

THE SCHOOL DISTRICT OF PHILADELPHIA Office of Capital Programs 440 North Broad Street, 3rd Floor – Suite 371 Philadelphia, PA 19130

TELEPHONE: (215) 400-4730

Addendum No. 01

Subject: John Marshall Elementary School Interior Door Replacement SDP Contract No. B-019C of 2020/21

Location: John Marshall Elementary School, 1500 Sellers Street, Philadelphia, PA 19124

This Addendum dated 03 of September 2021, shall modify and become part of the Contract Documents for the work of this project. Any items not mentioned herein, or affected by previous addenda, if any, shall be performed strictly in accordance with the original documents.

Drawings for another project were inadvertently issued. The correct drawings for this project are attached,

End of Addendum 01

Attachment:

Contract Drawings-6 sheets



<u>OWNER</u>

SCHOOL DISTRICT OF PHILADELPHIA Office of Capital Programs 440 North Broad Street Philadelphia, PA 19130-4015 Phone: 215-400-4740 Fax: 215-400-4731 Email: nward@philasd.org Attn: Nicole Ward, Design Manager www.philasd.org

PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2018 IBC INTERNATIONAL EXISTING BUILDING CODE, CHAPTER 11 AND APPENDIX E (ACCESSIBILITY) OF THE 2018 IBC INTERNATIONAL BUILDING CODE, AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. WHERE ANY STANDARDS SEEM IN CONFLICT WITH THESE CODES, NOTIFY THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH WORK ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE PRIOR TO PROCEEDING WITH THE WORK. ANY DISCREPANCY BETWEEN THE DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CORRECTIVE ACTION PRIOR TO PROCEEDING WITH WORK. IN THE EVENT THAT EXTRAORDINARY CONCEALED CONDITIONS REQUIRING ATTENTION ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. WORK NOT INDICATED ON A PART OF THE DRAWINGS, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT THE CORRESPONDING PLACES SHALL BE REPEATED. CONTRACTOR SHALL HAVE ALL REQUIRED SUBMITTAL APPROVALS PRIOR TO BEGINNING THE WORK OR ORDERING MATERIALS. WHERE ALTERATIONS INVOLVE THE EXISTING SUPPORTING STRUCTURE, THE CONTRACTOR SHALL PROVIDE REQUIRED ENGINEERED SHORING AND PROTECTION TO INSURE THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PROCEDURES, MEANS AND METHODS, SEQUENCING AND COORDINATION FOR ALL WORK. ALL WORK SHALL BE PERFORMED BY QUALIFIED, EXPERIENCED PERSONNEL FIELD DRAWINGS REQUIRE REVIEW AND WRITTEN APPROVAL BY THE ARCHITECT PRIOR TO EXECUTING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND RESTORATION TO PRE-CONTRACT OR LIKE-NEW CONDITION OF ANY CONDITIONS DAMAGED BY CONSTRUCTION OR DEMOLITION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF VEHICULAR AND PEDESTRIAN TRAFFIC RELATED TO THE WORK. ALL MEASURES SHALL BE IN CONFORMANCE WITH OSHA AND LOCAL AUTHORITIES HAVING JURISDICTION OVER TRAFFIC CONTROL. ENTIRE EXISTING FIRE ALARM/NOTIFICATION AND SECURITY SYSTEMS SHALL REMAIN IN FULL OPERATION DURING ALL PHASES OF CONSTRUCTION. PATCH. REPAIR AND PAINT FRAMES/WALLS/CEILING WHERE EXISTING SYSTEM HAS BEEN IMPACTED AT END OF PROJECT. UNLESS OTHERWISE NOTED, ALL ITEMS ARE EXISTING TO REMAIN AND ADJACENT TO "NEW WORK", TO BE PROTECTED DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INFORM THE OWNER OF DAMAGE TO EXISTING CONDITIONS BEFORE BEGINNING WORK, OTHERWISE THE REPAIR OF SUCH DAMAGE IS THE RESPONSIBILITY OF THE CONTRACTOR. STAIR, DOOR, AND EMERGENCY EGRESS PATHS MUST BE KEPT CLEAR DURING THE WORK. THE EXISTING CONDITIONS THAT ARE SHOWN TO BE REMOVED OR MAY BE DISTURBED MAY CONTAIN ASBESTOS. CONTRACTORS SHALL REFER TO THE OWNER'S ASBESTOS INSPECTION REPORT (AIR) FOR INDICATION OF SUCH MATERIALS. CONTRACTORS SHALL FOLLOW THE DIRECTIONS OF THE SPECIFICATIONS AND THE OWNER WHERE ASBESTOS IS IDENTIFIED. PROVIDE ADEQUATE DUST ISOLATION AND CONTROL MEASURES - REFER TO DIVISION 01 SPECIFICATION. COORDINATE DISCONNECTION OF UTILITIES AND SHUTDOWNS WITH THE OWNER. IN THE EVENT THE INSTALLING CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS, THE CONTRACTOR SHALL REPORT TO THE OWNER'S REPRESENTATIVE & TAKE THE NECESSARY STEPS FOR REMEDIATION. THE OWNER IS RESPONSIBLE FOR HIRING AN ASBESTOS ABATEMENT CONTRACTOR WHO SHALL FURNISH ALL LABOR, MATERIALS, EMPLOYEE TRAINING, SERVICES, PERMITS, FEES, INSURANCE AND EQUIPMENT NECESSARY TO CARRY OUT THE ASBESTOS REMOVAL, DECONTAMINATION OPERATIONS AND DISPOSAL IN ACCORDANCE WITH EPA, OSHA, AND ALL OTHER APPLICABLE FEDERAL STATE AND LOCAL GOVERNMENT REGULATIONS. ALL NEW PENETRATIONS IN EXISTING CONCRETE FLOOR AND ROOF SLABS ARE TO AVOID REBAR AND OTHER STRUCTURAL ELEMENTS UNLESS NOTED OTHERWISE.
- MAINTAIN TEMPORARY HEAT, COOLING AND HUMIDITY CONTROL AS REQUIRED BY CURING REQUIREMENTS OF FINISH MATERIALS. FIRESTOPPING SHALL BE PROVIDED TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL. ALL OPENINGS (EXG OR NEW) SHALL BE INFILLED TO MEET FIRE RATINGS. PROVIDE FIRESAFING, FIREBLOCKING AND PENETRATION ASSEMBLIES FROM 3M, HILTI, OR OTHER APPROVED MANUFACTURER.

SUMMARY OF WORK

THIS PROJECT CONSISTS OF REPLACEMENT/REPAIR OF INTERIOR AND EXTERIOR DOORS, FRAMES, AND HARDWARE. THERE IS NO MEP WORK INCLUDED IN THESE DOCUMENTS.

APPLICABLE BUILDING CODES:

OCCUPANCY CLASSIFICATION: GROUP E BUILDING AREAS: BASEMENT: 11,934 SQUARE FEET

THIRD FLOOR: 11,645 SQUARE FEET BUILDING HEIGHT: 3 STORIES WORK AREAS - ALTERATION LEVEL 1 (DOOR REPLACEMENT): **BASEMENT: 0 SQUARE FEET**

EXTERIOR NONBEARING WALLS: FIRE WALLS: N/A

OTHER TYPICAL CONSTRUCTION 2-HOUR RATED FIRE BARRIERS, IF APPLICABLE: HORIZONTAL EXITS 1-HOUR RATED FIRE BARRIERS, IF APPLICABLE: BOILER ROOMS

AUTOMATIC SPRINKLERS: N/A FIRE EXTINGUISHERS:

THE SCHOOL DISTRICT OF PHILADELPHIA

J. MARSHALL ELEMENTARY SCHOOL 1501 Sellers St, Philadelphia, PA 19124 Interior Door Replacement

General Construction: SDP Project No. B-019C of 2020/21

PERMIT & BID DRAWINGS: 07/23/2021

ARCHITECT

O Z Collaborative 4818 Baltimore Avenue Philadelphia. PA 19143 Phone: (215)386-8191 Email: mzimmerman@ozcollaborative.com Attn: Morris Zimmerman, AIA www.ozcollaborative.com

BUILDING CODE INFORMATION

INTERNATIONAL EXISTING BUILDING CODE / 2018 (IEBC) INTERNATIONAL BUILDING CODE / 2018, EXCLUDING CHAPTER 1 (IBC) INTERNATIONAL BUILDING CODE / 2018, APPENDIX E ICC/ANSI A117.1 2009 ACCESSIBILITY STANDARDS

