT, CONDUIT AND WIRING, STAPLES AND ASSOCIATED ACCESSORIES AND FASTENE IN THEIR ENTIRETY FROM ASSEMBLY. ANY/ALL PENETRATIONS IN EXISTING DOOR AND FRAME, INCLUDING OLD HARDWARE PENETRATIONS, SHALL BE PATCHED WITH SAME MATERIAL AS DOOR. SAND AND RETURN TO "LIKE NEW" CONDITION AND PREPARE FOR NEW FINISH AS SCHEDULED. ALL MISCELLANEOUS HARDWARE AND SECURITY GRILLES OCCURS). CONTRACTOR SHALL VERIFY IN FIELD ALL DOOR, FRAME AND HARDWARE REQUIREMENTS.

4 - FLOOR DEMOLITION & RENOVATION

REMOVE EXISTING VINYL TILE FLOORING IN ITS ENTIRETY INCLUDING TRANSITION STRIPS AND SUBFLOOR. CONTRACTOR SHALL LEVEL FLOORING AS REQUIRED TO ACCEPT NE SUBFLOORING, FINISH AND TRANSITIONS AS SCHEDULED. WHERE FLOOR DRAINS AND/OR PLUMBING CONNECTIONS OCCUR, CONTRACTOR SHALL MODIFY EXISTING CONNECTIONS AS REQUIRED TO ACCEPT NEW FINISH.

REMOVE EXISTING CERAMIC TILE FLOORING DOWN TO EXISTING SUBSTRATE. CONTRACTOR SHALL LEVEL FLOORING AS REQUIRED TO ACCEPT NEW SUBFLOORING, FINISH AND TRANSITIONS AS SCHEDULED. WHERE FLOOR DRAINS AND/OR PLUMBING CONNECTIONS OCCUR, CONTRACTOR SHALL MODIFY EXISTING CONNECTIONS AS REQUIRED TO ACCE NEW FINISH.

5 - CEILING DEMOLITION & RENOVATION

EXISTING HARD CEILING AND/OR METAL CEILINGS SHALL BE SCRAPED; REMOVE ANY/ALL ABANDONED OR UNUSED CONDUIT, WIRING, FASTENERS, BRACKETS, PROJECTORS AND MOUNTS AND ASSOCIATED ACCESSORIES IN THEIR ENTIRETY. ALL ABANDONED OR UNUSED CONDUIT. WIRING AND PIPING SHALL BE REMOVED TO THE SOURCE OF SUPPLY. PATCH ANY AND ALL PENETRATIONS AND CRACKING THROUGHOUT AND PREPARE CEILINGS, BEAMS, EXPOSED PIPING AND CONDUIT AND ASSOCIATED ACCESSORIES TO RECEI NEW FINISH MATCHING ADJACENT SURFACE AS SCHEDULED. WHERE CAPPING OF OLD OR ABANDONED SYSTEMS OCCURS, PROVIDE COVER PLATE AND PAINT TO MATCH EXIST SURFACES. REFER TO ENGINEERING DRAWINGS FOR FURTHER INFORMATION WHERE OCCURS.

- EQUIPMENT DEMOLITION & RENOVATION

EXISTING BUILT-IN CASEWORK, BUILT-IN SHELVING AND/OR COAT HOOKS AND ASSOCIATED BLOCKING AND FASTENERS SHALL BE REMOVED IN THEIR ENTIRETY. PATCH AND PREPARE ALL ADJACENT FINISHES FOR NEW WORK AND FINISH AS SCHEDULED. PREPARE EXISTING WOOD TRIM DISPLAY BOARDS FOR NEW FINISH AS SCHEDULED. DISPLAY BOARDS SHALL BE FREE OF ANY FASTENERS, STAPLES, ADHESIVES, ETC. ENTIRE

ASSEMBLY TO BE THOROUGHLY CLEANED. SANDED. PATCHED OF ANY PENETRATIONS. GAPS OR CRACKING AND PREPARED FOR NEW FINISH AND INFILL AS SCHEDULED. REMOVE ALL ACCESSORIES INCLUDING, BUT NOT LIMITED TO, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, MIRRORS, SOAP DISHES, HAND SANITIZERS, CURTAIN RODS, GRA BARS, ETC FROM ROOM IN THEIR ENTIRETY. RETURN ALL ACCESSORIES TO OWNER. WHERE RECESSED SOAP TRAYS/DISPENSERS OR RECESSED PAPER TOWEL DISPENSERS/WASTE RECEPTACLES OCCUR, REMOVE AND PATCH WALL TO RECEIVE NEW FINISH AS SCHEDULED.

REMOVE EXISTING TOILET PARTITIONS AND ASSOCIATED ACCESSORIES AND HARDWARE. PATCH AND PREPARE ADJACENT SURFACES FOR FINISH AS SCHEDULED. REMOVE EXISTING SMARTBOARD WALL OR FLOOR MOUNTED BRACKETS IN THEIR ENTIRETY, WHERE OCCURS. PATCH AND PREPARE ALL ADJACENT FINISHES FOR NEW WORK A FINISH AS SCHEDULED.

PREPARE EXISTING BUILT-IN CASEWORK AND BUILT-IN SHELVING UNITS FOR NEW FINISH AS SCHEDULED. SHALL BE FREE OF ANY FASTENERS, STAPLES, ADHESIVES, ETC. ENTIF ASSEMBLY TO BE THOROUGHLY CLEANED. SANDED. PATCHED OF ANY PENETRATIONS OR CRACKING AND PREPARED FOR NEW FINISH AND INFILL AS SCHEDULED. PREPARE EXISTING TIERED COAT HOOK AND SHELF SYSTEM FOR NEW FINISH AS SCHEDULED. ENTIRE SYSTEM AND ADJACENT SURFACES SHALL BE FREE OF ANY FASTENERS, STAPLES. ADHESIVES. ETC. ENTIRE ASSEMBLY TO BE THOROUGHLY CLEANED. SANDED. PATCHED OF ANY PENETRATIONS OR CRACKING AND PREPARED FOR NEW FINISH AND INFILL AS SCHEDULED. REMOVE ALL HOOKS AND RETURN TO OWNER. 30 NEW STAINLESS STEEL COAT HOOKS SHALL BE INSTALLED EVENLY ON EXISTING TIERS. REFER TO INTERIORS DRAWINGS FOR ADDITIONAL INFORMATION.

3 - MISCELLANEOUS DEMOLITION & RENOVATION

EXISTING WOOD TRIM THROUGHOUT ENTIRE ROOM INCLUDING, BUT NOT LIMITED TO BASE, DOOR, CROWN MOLDING, WINDOW TRIM AND INTERMITTENT WOOD MULLIONS, SHAL STRIPPED, SANDED, PATCHED OF ANY PENETRATIONS AND PREPARED TO RECEIVE NEW FINISH AS SCHEDULED.

CUT AND REPLACE +/- 10 LINEAR FEET OF DAMAGED, BROKEN OR MISSING WOOD TRIM THROUGHOUT ENTIRE ROOM INCLUDING, BUT NOT LIMITIED TO DOOR, CASED OPENINGS VISUAL DISPLAY BOARD WOOD TRIM. PROFILE OF NEW TRIM TO MATCH EXISTING ADJACENT WOOD TRIM. PREPARE NEW TRIM TO RECEIVE NEW FINISH AS SCHEDULED. 9 - MEP DEMOLITION & RENOVATION

REMOVE ALL PLUMBING FIXTURES AND PATCH ANY/ALL PENETRATIONS AND PREPARE SURFACE TO RECEIVE NEW FINISH AND/OR WORK AS SCHEDULED. REFER TO ENGINEERIN DRAWINGS FOR FURTHER INFORMATION WHERE OCCURS.

REMOVE ALL APPLIANCES AND THEIR ASSOCIATED COMPONENTS, INCLUDING FUME HOODS, OVENS, AND REFRIGERATORS, SHALL BE RETURNED TO OWNER. PREPARE FOR NE WORK AS SCHEDULED. ALL APPLIANCES SHALL BE GC PROVIDED AND INSTALLED UNLESS STATED OTHERWISE. AT NO POINT SHOULD ANY COMPONENT BE REMOVED FROM SIT WITHOUT SPECIFIC OWNER APPROVAL.

EXISTING UNIT VENTILATOR AND/OR RADIATOR AND ASSOCIATED PIPING AND ACCESSORIES SHALL BE REMOVED BY OTHERS. COORDINATE FINAL LOCATION OF NEW UNIT VENTILATOR WITH OWNER'S REPRESENTATIVE PRIOR TO FINALIZING FINISHES, INCLUDING INSTALLATION OF NEW FLOORING AS SCHEDULED. PAINT ANY/ALL NEW EXPOSED PIPING TO MATCH EXISTING ADJACENT WALL SURFACES.

REMOVE EXISTING AIR CONDITIONING UNIT. ASSOCIATED PANEL. INTERIOR AND/OR EXTERIOR MOUNTING BRACKET AND RETURN TO OWNER. PREPARE WINDOW UNIT TO RECE

	NG DRAWINGS FOR FURTHER INFORMATION	WHERE OCCURS.
<u>-</u>		NOTE: REFER TO "GENERAL PROJECT ALTERATION NOTES" ON CS.2 FOR ADDITIONAL INFORMATIO REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.