EXISTING BUILDING CONSTRUCTION CLASSIFICATION: TYPE II B, UNSPRINKLERED

FIRST FLOOR: 11,934 SQUARE FEET SECOND FLOOR: 11,645 SQUARE FEET

FIRST FLOOR: 0 SQUARE FEET SECOND FLOOR: 0 SQUARE FEET

THIRD FLOOR: 0 SQUARE FEET TYPICAL BUILDING CONSTRUCTION – TYPE II B FIRE SEPARATION LESS THAN 10 FEET: 1-HOUR RATED FIRE SEPARATION AT LEAST 10 FEET: 0-HOUR RATED EXTERIOR BEARING WALLS: 0-HOUR RATED CONSTRUCTION INTERIOR BEARING WALLS: 0-HOUR RATED CONSTRUCTION

FLOOR / CEILINGS: 0-HOUR RATED CONSTRUCTION ROOF / CEILINGS: 0-HOUR RATED CONSTRUCTION ALL INTERIOR CORRIDOR WALLS & ALL FLOORS TO BE SMOKETIGHT

EXIT STAIRS CONNECTING 4 FLOORS - 90 MIN DOORS EXIT STAIRS CONNECTING 3 FLOORS OR LESS

1-HOUR RATED FIRE PARTITIONS, IF APPLICABLE: ALTERATIONS TO CORRIDORS - 20 MIN DOORS

NO WORK IN THIS PROJECT - EXISTING TO REMAIN - COMPLIES FIRE ALARM SYSTEM: MANUAL FIRE ALARM PER INTERNATIONAL FIRE CODE & NFPA-10 MAXIMUM TRAVEL DISTANCES TO EXTINGUISHERS: CLASS 'A' HAZARDS: 75 FEET



PROJECT NORTH

DRAWING INDEX

REVISION NUMBER	REVISION DATE	SHEET NUMBER	SHEET TITLE
		G001	COVER SHEET
		A100	BASEMENT PLANS, SCHEDULES, & PROJECT ABBREVIATIONS
		A101	FIRST FLOOR PLANS & SCHEDULES
		A102	SECOND FLOOR PLANS & SCHEDULES
		A103	THIRD FLOOR PLANS & SCHEDULES
		A200	DOOR TYPES & DETAILS

- DOOR MARK S100C.X SEE DOOR SCHEDULE WALL TAG $\langle 1i \rangle$ SEE PARTITION SCHEDULE
- WINDOW TAG SEE WINDOW SCHEDULE



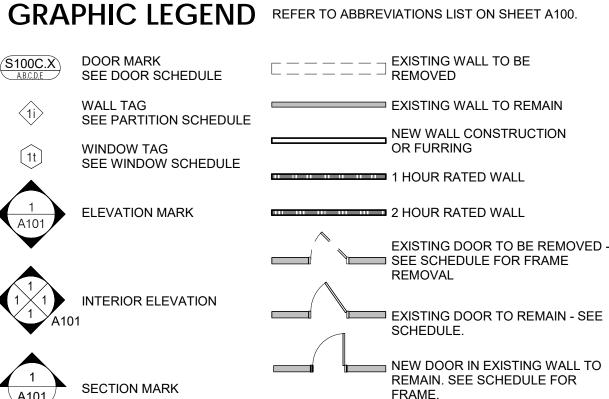


SECTION MARK

KEYNOTE TAG

∖ A101 ∕

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N.T.S

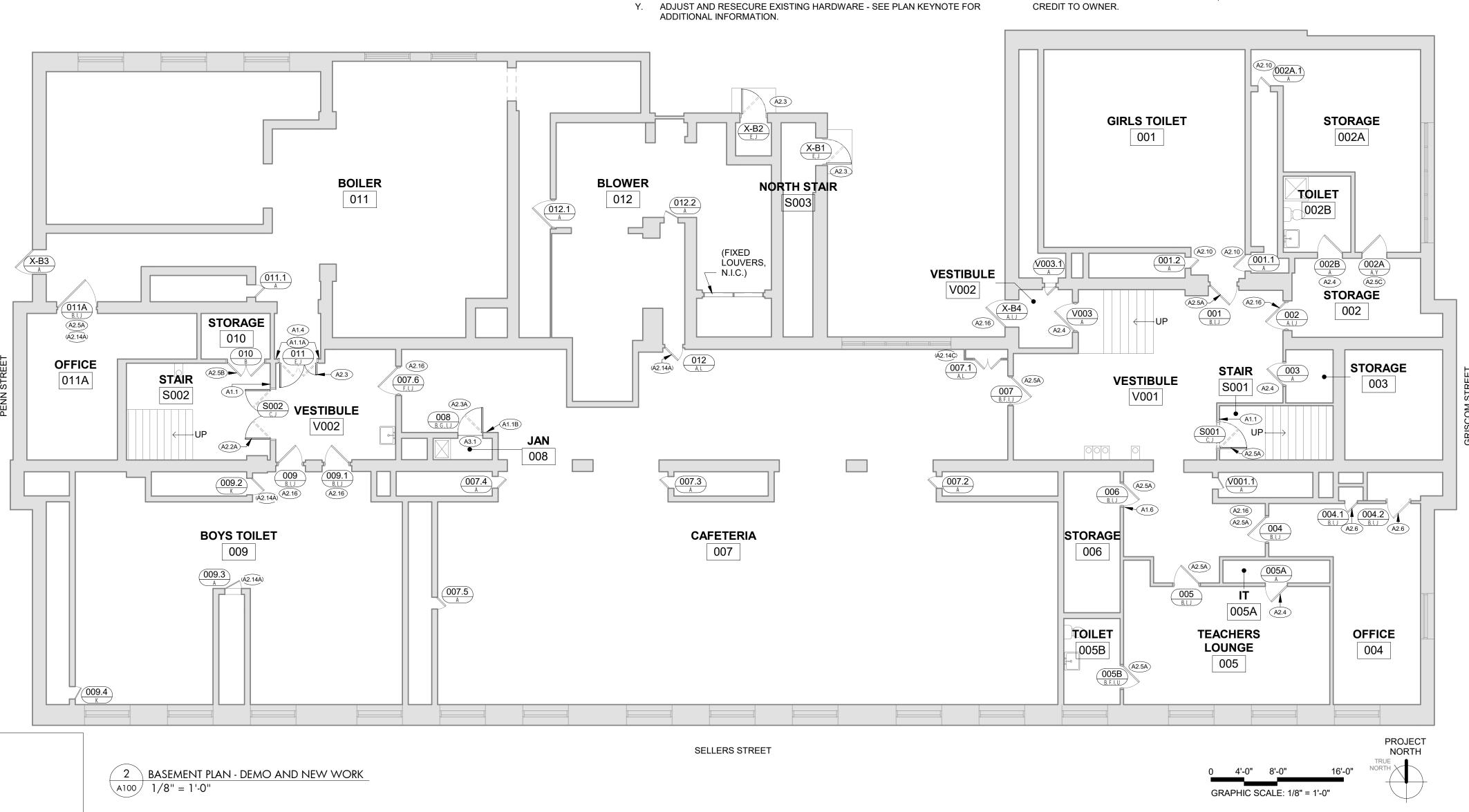
OR SCHEDULE	E - BASEMI	ENT WORK

						Door	Panel					Fra	me	
Door Number	Room #	Room Name	Door Type	Status	Material	Finish	Number of Leaves		Height (VIF)	Thickness (VIF)	Frame Type	Status	Material	Finish
001	001	GIRLS TOILET	DT-1	ETR	HM	PT-1A, PT-2	1	3'-3"	6'-11"	1 3/4"	FT-2	ETR	HM	PT-0B
002	002	STORAGE	DT-2	ETR	HM	PT-2	1	3'-3"	6'-10"	1 3/4"	FT-1	ETR	HM	PT-0B
002A	002A	STORAGE	DT-1	ETR	WD	PT-2	1	3'-0"	6'-11 1/2"	1 3/4"	FT-2	ETR	HM	
004	004	OFFICE	DT-2	ETR	HM	PT-2	1	3'-0"	7'-0"	1 3/4"	FT-2	ETR	HM	PT-0B
004.1	004	OFFICE	DT-7	ETR	WD	PT-6	1	1'-6"	6'-0 1/2"	1 3/4"	FT-5	ETR	WD	PT-6
004.2	004	OFFICE	DT-8	ETR	WD	PT-6	1	2'-8"	7'-0"	1 3/4"	FT-5	ETR	WD	PT-6
005	005	TEACHERS LOUNGE	DT-2	ETR	HM	PT-2	1	3'-0"	7'-0"	1 3/4"	FT-2	ETR	HM	PT-0B
005B	005B	TOILET	DT-2	ETR	WD	PT-2	1	2'-8"	7'-0"	1 3/4"	FT-1	ETR	HM	PT-0B
006	006	STORAGE	DT-2	ETR	WD	PT-2	1	2'-8"	7'-0"	1 3/4"	FT-1	ETR	HM	PT-0B
007	007	CAFETERIA	DT-3	ETR	HM	PT-1A, PT-2	1	3'-3"	7'-0"	1 3/4"	FT-2	ETR	HM	PT-0B
007.1	007	CAFETERIA	DT-1	ETR	WD	PT-6	2	3'-3"	7'-0"	1 3/4"	FT-5	ETR	WD	PT-1
007.6	007	CAFETERIA	DT-3	ETR	HM	PT-1A, PT-2	1	3'-2 1/2"	7'-0"	1 3/4"	FT-2	ETR	HM	PT-0B
800	800	JAN	DT-1	ETR	WD	PT-2	1	3'-0"	7'-0"	1 3/4"	FT-2A	NEW	HM	PT-0B
009	009	BOYS TOILET	DT-2	ETR	HM	PT-1A, PT-2	1	2'-10 1/2"	6'-10 1/2"	1 3/4"	FT-2	ETR	HM	PT-0B
009.1	009	BOYS TOILET	DT-2	ETR	HM	PT-1A, PT-2	1	2'-10 1/2"	6'-10 1/2"	1 3/4"	FT-2	ETR	HM	PT-0B
010	010	STORAGE	DT-1	ETR	HM	PT-2	2	4'-6"	7'-0"	1 3/4"	FT-1	ETR	HM	
011	011	BOILER	DT-3A	NEW	HM	PT-2	2	4'-6"	7'-0"	1 3/4"	FT-2	NEW	HM	PT-0B
011A	011A	OFFICE	DT-2	ETR	WD	PT-2	1	4'-8"	6'-11 1/2"	1 3/4"	FT-2	ETR	HM	PT-0B
012	012	BLOWER	DT-1	ETR	MTL	PT-2	1	2'-2"	7'-0"	1 3/4"	FT-2	ETR	HM	PT-0B
S001	S001	STAIR	DT-3	NEW	HM	PT-1A	1	3'-2 1/2"	7'-0"	1 3/4"	FT-2	ETR	HM	PT-0B, PT-5 (WALL)
S002	S002	STAIR	DT-3	NEW	HM	PT-1A	2	6'-0"	6'-8"	1 3/4"	FT-4	ETR	HM	PT-0B, PT-5 (WALL)
X-B1	S003	NORTH STAIR	DT-4	NEW	HM	PT-2	1	2'-11 3/4"	6'-7 1/4"	1 3/4"	FT-2A	NEW	HM	PT-0B
X-B2	S003	NORTH STAIR	DT-4	NEW	HM	PT-2	1	2'-11 3/4"	6'-7 1/4"	1 3/4"	FT-2A	NEW	HM	PT-0B
X-B4	V002	VESTIBULE	DT-1	ETR	HM	PT-2	1	3'-3 1/2"	6'-11"	1 3/4"	FT-2	ETR	HM	PT-0B

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ABBREV/IATIONS

			VIATIONS Abandon(ed)	НМ	Hollow Metal	
		() (D)	Demolished/ Removed	HOR	Horizontal	
		(E)	Existing	HT	Height	
		(F)	Future	HW	Hardware	
		(N) (R)	New Relocated	IGU INSUL	Insulated Glazing Unit Insulation	
		AB	Anchor Bolt	INT	Interior	
	_	ABV	Above	JT	Joint	
		ACT ADA	Acoustical Ceiling Tile Accessible	LAM LT	Laminate	
		ADA ADJ	Adjacent	MAS	Light Masonry	
		AFF	Above Finished Floor	MATL	Material	
		AHAP	As High As Possible	MAX	Maximum	
		ALUM APC	Aluminum Acoustical Panel Ceiling	MB MDF	Markerboard Medium Density Fiberboard	
		ARCH	Acoustical Panel Celling Architect(ural)	MECH	Mechanical	
		AW	Architectural Woodwork	MEP	Mechanical/Electrical/Plumbing	
		BC	Brick Color	MFR	Manufacture(r)	
		BD BD	Board Board	MIN MLWK	Minimum Millwork	
		BL	Base Line; Building Line	MO	Masonry Opening; Motor	
С		BLDG	Building		Operated	
•		BLKG	Blocking Bottom of	MR MTD	Moisture Resistant Mounted; Mean Temperature	
		BO BOC	Bottom of Bottom of Curb	NIT D	Difference	
		BOS	Bottom of Steel	MTL	Metal	
		BOT	Bottom	NIC NO or #	Not in Contract Number	
		BRK BSMT	Brick Basement	NRC	Noise Reduction Coefficient	
		BTWN	Between	NTS	Not to Scale	
		CAB	Cabinet		On Center	
		CBU	Concrete Backer Unit	OD OPNG	Outside Diameter Opening	
		CER CJ	Ceramic Control Joint	OPP	Opposite Hand	
	-	CL	Center Line	PL	Plate	
		CLG	Ceiling	PLAM PLAS	Plastic Laminate	
		CMU COL	Concrete Masonry Unit Column	PLAS PLWYD	Plaster; Plastic Plywood	
		CONC	Concrete	PR	Pair	
		CONT	Continuous	PROVIDE	Supply & Install	
		CONTR	Contract(or)	PT PTD	Pressure Treated Paint(ed)	
		CORR CPT	Corridor Carpet	R	Radius; Rise(r)	
		CS	Course	RECPT	Receptacle	
		CT	Ceramic Tlle	REINF	Reinforce; Reinforced; Reinforcing	
		CTR D	Counter	REM	Remainder	
Р		DIA	Deep Diameter	REQD	Required	
D		DIM	Dimension	RES RO	Resilient	
		DN	Down	RWC	Rough Opening Rainwater Conductor	
		DOCS DS	Documents Downspout	SAB	Sound Attenuation Blanket	
		DTL	Detail	SCHED	Schedule(d)	
		DWG	Drawing	SF	Square Feet; Supply Fan; Safety Factor	
		EA EJ	Each Expansion Joint	SFRM	Spray Applied Fireproofing	
		EL	Elevation	SHT	Sheet	
		ELEC	Electric(al)	SIM SLNT	Similar Sealant	
		ELEV	Elevator or Elevation	SPECS	Specifications	F
	_	EPB EQ	Electrical Panel Equal	ST ST	Stainless Steel	Ĺ
		ETR	Existing to Remain	STC STD	Sound Transmission Class Standard	L L L
		EWC	Electric Water Cooler	STL	Steel	
		EXG EXT	Existing Exterior	STN	Station	Ĺ
		FD	Floor Drain	STRUC	Structure(al)	
		FE	Fire Extinguisher	SUSP T	Suspend(ed) Tread	
		FEB FEC	Fire Extinguisher & Bracket	ТВ	Tackboard	
		FEC	Fire Extinguisher & Cabinet Finish(ed)	TBD	To Be Determined	
		FLASH	Flashing	TEMP TH	Temporary; Temperature Thick; Thickness	
		FLR	Floor	THRES	Threshold	
_		FO FOW	Face of Face of Wall	ТО	Top of	
Ε		FP	Fire Protection	TOC TOS	Top of Curb; Top of Concrete	
		FR	Fire Rated	TYP	Top of Steel Typical	
		FRT	Fire Retardant Treated	U/S	Underside	
		FTG FURR	Footing Furring	UL	Underwriters Laboratories	
		GA	Gauge; Gypsum Association	UNO VCT	Unless Noted Otherwise Vinyl Composition Tile	
		C (Galvanized	VERT	Vertical	
		GALV		VIF	Verify in Field	
		GALV GC	General Contractor Glass		Wide	
		GALV	General Contractor Glass Gypsum Wall Board	W		
		GALV GC GL GWB GYP BD	Glass Gypsum Wall Board Gypsum Board		Whiteboard Wood	
	_	GALV GC GL GWB GYP BD H	Glass Gypsum Wall Board Gypsum Board High	W WB WD WD BLKG	Whiteboard Wood Wood Blocking	
	_	GALV GC GL GWB GYP BD	Glass Gypsum Wall Board Gypsum Board	W WB WD WD BLKG WIN	Whiteboard Wood Wood Blocking Window	
	_	GALV GC GL GWB GYP BD H HC	Glass Gypsum Wall Board Gypsum Board High Handicap; Heavy Commercial	W WB WD WD BLKG WIN WWF	Whiteboard Wood Wood Blocking Window Welded Wire Fabric	
	_	GALV GC GL GWB GYP BD H HC HC	Glass Gypsum Wall Board Gypsum Board High Handicap; Heavy Commercial Hollow Core; Hose Cabinet	W WB WD WD BLKG WIN	Whiteboard Wood Wood Blocking Window	
	S	GALV GC GL GWB GYP BD H HC HC	Glass Gypsum Wall Board Gypsum Board High Handicap; Heavy Commercial Hollow Core; Hose Cabinet	W WB WD WD BLKG WIN WWF	Whiteboard Wood Wood Blocking Window Welded Wire Fabric	
	MPS	GALV GC GL GWB GYP BD H HC HC	Glass Gypsum Wall Board Gypsum Board High Handicap; Heavy Commercial Hollow Core; Hose Cabinet	W WB WD WD BLKG WIN WWF	Whiteboard Wood Wood Blocking Window Welded Wire Fabric	
	-AMPS	GALV GC GL GWB GYP BD H HC HC	Glass Gypsum Wall Board Gypsum Board High Handicap; Heavy Commercial Hollow Core; Hose Cabinet	W WB WD WD BLKG WIN WWF	Whiteboard Wood Wood Blocking Window Welded Wire Fabric	
	STAMPS	GALV GC GL GWB GYP BD H HC HC	Glass Gypsum Wall Board Gypsum Board High Handicap; Heavy Commercial Hollow Core; Hose Cabinet	W WB WD WD BLKG WIN WWF	Whiteboard Wood Wood Blocking Window Welded Wire Fabric	
	HIA STAMPS	GALV GC GL GWB GYP BD H HC HC	Glass Gypsum Wall Board Gypsum Board High Handicap; Heavy Commercial Hollow Core; Hose Cabinet	W WB WD WD BLKG WIN WWF	Whiteboard Wood Wood Blocking Window Welded Wire Fabric	