PENETRATIONS, SHALL BE PATCHED NEOUS HARDWARE AND SECURITY	
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ALL BE REMOVED IN ITS ENTIRETY FIELD ALL DOOR, FRAME AND	ARCHITECT
DULED. PREPARE EXISTING FRAME TONS, SHALL BE PATCHED WITH	CRABTREE, ROHRBAUGH & ASSOCIATES 401 E. Winding Hill Road Mechanicsburg, PA 17055
ISCELLANEOUS HARDWARE AND RECEIVE NEW INFILL AS SCHEDULED	Phone: 717-458-0272 Email: jharder@cra-architects.com
OVE ANY COMPONENTS OF DOOR OR	Attn: Jessie Harder
TED ACCESSORIES AND FASTENERS	<u>mep engineers</u> Setty
DWARE AND SECURITY GRILLES AND NEW INFILL AS SCHEDULED (WHERE	One South Street, Suite 1130 Baltimore, MD 21202 Phone: 667-309-6036
NG AS REQUIRED TO ACCEPT NEW	Email: deepak.at@setty.com Attn: Deepak Ajjimane
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	PHILADELPHIA, PA 19131-1300 PROJECT TITLE
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	MODERNIZATION
	DRAWING TITLE
	FIRST FLOOR DEMOLITION PLAN - UNIT A
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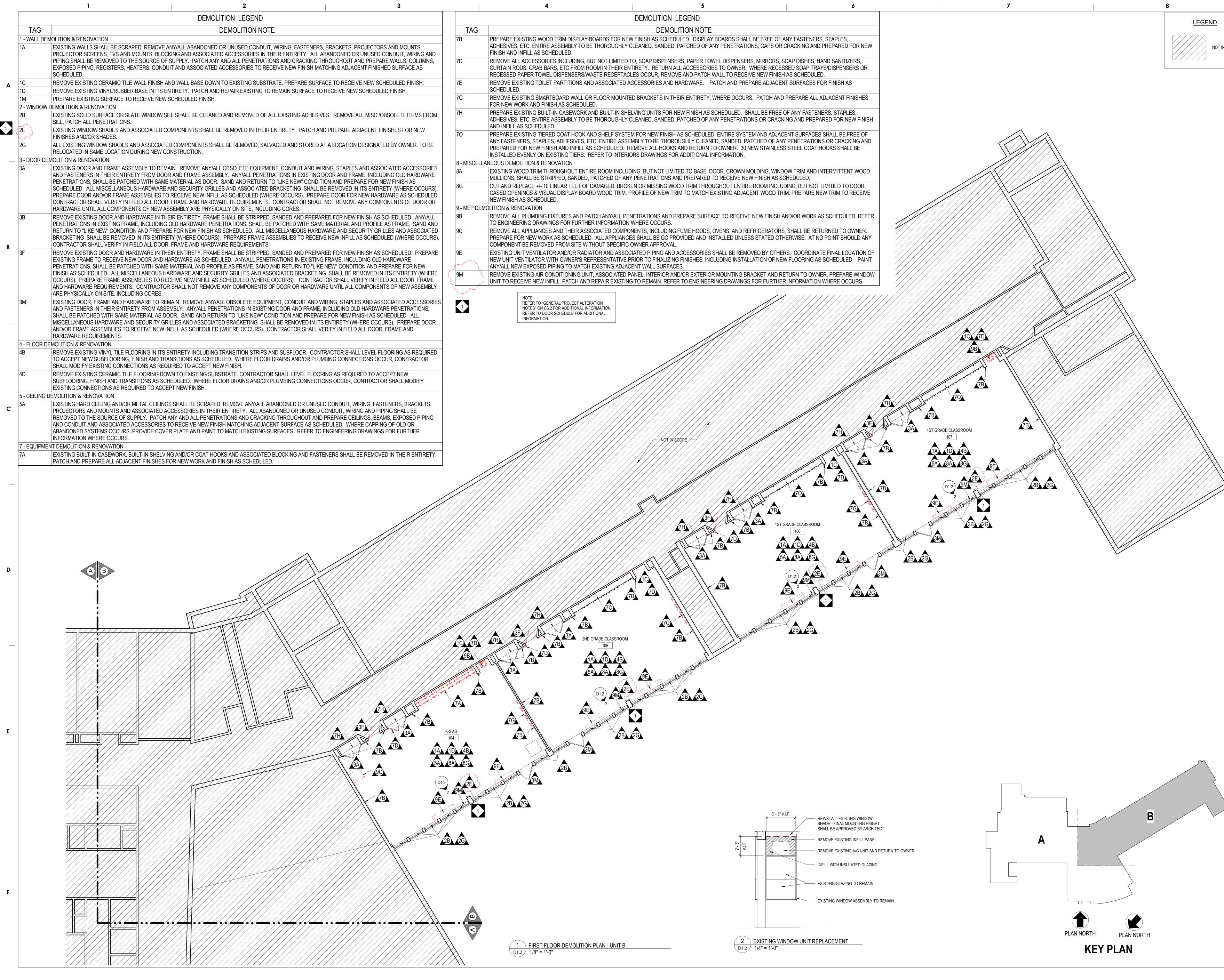
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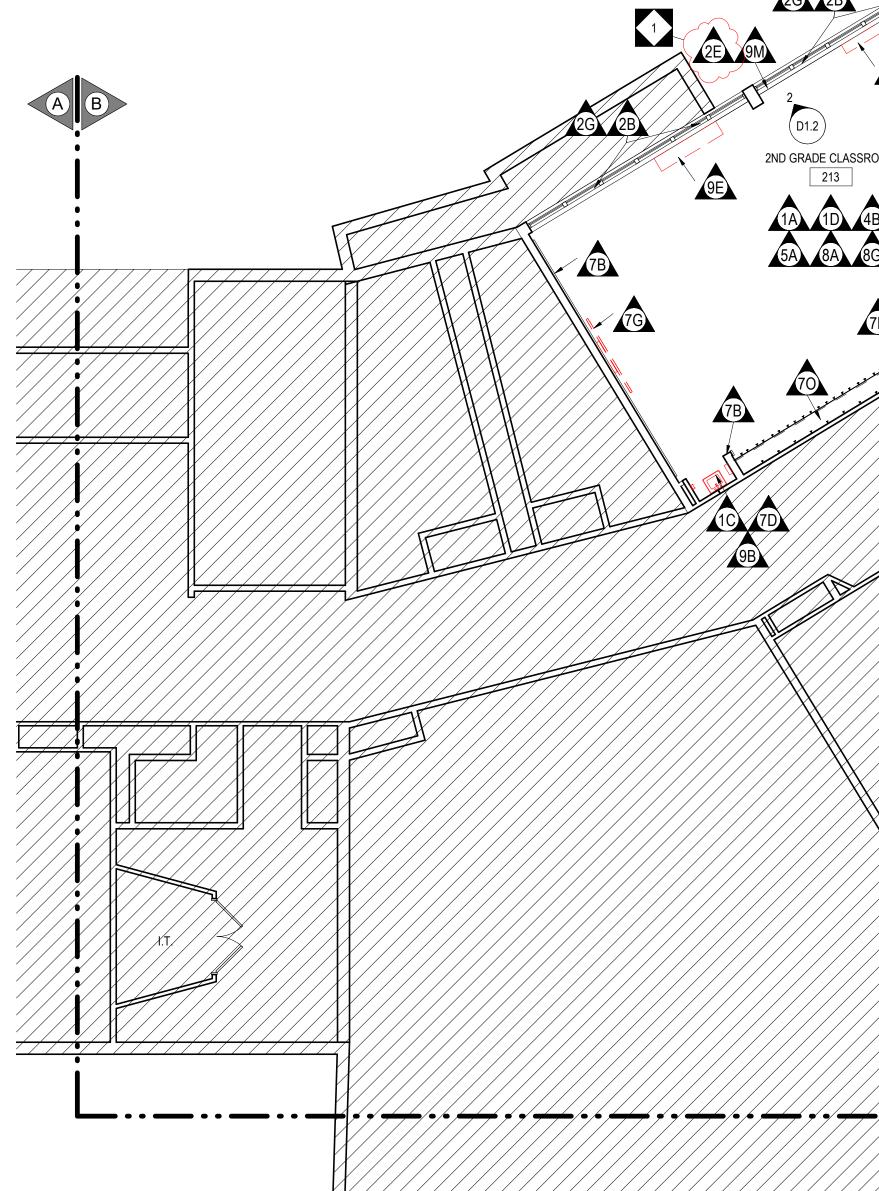
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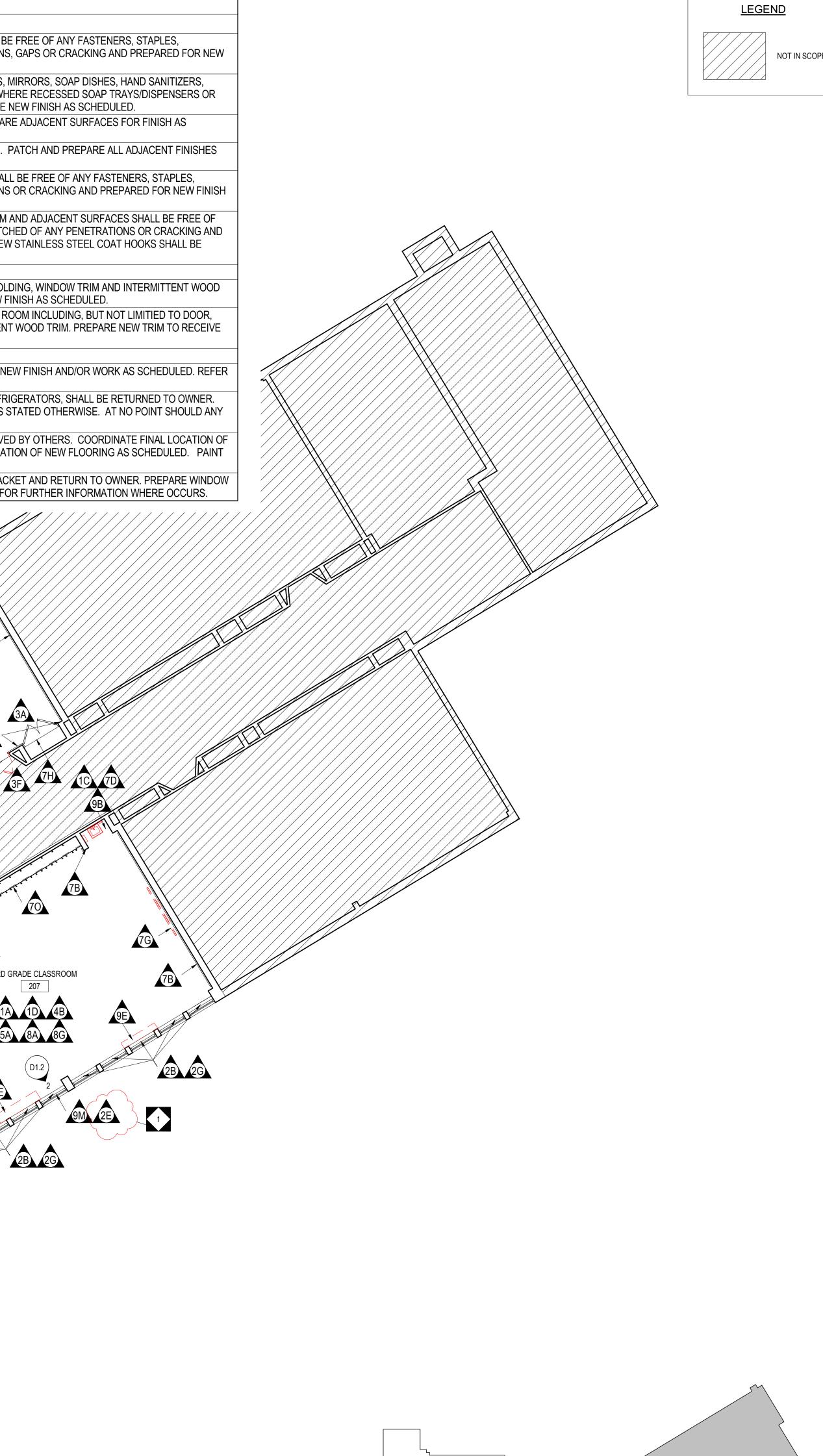
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		DEMOLITION LEGEND
	TAG	DEMOLITION NOTE
	1 - WALL DEI	MOLITION & RENOVATION
	1A	EXISTING WALLS SHALL BE SCRAPED; REMOVE ANY/ALL ABANDONED OR UNUSED CONDUIT, WIRING, FASTENERS, BRACKET PROJECTOR SCREENS, TVS AND MOUNTS, BLOCKING AND ASSOCIATED ACCESSORIES IN THEIR ENTIRETY. ALL ABANDONE PIPING SHALL BE REMOVED TO THE SOURCE OF SUPPLY. PATCH ANY AND ALL PENETRATIONS AND CRACKING THROUGHO EXPOSED PIPING, REGISTERS, HEATERS, CONDUIT AND ASSOCIATED ACCESSORIES TO RECEIVE NEW FINISH MATCHING AE SCHEDULED.
	1C	REMOVE EXISTING CERAMIC TILE WALL FINISH AND WALL BASE DOWN TO EXISTING SUBSTRATE. PREPARE SURFACE TO RE
	1D	REMOVE EXISTING VINYL/RUBBER BASE IN ITS ENTIRETY. PATCH AND REPAIR EXISTING TO REMAIN SURFACE TO RECEIVE
	1M	PREPARE EXISTING SURFACE TO RECEIVE NEW SCHEDULED FINISH.
		DEMOLITION & RENOVATION