3		

90 MIN

90 MIN

90 MIN

Sill Detail	Jamb Detail	Fire Rating	Glazing/ Infill Type	Hardware Set	Comments	Description
		90 MIN		14.0	B, I, J	
				20.0	A, I, J	
				20.0	A, Y	
				14.0	B, I, J	
				16.0	B, I, J	
			SG	16.0	B, I, J	Replace one lite of broken glass
				14.0	B, I, J	
				15.0	B, F, I, U	
				9.0	B, I, J	
		90 MIN		4.0	B, F, I, J	Replace hinges so door operates smoothly
				20.0	A, L	Wood millwork doors - utility enclosure
		90 MIN		4.0	F, I, J	
4/200		3/4 HR		9.0	B, G , I, J	
				14.0	B, I, J	Prep frame and bottom of door to remove rust prior to repainting
				14.0	B, I, J	Prep frame and bottom of door to remove rust prior to repainting
		90 MIN		9.0	В	Secure mortise plate
		90 MIN		19.0	E, J	
		20 MIN		14.0	B, I, J	
		90 MIN		20.0	A, L	
		90 MIN		3.0	C, J	

2.0 C, J

17.0 E, J

20.0 A, I, J

17.0

						Door Panel	Frame								
Door Number	Room #	Room Name	Door Type	Material	Finish	Number of Leaves	Width (VIF)	Height (VIF)	Thickness (VIF)	Frame Type	Material	Finish	Fire Rating	Glazing/ Infill Type	Comments
)1.1	001	GIRLS TOILET	DT-10	MTL			2'-0"	3'-0"	1 3/4"						A
)1.2	001	GIRLS TOILET	DT-10	MTL			1'-4"	3'-8"	1 3/4"						A
)2A.1	002A	STORAGE	DT-10	MTL			1'-6"	4'-0"	1 3/4"						A
)2B	002B	TOILET	DT-1	WD			3'-0"	6'-11"	1 3/4"						A
)3	003	STORAGE	DT-2	HM		1	2'-8"	7'-0"	1 3/4"						A
)5A	005A	IT	DT-1	WD			2'-8"	6'-11"	1 3/4"						А
7.2	007	CAFETERIA	DT-10	MTL			1'-5"	3'-11"	1 3/4"						A
7.3	007	CAFETERIA	DT-10	MTL			1'-5"	3'-11"	1 3/4"						А
7.4	007	CAFETERIA	DT-10	MTL			1'-5"	3'-11"	1 3/4"						A
7.5	007	CAFETERIA	DT-10	MTL			1'-5"	3'-11"	1 3/4"						A
9.2	009	BOYS TOILET	DT-10	MTL			2'-0"	3'-6"	1 3/4"						К
9.3	009	BOYS TOILET	DT-10	MTL			2'-0"	2'-0"	1"						A
9.4	009	BOYS TOILET	DT-10	MTL			1'-6"	4'-0"	1"						К
1.1	011	BOILER	DT-11	MTL			1'-6"	4'-0"	1 3/4"						A
B3	011	BOILER	DT-1	HM			2'-11 1/2"	4'-11 1/2"	1 3/4"						A
2.1	012	BLOWER	DT-2	MTL		1	3'-3"	6'-10"	1 3/4"						A
2.2	012	BLOWER	DT-1	MTL			1'-8"	6'-6"	1"						A
01.1	V001	VESTIBULE	DT-10	HM			1'-4 1/2"	4'-0"	1"						А
03	V002	VESTIBULE	DT-3	HM		1	3'-3"	6'-11"	1 3/4"				90 MIN		A
003.1	V002	VESTIBULE	DT-10	HM			1'-4 1/2"	3'-10"	1 3/4"						A

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DOOR & BUILT-IN CABINET SCHEDULE NOTES.

OOR SCHEDULE COMMENTS (AS APPLICABLE) EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN.

- REMOVE EXISTING AND PROVIDE NEW HARDWARE TO EXISTING DOOR AND FRAME REMOVE EXISTING AND PROVIDE NEW DOOR AND HARDWARE IN
- EXISTING FRAME PROVIDE NEW DOOR IN EXISTING FRAME, REINSTALL EXISTING
- HARDWARE INTO NEW DOOR. PROVIDE NEW DOOR. FRAME AND HARDWARE
- ADJUST HINGES/CLOSER/STRIKE OR REHANG DOOR TO ENSURE SMOOTH SWING OPERATION SO THAT DOOR CAN FULLY OPEN AND
- FULLY CLOSE AND LATCH. REPLACE DETERIORATING METAL FRAME. REHANG WITH EXISTING DOOR PANEL AND HARDWARE AS SCHEDULED.
- REPLACE MISSING AND/OR DAMAGED DOOR PANEL OR INFILL WITH NEW н MATERIAL TO MATCH EXISTING AS SCHEDULED. CLEAN AND PATCH ALL SURFACES OF EXISTING DOOR, FRAME, AND/OR HARDWARE TO "LIKE NEW" CONDITION. FILL ANY GAPS IN TRIM AND
- PANELING. BLANK OFF HOLES (FILLER PLATE / BONDO) IN METAL DOORS FROM PREVIOUS HARDWARE REMOVAL. J. FINISH DOOR AND/OR FRAME AS SCHEDULED (PAINT/STAIN/CLEAR FINISH) ON BOTH SIDES OF ASSEMBLY, FRAME COLORS TRANSITION
- FROM CORRIDOR TO ROOM INTERIOR COLOR AT STOP PER FRAME PAINTING DETAIL FINISH DOOR AND/OR FRAME AS SCHEDULED (PAINT/STAIN/CLEAR K FINISH) ON INTERIOR FACE (OR CLASSROOM SIDE) OF ASSEMBLY ONLY.
- FINISH DOOR AND/OR FRAME AS SCHEDULED (PAINT/STAIN/CLEAR FINISH) ON EXTERIOR FACE (OR CORRIDOR SIDE) OF ASSEMBLY ONLY. FINISH DOOR AS SCHEDULED (PAINT/STAIN/CLEAR FINISH) ON BOTH M
- SIDES OF ASSEMBLY AND FRAME AS SCHEDULED ON EXTERIOR (CORRIDOR) FACES OF ASSEMBLY ONLY. REMOVE EXISTING PARTIAL PAINT FINISH AND REFINISH DOOR AND N FRAME AS SCHEDULED (PAINT/STAIN/CLEAR FINISH).
- REMOVE EXISTING GLAZING AND GLAZING STOPS AND REPLACE WITH NEW MATERIAL AND STOPS AS SCHEDULED. WHERE TACKBOARD IS SCHEDULED, PROVIDE MDF BACKER AND TACKBOARD INFILL, TYPICAL. INLAY 1/2" QUARTERROUND WOOD TRIM, CONTINUOUS, AROUND
- PERIMETER OF ALL TACKBOARD INFILLS. REPLACE BROKEN TRANSOM GLAZING WITH NEW SAFETY GLAZING AS REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING CLASSROOM ENTRY DOOR RECENTLY REFURBISHED SEE PLAN KEYNOTES. PAINT DOOR ON BOTH SIDES TO MATCH EXISTING FRAME COLOR.
- EXTERIOR-GRADE PAINT FINISH, BOTH SIDES OF DOOR AND FRAME, TO MATCH EXISTING. TOUCH UP PAINT AT HARDWARE REMOVAL AND INSTALLATION
- LOCATIONS AT DOOR AND FRAME. [UNUSED]
- [UNUSED] PREP AND PAINT FRAME NEAR GROUND.

DOOR SCHEDULE GENERAL NOTES

REFER TO GENERAL PROJECT NOTES ON COVER SHEET AND PLANS FOR ADDITIONAL INFORMATION. REFER TO KEYNOTES ON PLANS FOR ADDITIONAL INFORMATION.