	2B	EXISTING SOLID SURFACE OR SLATE WINDOW SILL SHALL BE CLEANED AND REMOVED OF ALL EXISTING ADHESIVES. REMO SILL, PATCH ALL PENETRATIONS.
1	2E	EXISTING WINDOW SHADES AND ASSOCIATED COMPONENTS SHALL BE REMOVED IN THEIR ENTIRETY. PATCH AND PREPAR FINISHES AND/OR SHADES.
	2G	ALL EXISTING WINDOW SHADES AND ASSOCIATED COMPONENTS SHALL BE REMOVED, SALVAGED AND STORED AT A LOCAT RELOCATED IN SAME LOCATION DURING NEW CONSTRUCTION.
	3A	EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN. REMOVE ANY/ALL OBSOLETE EQUIPMENT, CONDUIT AND WIRING, STAF AND FASTENERS IN THEIR ENTIRETY FROM DOOR AND FRAME ASSEMBLY. ANY/ALL PENETRATIONS IN EXISTING DOOR AND PENETRATIONS, SHALL BE PATCHED WITH SAME MATERIAL AS DOOR. SAND AND RETURN TO "LIKE NEW" CONDITION AND P SCHEDULED. ALL MISCELLANEOUS HARDWARE AND SECURITY GRILLES AND ASSOCIATED BRACKETING SHALL BE REMOVE PREPARE DOOR AND/OR FRAME ASSEMBLIES TO RECEIVE NEW INFILL AS SCHEDULED (WHERE OCCURS). PREPARE DOOR CONTRACTOR SHALL VERIFY IN FIELD ALL DOOR, FRAME AND HARDWARE REQUIREMENTS. CONTRACTOR SHALL NOT REM HARDWARE UNTIL ALL COMPONENTS OF NEW ASSEMBLY ARE PHYSICALLY ON SITE, INCLUDING CORES.
	3B	REMOVE EXISTING DOOR AND HARDWARE IN THEIR ENTIRETY. FRAME SHALL BE STRIPPED, SANDED AND PREPARED FOR N PENETRATIONS IN EXISTING FRAME, INCLUDING OLD HARDWARE PENETRATIONS, SHALL BE PATCHED WITH SAME MATERIA RETURN TO "LIKE NEW" CONDITION AND PREPARE FOR NEW FINISH AS SCHEDULED. ALL MISCELLANEOUS HARDWARE AND
		BRACKETING SHALL BE REMOVED IN ITS ENTIRETY (WHERE OCCURS). PREPARE FRAME ASSEMBLIES TO RECEIVE NEW INF CONTRACTOR SHALL VERIFY IN FIELD ALL DOOR, FRAME AND HARDWARE REQUIREMENTS.
	3F	REMOVE EXISTING DOOR AND HARDWARE IN THEIR ENTIRETY. FRAME SHALL BE STRIPPED, SANDED AND PREPARED FOR N EXISTING FRAME TO RECEIVE NEW DOOR AND HARDWARE AS SCHEDULED. ANY/ALL PENETRATIONS IN EXISTING FRAME, IN PENETRATIONS, SHALL BE PATCHED WITH SAME MATERIAL AND PROFILE AS FRAME. SAND AND RETURN TO "LIKE NEW" CON FINISH AS SCHEDULED. ALL MISCELLANEOUS HARDWARE AND SECURITY GRILLES AND ASSOCIATED BRACKETING SHALL B OCCURS). PREPARE FRAME ASSEMBLIES TO RECEIVE NEW INFILL AS SCHEDULED (WHERE OCCURS). CONTRACTOR SHALL AND HARDWARE REQUIREMENTS. CONTRACTOR SHALL NOT REMOVE ANY COMPONENTS OF DOOR OR HARDWARE UNTIL A ARE PHYSICALLY ON SITE, INCLUDING CORES.