DOOR SCHEDULE ABBREVIATIONS

ALUMINUM

HOLLOW METAL

FROSTED GLAZING

SAFETY GLAZING

OTHERWISE)

TACKBOARD

CLEAN ONLY

STAIN

INSULATED GLAZING (UNIT)

(20 MIN UNLESS NOTED

FIRE RATED GLAZING PER UL

MEDIUM DENSITY FIBERBOARD

WIRE SCREEN (MATCH EXIST)

CLEAN AND APPLY CLEAR COAT

NATURAL (FACTORY) FINISH

METAL

WOOD

ALUM

MTL

WD

HM

FG

SG

IG/IGU

FRG

MDF

WS

PT

STN

CLN

NAT

CLC

EXISTING TO REMAIN

- GC TO VERIFY ALL DIMENSIONS, CONDITIONS, AND LOCATIONS IN THE FIELD AND INCORPORATE ALL INFORMATION INCLUDING HINGE PREP FOR EXG HM DOORS TO BE REUSED IN NEW FRAMES. GC IS RESPONSIBLE FOR THE INSTALLATION OF THE PERMANENT DOOR LOCK CORES. FINAL CORING AND KEYING SHALL BE APPROVED BY THE
- OWNER'S REPRESENTATIVE. WHERE INFILL PANEL IN EXISTING FRAME IS INDICATED, RELOCATE AND RESECURE FRAME STOPS AS REQUIRED TO ACCOMODATE NEW MATERIAL. PAINT PANEL TO MATCH FRAME COLOR AS INDICATED ON DOOR SCHEDULE. CONTRACTOR SHALL NOT REMOVE ANY COMPONENTS OF DOOR OR HARDWARE UNTIL ALL COMPONENTS OF NEW ASSEMBLY ARE PHYSICALLY ON SITE, INCLUDING CORES. DOORS AND FRAMES TO BE PAINTED U.N.O. - WHERE FINISH IS SCHEDULED, REFER TO FINISH KEY ON A200 FOR
- COLOR SELECTION. 9. DOORS SHALL BE SHAVED DOWN AS REQUIRED TO ACCEPT NEW HARDWARE AND/OR ALLOW FOR USE
- UNOBSTRUCTED. INSTALL DUTCHMEN AT REMOVED MORTISE HARDWARE PRIOR TO INSTALLING RETROFIT WRAPAROUND PLATES. PROVIDING NEW DOOR OR HARDWARE INCLUDES REMOVAL AND DISPOSAL, U.N.O.
- PROVIDING NEW FRAME INCLUDES REMOVAL AND DISPOSAL OF DOOR AND FRAME, U.N.O. 13. AT REMOVAL OF DOOR FRAME, SAW CUT AT OLD
- ANCHORS AND PATCH DAMAGED MASONRY WITH NEW TO MATCH EXG ADJACENT (TEXTURE, JOINT STYLE, MORTAR) AND TOOTH IN ALL NEW WORK. ALLOW FOR PLASTER PATCHING AT INTERIOR WALLS. PATCH PLASTER FINISH AT
- INTERIOR WALLS, AND PAINT TO MATCH ADJACENT WALL SURFACES. "REFURBISH" MEANS REFINISH DOOR AND REPLACE HARDWARE - REFER TO SCHEDULE REMARKS AND PLAN
- KEYNOTES FOR ADDITIONAL INFORMATION. PROVIDE PERMANENT TAG ON CONTINUOUS HINGES WHERE INSTALLATION OBSCURES EXISTING DOOR RATING
- 16. COORDINATE TEMPORARY SHUTOFF AND RECONNECTION OF SECURITY SYSTEM CONTACTS. ENSURE SYSTEM IS FULLY-OPERATIONAL AT COMPLETION OF THE PROJECT. PREPARE FRAMES PRIOR TO HINGE REPLACEMENT. **REVIEW HINGE REPLACEMENT WITH OWNER IN THE FIELD -**WHERE NEW HINGES ARE NOT INSTALLED, PROVIDE

- PROTECT FINISHES OF EXISTING FLOOR, WALL AND CEILING SURFACES TO REMAIN DURING DEMOLITION. ALL WORK THIS PLAN ALSO INDICATES PATCH & REPAIR TO ALL SURFACES AFFECTED BY DEMOLITION.
- DEMO = REMOVE + DISPOSE. LEGALLY DISPOSE OF ALL DISCARDED MATERIALS AND FURNISHINGS. REFER TO SPEC SECTION 024119 FOR ADDITIONAL INFORMATION.
- PATCH FLOORS TO MATCH EXISTING ADJACENT SURFACE, FINISH AND ELEVATION 4 AS REQUIRED FOR DOOR OPERATION AND THRESHOLDS. GC TO PATCH WALLS, FLOORS, AND CEILINGS AT REQUIRED REMOVAL/DEMOLITION.
- GC TO REMOVE ALL WALL-, DOOR-, FLOOR-, OR CEILING-MOUNTED EQUIPMENT AND ACCESSORIES IN PREPARATION FOR NEW WORK UNLESS NOTED OTHERWISE. GC TO PATCH & REPAIR EXISTING PLASTER IN AREAS ADJACENT TO DOOR FRAMES.
- PRIOR TO DEMO OF DOOR FRAMES, ALL SECURITY AND SIGNAL WIRES, AND ALL OTHER SUPPORT ELECTRICAL WIRING IS TO BE SUPPORTED AND REINSTALLED. REFER TO PROJECT GENERAL NOTES REGARDING DISCOVERY AND ABATEMENT OF
- ANY HAZARDOUS MATERIALS. SEE ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING FINISH / WALL / TRIM ARRANGEMENT
- CONTRACTOR TO PROVIDE ALL DEMOLITION REQUIRED TO ACCOMPLISH THE NEW 10. 11.
- SEE FLOOR PLANS & DOOR SCHEDULES FOR WHICH FRAMED OPENINGS ARE TO REMAIN AND BE PROTECTED. DIMENSIONS PROVIDED FOR FRAMED OPENINGS ARE NOMINAL AND NEED TO BE 12 CONFIRMED BY GC. GC TO COORDINATE OPENING DIMENSIONS IN EXISTING WALLS WITH NEW DOOR AND FRAME SIZES - REFRAME TO SUIT THE DOOR SIZE IN THE SCHEDULE OR ADJUST DOOR OR FRAME SIZE TO SUIT THE EXISTING OPENING SIZE.

NEW WORK PLAN GENERAL NOTES

- ALL EXISTING ITEMS AND SURFACES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. EQUIPMENT AND FURNITURE SHOWN FOR LAYOUT PURPOSES ONLY. NOT IN
- CONTRACT (NIC). SEE PROJECT GENERAL NOTES FOR TEMPORARY HEAT, COOLING, AND HUMIDITY CONTROL REQUIREMENTS. WHERE DEMOLISHED ELEMENTS ARE INDICATED, GC TO PATCH AND REPAIR
- DEMOLISHED WALL ENDS AND INTERSECTING WALL SURFACES AS REQUIRED TO ATTAIN CONSISTENT AND LEVEL FINISH SURFACE, TYP. SEE FLOOR AND DEMO PLANS
- GC TO INSTALL DOOR THRESHOLDS & BUILD UP TO, OR GRIND DOWN, EXISTING FLOOR FINISHES AS REQUIRED TO MATCH FLOOR ELEVATIONS ON EITHER SIDE OF THE OPENING. GC TO PROVIDE SMOOTH TRANSITION (WITH APPROPRIATE ACCESSORIES). GC TO PATCH / PROVIDE NEW SUBSTRATE PER MANUFACTURER'S RECOMMENDATIONS / GUIDELINES TO CREATE A SMOOTH AND LEVEL SURFACE ACROSS DOORWAYS.
- PAINT (SEE FINISH KEY ON A200) 6. GC TO PROVIDE JOINT SEALANTS FOR JOINTS BETWEEN FRAMES, PARTITIONS, FLOORING, ETC. AS REQUIRED - REFER TO DETAILS AND SPECIFICATIONS. GC TO SEE DOOR SCHEDULE FOR ADDITIONAL WORK TO BE PERFORMED ON DOORS, FRAMES DOOR FINISH, AND/OR DOOR HARDWARE.
 - GC TO PAINT EXISTING HM FRAMES AND TRIM, BOTH SIDES, U.N.O. SEE DOOR SCHEDULE. ALL PENETRATIONS THROUGH FIRE-RATED WALL AND FLOOR ASSEMBLIES, BOTH
 - NEW AND EXISTING, SHALL BE FIRE STOPPED / RATED PROVIDE FIRESTOPPING TO MAINTAIN FIRE RATING. SEE CODE INFORMATION TABLE. NO NOTE ON DRAWINGS SHALL DIMINISH THE REQUIREMENTS OF THE GENERAL 10.
 - CONDITIONS. PRIME CONTRACTOR IS RESPONSIBLE FOR PATCH AND REPAIR OF EXISTING
 - SURFACES OR NEW WORK AS A RESULT OF CONSTRUCTION ACTIVITIES. ALL UN-TAGGED WALLS TO MATCH EXISTING CONSTRUCTION. "UNRENOVATED" ON ROOM TAGS INDICATES CLASSROOM DOORS WERE NOT
 - UPGRADED AS PART OF RECENT CLASSROOM MODERNIZATION PROJECT IN THE SAME BUILDING, AND ARE THE FOCUS OF THIS DOOR REPLACEMENT PROJECT. PAINT WALL FROM CORNER TO CORNER WHERE WALL PATCHING OCCURS AND AS REQUIRED BY PHASING.