	3M	EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. REMOVE ANY/ALL OBSOLETE EQUIPMENT, CONDUIT AND WIRING, ST/ AND FASTENERS IN THEIR ENTIRETY FROM ASSEMBLY. ANY/ALL PENETRATIONS IN EXISTING DOOR AND FRAME, INCLUDING SHALL BE PATCHED WITH SAME MATERIAL AS DOOR. SAND AND RETURN TO "LIKE NEW" CONDITION AND PREPARE FOR NE' MISCELLANEOUS HARDWARE AND SECURITY GRILLES AND ASSOCIATED BRACKETING SHALL BE REMOVED IN ITS ENTIRET' AND/OR FRAME ASSEMBLIES TO RECEIVE NEW INFILL AS SCHEDULED (WHERE OCCURS). CONTRACTOR SHALL VERIFY IN F HARDWARE REQUIREMENTS.
		EMOLITION & RENOVATION
	4B	REMOVE EXISTING VINYL TILE FLOORING IN ITS ENTIRETY INCLUDING TRANSITION STRIPS AND SUBFLOOR. CONTRACTOR S TO ACCEPT NEW SUBFLOORING, FINISH AND TRANSITIONS AS SCHEDULED. WHERE FLOOR DRAINS AND/OR PLUMBING CON SHALL MODIFY EXISTING CONNECTIONS AS REQUIRED TO ACCEPT NEW FINISH.
	4D	REMOVE EXISTING CERAMIC TILE FLOORING DOWN TO EXISTING SUBSTRATE. CONTRACTOR SHALL LEVEL FLOORING AS RE SUBFLOORING, FINISH AND TRANSITIONS AS SCHEDULED. WHERE FLOOR DRAINS AND/OR PLUMBING CONNECTIONS OCCU EXISTING CONNECTIONS AS REQUIRED TO ACCEPT NEW FINISH.
	5 - CEILING [DEMOLITION & RENOVATION
	5A	EXISTING HARD CEILING AND/OR METAL CEILINGS SHALL BE SCRAPED; REMOVE ANY/ALL ABANDONED OR UNUSED CONDUI PROJECTORS AND MOUNTS AND ASSOCIATED ACCESSORIES IN THEIR ENTIRETY. ALL ABANDONED OR UNUSED CONDUIT, V REMOVED TO THE SOURCE OF SUPPLY. PATCH ANY AND ALL PENETRATIONS AND CRACKING THROUGHOUT AND PREPARE AND CONDUIT AND ASSOCIATED ACCESSORIES TO RECEIVE NEW FINISH MATCHING ADJACENT SURFACE AS SCHEDULED. V ABANDONED SYSTEMS OCCURS, PROVIDE COVER PLATE AND PAINT TO MATCH EXISTING SURFACES. REFER TO ENGINEER INFORMATION WHERE OCCURS.
	7 - EQUIPME	NT DEMOLITION & RENOVATION
	7A	EXISTING BUILT-IN CASEWORK, BUILT-IN SHELVING AND/OR COAT HOOKS AND ASSOCIATED BLOCKING AND FASTENERS SH. PATCH AND PREPARE ALL ADJACENT FINISHES FOR NEW WORK AND FINISH AS SCHEDULED.

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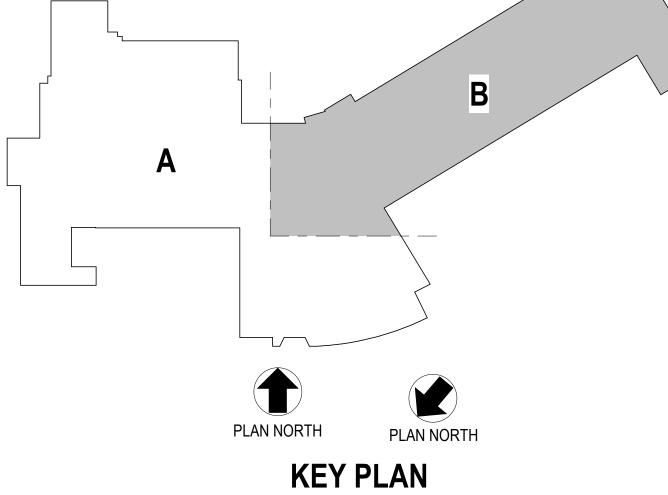


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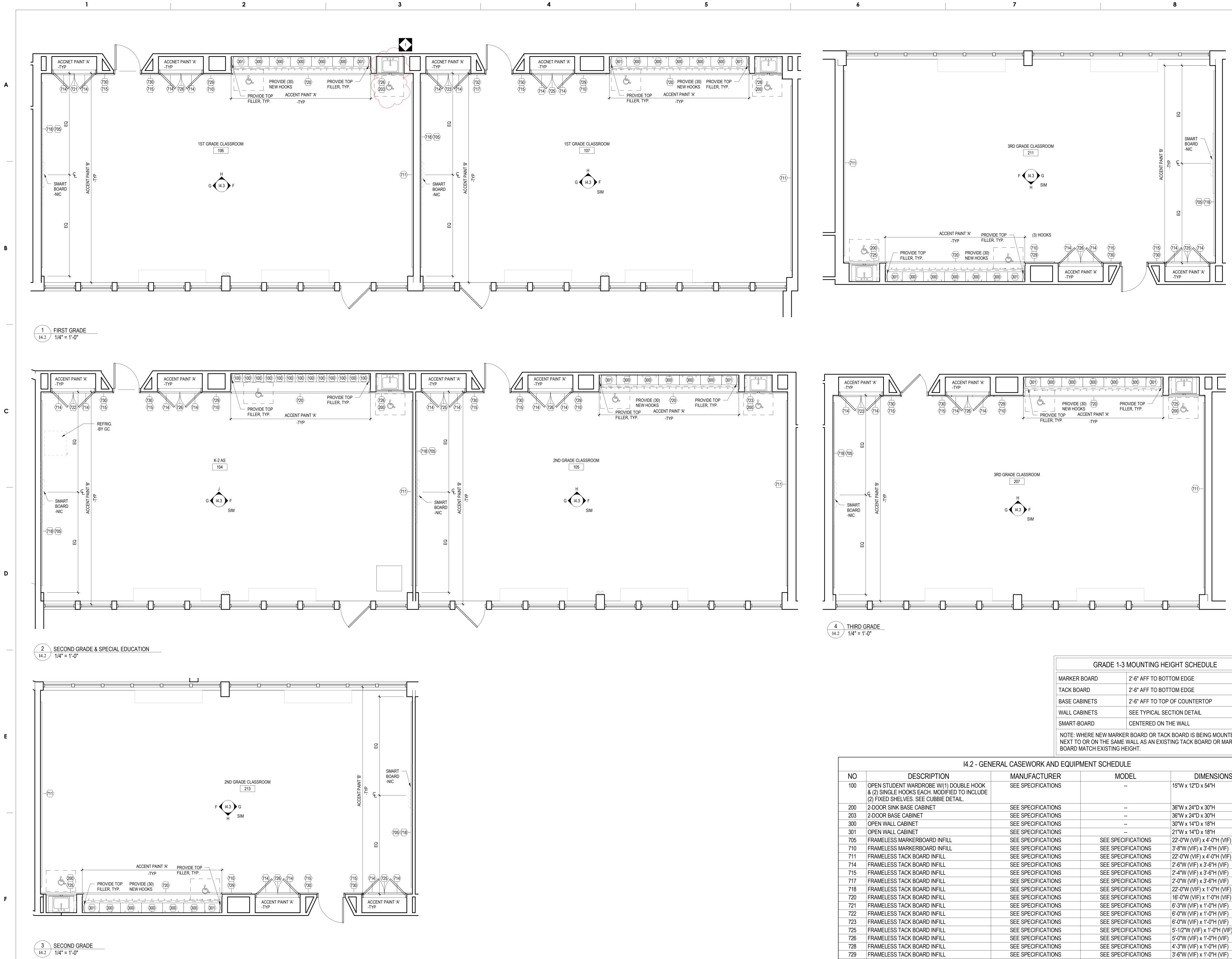
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	TAG DEMOLITION NOTE 7B PREPARE EXISTING WOOD TRIM DISPLAY BOARDS FOR NEW FINISH AS SCHEDULED. DISPLAY BOARDS SHALL BE FREE OF ANY FASTENERS, STAPLES, ADHESIVES, ETC. ENTIRE ASSEMBLY TO BE THOROUGHLY CLEANED, SANDED, PATCHED OF ANY PENETRATIONS, GAPS OR CRACKING AND PREPARED FOR NEW	
ETS, PROJECTORS AND MOUNTS, IED OR UNUSED CONDUIT, WIRING AND OUT AND PREPARE WALLS, COLUMNS, ADJACENT FINISHED SURFACE AS	7D REMOVE ALL ACCESSORIES INCLUDING, BUT NOT LIMITED TO, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, MIRRORS, SOAP DISHES, HAND SANITIZERS, CURTAIN RODS, GRAB BARS, ETC FROM ROOM IN THEIR ENTIRETY. RETURN ALL ACCESSORIES TO OWNER. WHERE RECESSED SOAP TRAYS/DISPENSERS OR RECESSED PAPER TOWEL DISPENSERS/WASTE RECEPTACLES OCCUR, REMOVE AND PATCH WALL TO RECEIVE NEW FINISH AS SCHEDULED.	
RECEIVE NEW SCHEDULED FINISH. E NEW SCHEDULED FINISH.	7E REMOVE EXISTING TOILET PARTITIONS AND ASSOCIATED ACCESSORIES AND HARDWARE. PATCH AND PREPARE ADJACENT SURFACES FOR FINISH AS SCHEDULED. 7G REMOVE EXISTING SMARTBOARD WALL OR FLOOR MOUNTED BRACKETS IN THEIR ENTIRETY, WHERE OCCURS. PATCH AND PREPARE ALL ADJACENT FINISHES	
10VE ALL MISC./OBSOLETE ITEMS FROM	 7G REMOVE EXISTING SMARTBOARD WALL OR FLOOR MOUNTED BRACKETS IN THEIR ENTIRETY, WHERE OCCURS. PATCH AND PREPARE ALL ADJACENT FINISHES FOR NEW WORK AND FINISH AS SCHEDULED. 7H PREPARE EXISTING BUILT-IN CASEWORK AND BUILT-IN SHELVING UNITS FOR NEW FINISH AS SCHEDULED. SHALL BE FREE OF ANY FASTENERS, STAPLES, ADHESIVES, ETC. ENTIRE ASSEMBLY TO BE THOROUGHLY CLEANED, SANDED, PATCHED OF ANY PENETRATIONS OR CRACKING AND PREPARED FOR NEW FINISH AS NOT INFILL AS SCHEDULED. 	
ARE ADJACENT FINISHES FOR NEW	70 PREPARE EXISTING TIERED COAT HOOK AND SHELF SYSTEM FOR NEW FINISH AS SCHEDULED. ENTIRE SYSTEM AND ADJACENT SURFACES SHALL BE FREE OF ANY FASTENERS, STAPLES, ADHESIVES, ETC. ENTIRE ASSEMBLY TO BE THOROUGHLY CLEANED, SANDED, PATCHED OF ANY PENETRATIONS OR CRACKING AND PREPARED FOR NEW FINISH AND INFILL AS SCHEDULED. REMOVE ALL HOOKS AND RETURN TO OWNER. 30 NEW STAINLESS STEEL COAT HOOKS SHALL BE INSTALLED EVENLY ON EXISTING TIERS. REFER TO INTERIORS DRAWINGS FOR ADDITIONAL INFORMATION.	
APLES AND ASSOCIATED ACCESSORIES ID FRAME, INCLUDING OLD HARDWARE PREPARE FOR NEW FINISH AS VED IN ITS ENTIRETY (WHERE OCCURS). R FOR NEW HARDWARE AS SCHEDULED. MOVE ANY COMPONENTS OF DOOR OR	8 - MISCELLANEOUS DEMOLITION & RENOVATION 8A EXISTING WOOD TRIM THROUGHOUT ENTIRE ROOM INCLUDING, BUT NOT LIMITED TO BASE, DOOR, CROWN MOLDING, WINDOW TRIM AND INTERMITTENT WOOD MULLIONS, SHALL BE STRIPPED, SANDED, PATCHED OF ANY PENETRATIONS AND PREPARED TO RECEIVE NEW FINISH AS SCHEDULED. 8G CUT AND REPLACE +/- 10 LINEAR FEET OF DAMAGED, BROKEN OR MISSING WOOD TRIM THROUGHOUT ENTIRE ROOM INCLUDING, BUT NOT LIMITIED TO DOOR, CASED OPENINGS & VISUAL DISPLAY BOARD WOOD TRIM. PROFILE OF NEW TRIM TO MATCH EXISTING ADJACENT WOOD TRIM. PREPARE NEW TRIM TO RECEIVE NEW FINISH AS SCHEDULED.	
NEW FINISH AS SCHEDULED. ANY/ALL IAL AND PROFILE AS FRAME. SAND AND	9 - MEP DEMOLITION & RENOVATION 9B REMOVE ALL PLUMBING FIXTURES AND PATCH ANY/ALL PENETRATIONS AND PREPARE SURFACE TO RECEIVE NEW FINISH AND/OR WORK AS SCHEDULED. REFER TO ENGINEERING DRAWINGS FOR FURTHER INFORMATION WHERE OCCURS.	
ID SECURITY GRILLES AND ASSOCIATED NFILL AS SCHEDULED (WHERE OCCURS).	9C REMOVE ALL APPLIANCES AND THEIR ASSOCIATED COMPONENTS, INCLUDING FUME HOODS, OVENS, AND REFRIGERATORS, SHALL BE RETURNED TO OWNER. PREPARE FOR NEW WORK AS SCHEDULED. ALL APPLIANCES SHALL BE GC PROVIDED AND INSTALLED UNLESS STATED OTHERWISE. AT NO POINT SHOULD ANY COMPONENT BE REMOVED FROM SITE WITHOUT SPECIFIC OWNER APPROVAL.	
NEW FINISH AS SCHEDULED. PREPARE INCLUDING OLD HARDWARE ONDITION AND PREPARE FOR NEW . BE REMOVED IN ITS ENTIRETY (WHERE	9E EXISTING UNIT VENTILATOR AND/OR RADIATOR AND ASSOCIATED PIPING AND ACCESSORIES SHALL BE REMOVED BY OTHERS. COORDINATE FINAL LOCATION OF NEW UNIT VENTILATOR WITH OWNER'S REPRESENTATIVE PRIOR TO FINALIZING FINISHES, INCLUDING INSTALLATION OF NEW FLOORING AS SCHEDULED. PAINT ANY/ALL NEW EXPOSED PIPING TO MATCH EXISTING ADJACENT WALL SURFACES. 9M REMOVE EXISTING AIR CONDITIONING UNIT, ASSOCIATED PANEL, INTERIOR AND/OR EXTERIOR MOUNTING BRACKET AND RETURN TO OWNER. PREPARE WINDOW	
ALL VERIFY IN FIELD ALL DOOR, ÈRAME ALL COMPONENTS OF NEW ASSEMBLY	UNIT TO RECEIVE NEW INFILL. PATCH AND REPAIR EXISTING TO REMAIN. REFER TO ENGINEERING DRAWINGS FOR FURTHER INFORMATION WHERE OCCURS.	
TAPLES AND ASSOCIATED ACCESSORIES NG OLD HARDWARE PENETRATIONS, EW FINISH AS SCHEDULED. ALL TY (WHERE OCCURS). PREPARE DOOR FIELD ALL DOOR, FRAME AND	NOTE: REFER TO "GENERAL PROJECT ALTERATION NOTES" ON CS.2 FOR ADDITIONAL INFORMATION. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.	
R SHALL LEVEL FLOORING AS REQUIRED DNNECTIONS OCCUR, CONTRACTOR		
REQUIRED TO ACCEPT NEW CUR, CONTRACTOR SHALL MODIFY	2G 2B D1.2 3RD GRADE CLASSROOM	
JIT, WIRING, FASTENERS, BRACKETS, WIRING AND PIPING SHALL BE E CEILINGS, BEAMS, EXPOSED PIPING WHERE CAPPING OF OLD OR ERING DRAWINGS FOR FURTHER	TB TB TB TB TB TB TB TB TB TB	
HALL BE REMOVED IN THEIR ENTIRETY.		
	1 SECOND FLOOR DEMOLITION PLAN - UNIT B	