A1.1	PATCH DAMAGED MASONRY AT DOOR FRAME AND GROUT JAMBS SOLID - PATCH / BONDO HOLES IN FRAME, TOUCH UP PAINT TO MATCH EXG. REPAINT WALL SURFACE CORNER TO CORNER.
A1.1A	PATCH DAMAGED MASONRY AT DOOR FRAME AND GROUT JAMBS SOLID - PATCH / BONDO HOLES IN FRAME, TOUCH UP PAINT TO MATCH EXG. REPAIR PLASTER FINISH - REPAINT WALL SURFACE CORNER TO CORNER.
A1.1B	AS REQUIRED TO REMOVE AND REPLACE DOOR FRAME: PATCH GAPS BETWEEN MASONRY WA AND DOOR FRAME EDGES. GROUT JAMBS SOLID - PATCH / BONDO HOLES IN FRAME, TOUCH U PAINT TO MATCH EXG. REPAIR PLASTER FINISH - REPAINT WALL SURFACE TO MATCH ADJACE
A1.4	REFASTEN EXISTING WOOD TRIM TO METAL DOOR FRAME.
A1.6	GC TO REMOVE AND PATCH CRUMBLING PLASTER AT DOOR FRAME - PREP AND PAINT TO MATCH EXISTING WALL FINISH.
A2.2A	GC TO REMOVE EXISTING AND PROVIDE NEW 90 MINUTE HOLLOW METAL DOOR AND HARDWA IN EXISTING METAL FRAME - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. REPAINT FRAME AND ANY EXISTING WOOD TRIM.
A2.3	GC TO REMOVE EXISTING DOOR, FRAME, AND HARDWARE. PROVIDE NEW DOOR, FRAME, AND HARDWARE IN EXISTING MASONRY OPENING - AT REMOVAL OF DOOR FRAME, SAW CUT AT OL ANCHORS AND PATCH DAMAGED MASONRY WITH NEW TO MATCH EXG ADJACENT (TEXTURE, JOINT STYLE, MORTAR) AND TOOTH IN ALL NEW WORK. PATCH PLASTER FINISH AT INTERIOR WALLS. ALLOW FOR PLASTER PATCHING AT INTERIOR WALLS. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.3A	GC TO REMOVE EXISTING DOOR, FRAME, AND HARDWARE. SALVAGE DOOR - PREP AND PAINT. PROVIDE NEW PTD MTL FRAME IN EXISTING MASONRY OPENING - AT REMOVAL OF DOOR FRAM SAW CUT AT OLD ANCHORS AND PATCH DAMAGED MASONRY WITH NEW TO MATCH EXG ADJACENT (TEXTURE, JOINT STYLE, MORTAR) AND TOOTH IN ALL NEW WORK. PATCH PLASTER FINISH AT INTERIOR WALLS. REINSTALL DOOR AND HARDWARE - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.4	NO WORK - EXISTING DOOR, FRAME, AND HARDWARE IN SERVICEABLE CONDITION.

PLAN / INTERIOR ELEVATION KEYNOTES

- A2.5A EXISTING DOOR AND FRAME GC TO PROVIDE NEW HARDWARE FOR EXISTING DOOR SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. A2.5B EXISTING DOOR AND FRAME - HARDWARE AND/OR FINISH ADJUSTMENT NEEDED - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. A2.5C EXISTING DOOR AND FRAME - REFASTEN LOOSE MORTISE PLATE - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. EXISTING CLOSET / BUILT-IN CABINET DOOR AND FRAME - GC TO REMOVE EXISTING PULLS AND LOCKING HARDWARE - PATCH DOOR AND FRAME. PLANE DOOR AS NEEDED FOR SMOOTH OPERATION. PREP AND PAINT. INSTALL NEW HARDWARE - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. A2.10 METAL ACCESS PANEL - LOCKED, APPEARS TO BE IN SERVICEABLE CONDITION - NO REPLACEMENT SCOPE. A2.14A PREP AND PAINT METAL DOOR, METAL FRAME, AND WOOD TRIM (IF PRESENT) - BLANK OFF HOLES (FILLER PLATE / BONDO) FROM REMOVED HARDWARE PRIOR TO PAINTING. 2.14C | PREP AND PAINT WOOD CASEWORK DOOR, FRAME, EXTERIOR PANELS, AND TRIM (IF PRESENT). A2.16 REMOVE RUST AT BASE OF FRAME AND DOOR - PATCH / BONDO TO CREATE SMOOTH SUFACE.
- REPAINT ENTIRE FRAME AND DOOR TO MATCH EXISTING. PREP AND PATCH EXISTING FLOOR AS REQUIRED FOR SMOOTH SUBSTRATE. INSTALL RESILIENT FLOOR TRANSITION AT THRESHOLD - COLOR TO BE SELECTED FROM MANUFACTURER'S FULL RANGE.

THE SCHOOL DISTRICT OF OFFICE OF CAPITAL PROGRAMS 440 NORTH BROAD STREET PHILADELPHIA, PA 19130 - 4015 (215) 400 - 4730 | (215) 400 - 4731 (fax) www.philasd.org SEAL: MORRIS ZIMMERMAN STATE AND LICENSE NO: PA - RA016908 ARCHITECT O Z Collaborative 4818 Baltimore Avenue Philadelphia, PA 19143 Phone: (215)386-8191 Email: mzimmerman@ozcollaborative.com Attn: Morris Zimmerman, AIA Permit & Bid Drawings 07/23/2021 UCH UP JACENT. DWARE AND AT OLD PAINT. R FRAME, # DATE REVISION LASTER SCHOOL & LOCATION J. MARSHALL ELEMENTARY SCHOOL 1501 Sellers St, Philadelphia, PA 19124 PROJECT TITLE Interior Door Replacement DRAWING TITLE **BASEMENT PLANS, SCHEDULES, & PROJECT ABBREVIATIONS** DRAWING SCALE As indicated LOCATION NO. FILE NO. 20146 7360 CHECKED BY DRAWN BY OZC OZC GC B-019C OF 2020 / 21 DRAWIING NO. A100 2 OF 6