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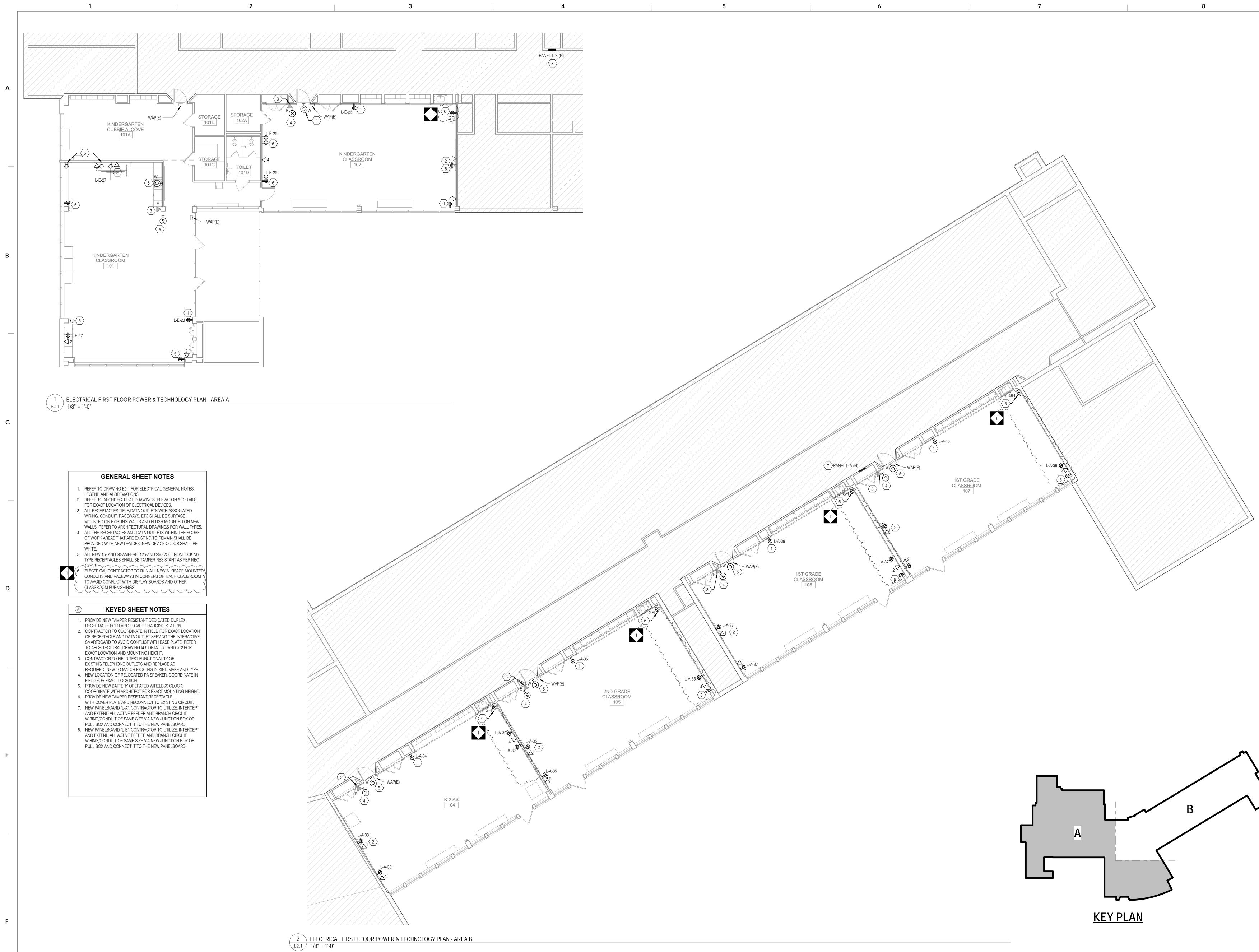
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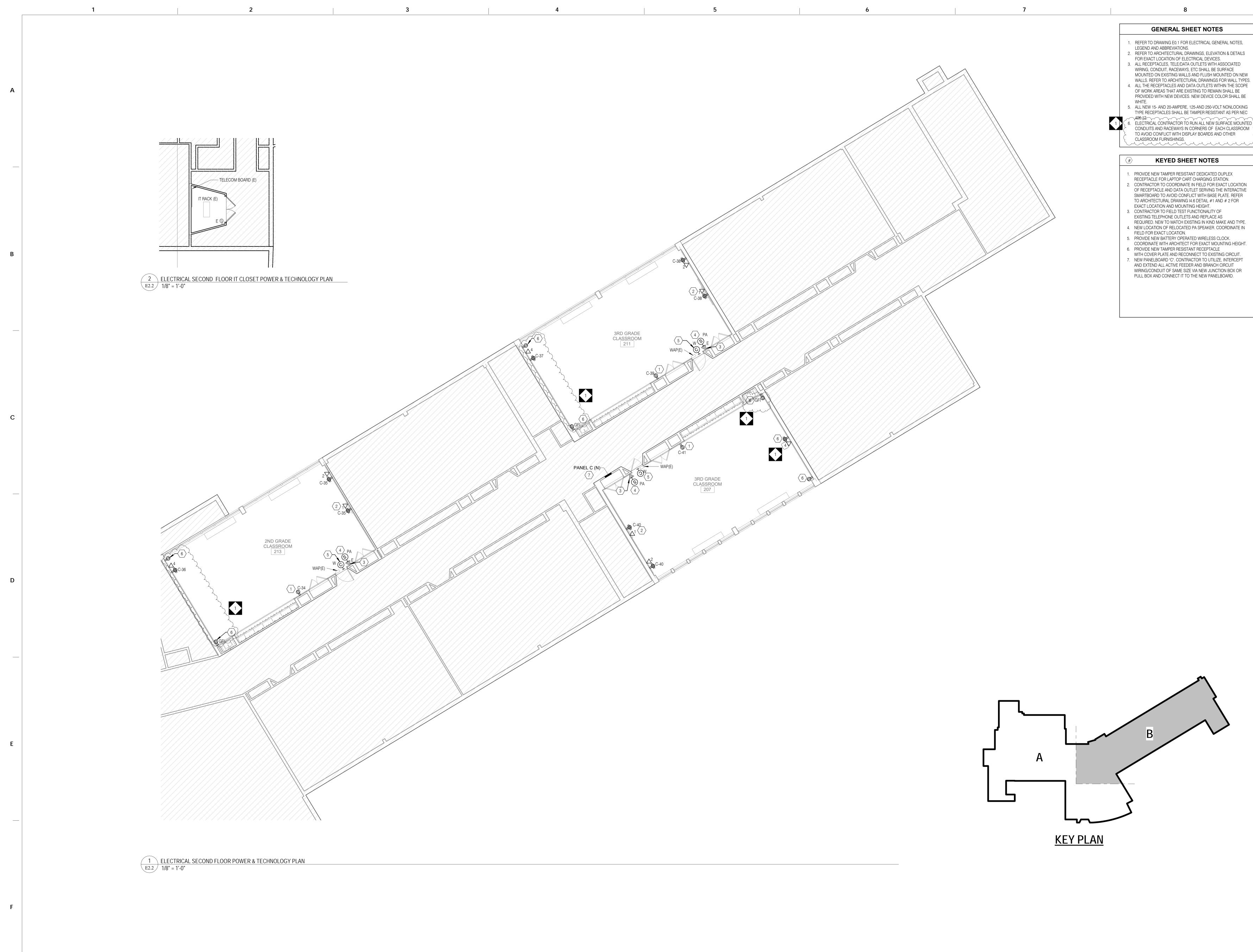
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	GRADE 1-3	MOUNTING HEIGHT SCHEDULE
	MARKER BOARD	2'-6" AFF TO BOTTOM EDGE
	TACK BOARD	2'-6" AFF TO BOTTOM EDGE
	BASE CABINETS	2'-6" AFF TO TOP OF COUNTERTOP
	WALL CABINETS	SEE TYPICAL SECTION DETAIL
	SMART-BOARD	CENTERED ON THE WALL
		R BOARD OR TACK BOARD IS BEING MOUN WALL AS AN EXISTING TACK BOARD OR MA