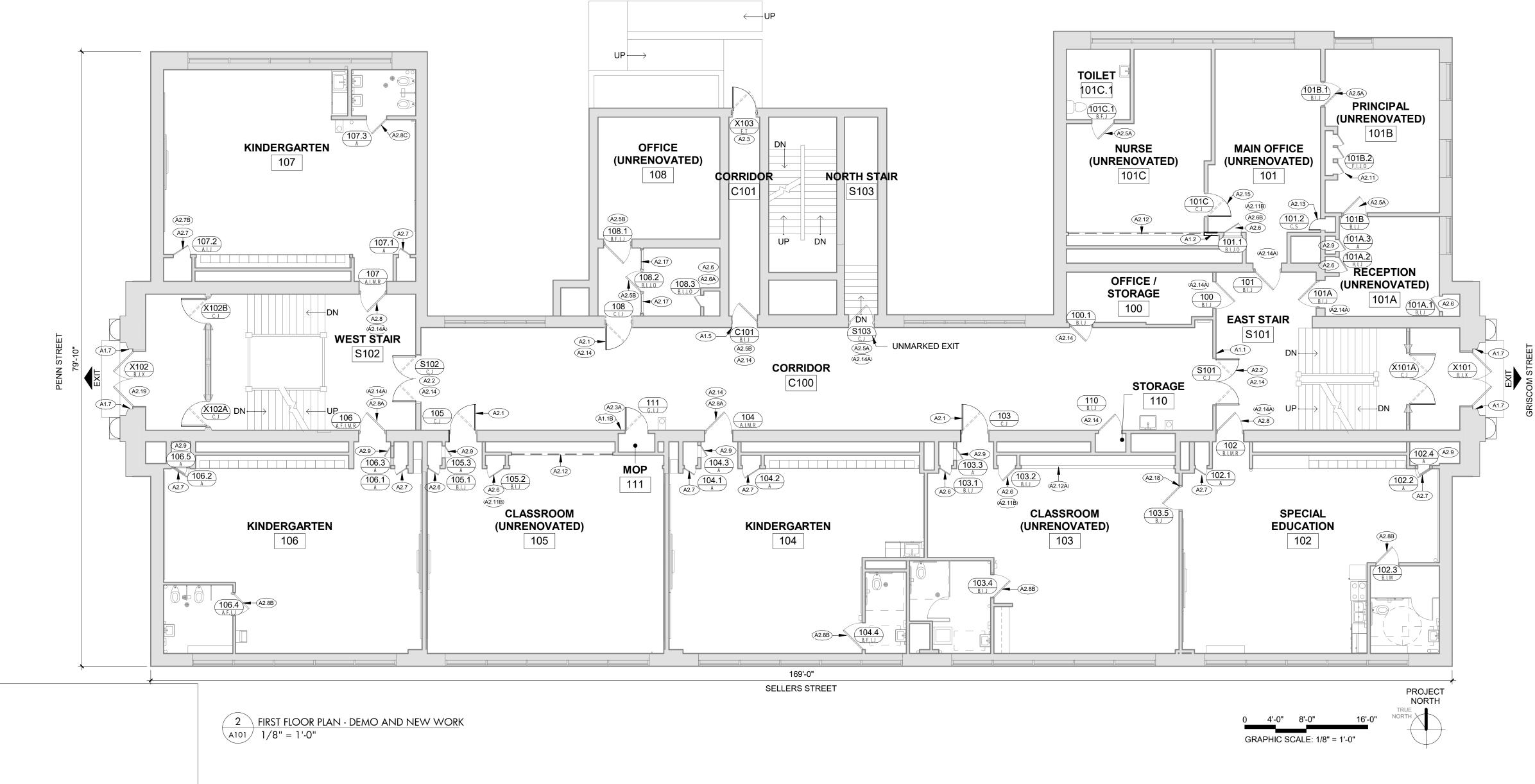
									DOOF	R SCHEI	DULE - F	FIRST F	LOOR W	ORK									DOOF	R SCHEDULE	E - FIRST	FLOOR - NO	O WORK			
	Door		-				Door Pa	nel lumber of			Thickness			rame		Jamb Glazing/ Infil	Hardware			Door				or Panel Imber of		Thickness	Frar	me	Glazing/ Ir	Infill
	Number	Room # Roo	om Name	Door Type	Status	Material F	inish	Leaves V	Width (VIF)	Height (VIF)	(VIF)	Frame Typ	e Status	Materia	Finish Sill Detail	Detail Fire Rating Type	Set Cor	mments	Description	Number Room #	Room Name	Door Type Material	l Finish L	eaves Width (VI	F) Height (VIF) (VIF) Fra	ame Type Mate	terial Finish Fire Rat	ting Type	Comments
10	00	100 OFFICE / STOP		DT-1	ETR	HM	PT-2	1	3'-5 3/4"	6'-10 3/4"	1 3/4"	FT-1	ETR	HM	PT-0A, PT-0B	90 MIN	9.0 B, I, .			101A.3 101A RE	RECEPTION (UNRENOVATED)) DT-9 WD		1'-6 1/2'		1 1/8"				Α
10	00.1	100 OFFICE / STOP	DRAGE	DT-2	ETR	WD	PT-2	1	2'-8"	7'-0"	1 3/4"	FT-1	ETR	HM	PT-0A, PT-0B		9.0 B, I, .				SPECIAL EDUCATION	DT-5 WD		1 1'-6"	6'-10 1/2"	1 1/8"				Α
10	01		E (UNRENOVATED)	DT-3	ETR		1B, PT-2	1	3'-3"	7'-0"	1 3/4"	FT-2	ETR	HM	PT-0A, PT-0B	90 MIN	14.0 B, I, J				SPECIAL EDUCATION	DT-6 WD		2'-2 1/4'		1 1/8"				A
1(01.1		E (UNRENOVATED)	DT-7A	ETR		PT-6	1	2'-3"	4'-4"	1 1/8"	FT-5	ETR	WD	PT-6		16.0 B, I, J				SPECIAL EDUCATION	DT-9		1'-6 1/2'		1 1/8"				A
10	01.2		E (UNRENOVATED)	DT-5	NEW		PT-6	1	1'-6"	6'-8"	1 1/8"	FT-5	ETR	WD	PT-6		16.0 C, S				CLASSROOM (UNRENOVATED	-,		1'-6 1/2'		1 1/8"				A
10			(UNRENOVATED)	DI-3	ETR		1B, PT-2	1	3'-3"	7'-0"	1 3/4"	F1-2	ETR	HM	PT-0A, PT-0B	90 MIN	14.0 B, I, J					DT-5 WD		1'-6"	6'-10 3/4"					A
10			(UNRENOVATED)	DT-6	ETR		PT-6	1	2'-0"	7'-0"	1 1/8"		ETR	WD	PT-6		16.0 B, I,					DT-7 WD		2'-3"	4'-3"	1 1/8"				A
10	JIA.Z		(UNRENOVATED)	DI-6	ETR		PT-6	1	2'-0"	7'-0"	1 1/8"		ETR	WD	PT-6		16.0 H, I,				(INDERGARTEN	DT-9 WD		1'-6 1/2'		1 1/8"				A
10		· · · ·	JNRENOVATED) JNRENOVATED)		ETR		PT-2	1	3'-0"	6'-11"	1 3/4" 1 3/4"		ETR	HM HM	PT-0B PT-0B		14.0 B, I,				CLASSROOM (UNRENOVATED (INDERGARTEN	,		1'-6 1/2'		1 1/8"				A
10	11D.1		- /	DT-2A DT-12A	ETR	WD	PT-2 PT-6	2	3'-0"	0-11 1/2 4' 0"	1 3/4		ETR	WD	PT-06	WD	12.0 B, I, .							1 1'-6"	6'-10 1/2" 6'-9 3/4"	1 1/8"				Α
10	-	101B PRINCIPAL (UN 101C NURSE (UNRE	- ,	DT-12A DT-2	NEW	WD	PT-2	J 1	1'-6" 3'-0"	6'-8" 6'-11"	1 2///"	FT-3	ETR ETR	HM	PT-0 PT-0B		16.0 F, I, J 7.0 C, J	5,0		10012 100 111	INDERGARTEN	DT-6 WD DT-9 WD		2'-2 1/4' 1'-6 1/2'		1 1/8"				
10		101C NORSE (UNRE 101C.1 TOILET		DT-2 DT-1	ETR	WD	PT-2	1	2'-10 1/2"	6'-10 1/2"	1 3/4"	FT_2	ETR	HM	PT-0B		10.0 B, F,				INDERGARTEN	DT-9 WD		1'-6 1/2		1 1/8"				
10	12	1010.1 TOILET		DT-3	ETR		1B. PT-2	1	3'-3"	7'-0"	1 3/4"	FT_2	ETR	HM		90 MIN	14.0 B, I, M	1 -				DT-5 WD		1'-0'1/2	7'-4"	1 1/8"			_	
10	02.3	102 SPECIAL EDUC		DT-3	ETR		PT-2	1	2'-11 1/2"		1 3/4"	FT-2	ETR	HM	PT-0B		20.0 B, I, I		Relaminate/secure face		INDERGARTEN	DT-3 WD		-	6'-10 1/4"	1 1/6				Α
	52.5		JOATION			WD	1 1-2		2-11 1/2	0-11 //4	1 3/4	11-2					20.0 0,1,1	t	board at top edges and patch gouges	Level 1: 15				2-7 1/2	0-10 1/4	1 3/7				7
1(03	103 CLASSROOM (1 (UNRENOVATED)	DT-2	NEW	WD PT-	1B, PT-2	1	3'-4"	6'-11 1/4"	1 3/4"	FT-1	ETR	HM	PT-0A, PT-0B	20 MIN	8.0 C, J		1 3 3											
1(03.1	103 CLASSROOM ((UNRENOVATED)	DT-5	ETR	WD	PT-6	1	1'-6"	6'-9 3/4"	1 1/8"	FT-5	ETR	WD	PT-6		16.0 B, I, .	J		DOOR & BUILT-	-IN CABINET SCH	EDULE NOTES.								
1(03.2	103 CLASSROOM ((UNRENOVATED)	DT-7	ETR	WD	PT-6	1	2'-3"	4'-3"	1 3/4"	FT-5	ETR	WD	PT-6		16.0 B, I,	J						DOOD			50			
1(03.4	103 CLASSROOM ((UNRENOVATED)	DT-1	ETR	WD	PT-2	1	3'-0"	6'-11 3/4"	1 3/4"	FT-2	ETR	HM	PT-0B	3/4 HR	11.0 B, I, .	J			<u>COMMENTS (AS APPLIC</u> OR, FRAME, AND HARD			DOORS	SCHEDULE	GENERAL NOTE	<u>ES</u>		ETR	CHEDULE ABBREVIATIONS EXISTING TO REMAIN
1(03.5	103 CLASSROOM ((UNRENOVATED)	DT-18	ETR	WD	PT-2	1	3'-0"	7'-0"	1 3/4"	FT-5	ETR	WD	PT-0B		14.0 B, J				STING AND PROVIDE N		XISTING DOOR	1. R	EFER TO G	ENERAL PROJE	ECT NOTES O	N COVER SHEET	ALUM	ALUMINUM
1(04	104 KINDERGARTE	TEN	DT-2	ETR	WD PT-	1B, PT-2	1	3'-4"	6'-11 3/4"	1 3/4"	FT-1	ETR	HM	PT-0A, PT-0B	20 MIN	20.0 A, I, I	l	Complete installation of lock cylinder on	AND FRAME. C. REMOVE EXIS	STING AND PROVIDE NI			A 2. R	ND PLANS F EFER TO KI	FOR ADDITIONA EYNOTES ON PI	AL INFORMATI	ION.	MTL WD	METAL WOOD