		RAL CASEWORK AND EQUIP		
NO	DESCRIPTION	MANUFACTURER	MODEL	DIMENSIONS
100	OPEN STUDENT WARDROBE W/(1) DOUBLE HOOK & (2) SINGLE HOOKS EACH. MODIFIED TO INCLUDE (2) FIXED SHELVES. SEE CUBBIE DETAIL.	SEE SPECIFICATIONS		15"W x 12"D x 54"H
200	2-DOOR SINK BASE CABINET	SEE SPECIFICATIONS		36"W x 24"D x 30"H
203	2-DOOR BASE CABINET	SEE SPECIFICATIONS		36"W x 24"D x 30"H
300	OPEN WALL CABINET	SEE SPECIFICATIONS		30"W x 14"D x 18"H
301	OPEN WALL CABINET	SEE SPECIFICATIONS		21"W x 14"D x 18"H
705	FRAMELESS MARKERBOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	22'-0"W (VIF) x 4'-0"H (VIF)
710	FRAMELESS MARKERBOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	3'-8"W (VIF) x 3'-6"H (VIF)
711	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	22'-0"W (VIF) x 4'-0"H (VIF)
714	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	2'-6"W (VIF) x 3'-6"H (VIF)
715	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	2'-4"W (VIF) x 3'-6"H (VIF)
717	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	2'-0"W (VIF) x 3'-6"H (VIF)
718	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	22'-0"W (VIF) x 1'-0"H (VIF)
720	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	16'-0"W (VIF) x 1'-0"H (VIF)
721	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	6'-3"W (VIF) x 1'-0"H (VIF)
722	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	6'-0"W (VIF) x 1'-0"H (VIF)
723	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	6'-0"W (VIF) x 1'-0"H (VIF)
725	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	5'-1/2"W (VIF) x 1'-0"H (VIF)
726	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	5'-0"W (VIF) x 1'-0"H (VIF)
728	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	4'-3"W (VIF) x 1'-0"H (VIF)
729	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	3'-6"W (VIF) x 1'-0"H (VIF)
730	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	2'-3"W (VIF) x 1'-0"H (VIF)
732	FRAMELESS TACK BOARD INFILL	SEE SPECIFICATIONS	SEE SPECIFICATIONS	2'-0"W (VIF) x 1'-0"H (VIF)

ELEMENTARY SCHOOL MAILING ADDRESS: 5701 WYNNEFIELD AVE, PHILADELPHIA, PA 19131 DEED ADDRESS: 2400 N 57TH ST, PHILADELPHIA, PA 19131-1300 PROJECT TITLE CLASSROOM MODERNIZATION DRAWING TITLE LARGE SCALE LAYOUTS - FIRST, SECOND, THIRD & SPECIAL EDUCATION LOCATION NO. FILE NO. DRAWIN BY CHECKED BY B-004C OF 2019 / 20 B-004C OF 2019 / 20 DRAWING NO. FILENO. DRAWING NO.		
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-	OFFICE OF CAPITAL PROGRAMS
	440 NORTH BROAD STREET PHILADELPHIA, PA 19130 - 4015
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	R. JEFFREY STRAUB
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	Baltimore, MD 21201 Phone: 667-309-6036 Email: deepak.at@setty.com
	Attn: Deepak Ajjimane
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	PHILADELPHIA, PA 19131
	PROJECT TITLE
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