1(04.4	104 KINDERGARTE	TEN	DT-1	ETR	WD	PT-2	1	3'-5 3/4"	6'-11 1/4"	1 3/4"	FT-2	ETR	HM	PT-0B		11.0 B, F,	-	classroom side	EXISTING FRA D. PROVIDE NEW HARDWARE	AME. N DOOR IN EXISTING FI	RAME. REINSTALL EX	ISTING	3. G		'N. ^E Y ALL DIMENSI IN THE FIELD AN			HM FG IG/IGU	HOLLOW METAL FROSTED GLAZING INSULATED GLAZING (UNIT)
10	05	105 CLASSROOM (1 (UNRENOVATED)	DT-2	NEW	WD PT-	1B, PT-2	1	3'-3 3/4"	6'-11 1/2"	1 3/4"	FT-1	ETR	HM	PT-0A, PT-0B	20 MIN	8.0 C, J			INTO NEW DO	JOR.					N INCLUDING H			SG	SAFETY GLAZING
10	05.1		1 (UNRENOVATED)	DT-5	ETR		PT-6	1	-	6'-11 5/8"	1 1/8"	FT-5	ETR	WD	PT-0B		16.0 B, I, .			E. PROVIDE NEW	N DOOR, FRAME AND H			D	OORS TO B	E REUSED IN N	NEW FRAMES.		FRG	FIRE RATED GLAZING PER U
10	05.2	105 CLASSROOM (1 (UNRENOVATED)			WD	PT-6			4'-3 1/2"	1 1/8"		ETR	WD	PT-6		16.0 B, I, .				SES/CLOSER/STRIKE OF					NSIBLE FOR TH		TION OF THE		(20 MIN UNLESS NOTED
10	06	106 KINDERGARTE	TEN	DT-3	ETR		1B, PT-2		3'-2 3/4"	7'-0"	1 3/4"	FT-2	ETR	HM	PT-0A, PT-0B	90 MIN	20.0 A, F,				ING OPERATION SO TH	IAT DOOR CAN FULLY	OPEN AND			DOOR LOCK C			MDE	
1(06.4	106 KINDERGARTE	TEN	DT-8	ETR		PT-2			6'-11 1/2"	1 3/4"	FT-5	ETR	WD	PT-0B		20.0 A, F,		Adjust to easily open and shut		E AND LATCH. TERIORATING METAL F IARDWARE AS SCHEDU		HEXISTING DOO	DR C	WNER'S RE	PRESENTATIVE	E.	PROVED BY THE	MDF TB WS	MEDIUM DENSITY FIBERBOA TACKBOARD WIRE SCREEN (MATCH EXIS
10	07	107 KINDERGARTE		DT-3	ETR	HM PT-	1B, PT-2		3'-2 3/4"	7'-0"	1 3/4"	FT-2	ETR	HM	PT-0B	90 MIN	20.0 A, I, M	M, R			SSING AND/OR DAMAGE		NFILL WITH NEV					PS AS REQUIRED	PT	PAINT (SEE FINISH KEY ON A
10	07.2	107 KINDERGARTE		DT-6	ETR		PT-6	1	2'-2 1/2"	6'-8"	1 1/8"	FT-5	ETR	WD	PT-6		20.0 A, I, .	J		MATERIAL TO	MATCH EXISTING AS S	SCHEDULED.		Т	О АССОМО	DATE NEW MAT	TERIAL. PAINT	T PANEL TO MATCH	STN	STAIN
1(80	108 OFFICE (UNRE	,	DT-2	NEW		PT-2	1		6'-11 3/4"	1 3/4"	FT-1	ETR	HM	PT-0A, PT-0B	20 MIN	8.0 C, I, .				PATCH ALL SURFACES					OR AS INDICATE			CLN	
		108 OFFICE (UNRE	,	DT-2	ETR		PT-2	1		6'-11 3/4"	1 3/4"	FT-1	ETR	HM	PT-0B	20 MIN	13.0 B, F,				TO "LIKE NEW" CONDIT LANK OFF HOLES (FILLI							COMPONENTS OF	CLC NAT	CLEAN AND APPLY CLEAR C NATURAL (FACTORY) FINISH
10	08.2	108 OFFICE (UNRE	RENOVATED)	DT-8	ETR	WD	PT-2	1	2'-8"	6'-11 1/2"	1 3/4"	FT-5	ETR	WD	PT-0B	SG	13.0 B, I, J		Paint frame and trim at	FROM PREVIC	OUS HARDWARE REMO	DVAL.						CLUDING CORES.	NA1	
																		V	door and sidelites;2 door vision lites (11"W x 24"H), 4 sidelites (33"W	J. FINISH DOOR A FINISH) ON BO	AND/OR FRAME AS SO OTH SIDES OF ASSEME	CHEDULED (PAINT/STA BLY. FRAME COLORS	TRANSITION	8. D F	OORS AND	FRAMES TO BE HEDULED, REFI	E PAINTED U.M			
1(08.3	108 OFFICE (UNRE	RENOVATED)	DT-5	ETR	WD	PT-6	1	1'-6"	6'-11 3/4"	1 1/8"	FT-5	ETR	WD	PT-6		16.0 B, I, .		x 15"H)	PAINTING DET	DOR TO ROOM INTERIO TAIL. AND/OR FRAME AS SO			9. D		LL BE SHAVED I V HARDWARE A				
11		110 STORAGE	,	DT-1	ETR		PT-2	1		6'-5 1/2"	1 3/4"	FT-2	ETR	HM	PT-0A		9.0 B, I, S				ITERIOR FACE (OR CLA				NOBSTRUC		AND/OR ALLO			
11		111 MOP		DT-1	ETR		PT-2	1	2'-11 1/2"	6'-11 1/2"	1 3/4"	FT-2A	NEW	HM	PT-0A		9.0 G , I,				AND/OR FRAME AS SC						MOVED MORT	TISE HARDWARE		
C	101	C101 CORRIDOR		DT-1	ETR	WD	PT-2	1	3'-3"	6'-8"	1 3/4"	FT-2	ETR	HM	PT-0A	20 MIN	5.0 B, I,	J			XTERIOR FACE (OR CO							AROUND PLATES.		
X	103	C101 CORRIDOR		DT-17	NEW	WD	PT-2	1	3'-1"	6'-8"	1 3/4"	FT-2A	NEW	HM	PT-0B		17.0 E, T				AS SCHEDULED (PAIN					NEW DOOR OR		INCLUDES		
S	101	S101 EAST STAIR		DT-3	NEW	HM F	PT-1B	2	6'-0"	6'-8"	1 3/4"	FT-2	ETR	HM	PT-0A	90 MIN	2.0 C, J				SEMBLY AND FRAME A FACES OF ASSEMBLY (IERIUR			ND DISPOSAL, L NEW FRAME IN(
X	101	S101 EAST STAIR		DT-2	ETR	HM F	PT-0A	2	7'-0"	7'-0"	1 3/4"	FT-4	ETR	HM	PT-0A		1.0 B, J,	, X			STING PARTIAL PAINT F		DOOR AND			F DOOR AND FF				
X	101A	S101 EAST STAIR		DT-2	NEW	HM F	PT-0A	2	6'-7"	6'-11"	1 3/4"	FT-4	ETR	HM	PT-0B		2.0 C, J			FRAME AS SCI	CHEDULED (PAINT/STAI	IN/CLEAR FINISH).		13. A	T REMOVAL	OF DOOR FRA	AME, SAW CU			
S	102	S102 WEST STAIR		DT-3	NEW	HM F	PT-1B	2	6'-0"	6'-8"	1 3/4"	FT-3	ETR	HM	PT-0A	90 MIN	2.1 C, J				STING GLAZING AND GL							NRY WITH NEW TO		
X	102	S102 WEST STAIR		DT-2	ETR	HM F	PT-0A	2		6'-11 1/2"	1 3/4"	FT-3	ETR	HM	PT-0B		1.0 B, J,	, X			AL AND STOPS AS SCH							T STYLE, MORTAR)		
X		S102 WEST STAIR		DT-2	ETR		PT-0A	1	3'-3"	7'-0"	1 3/4"	FT-6	ETR	HM	PT-0B		3.0 C, J				PROVIDE MDF BACKER					IN ALL NEW WC		PLASTER FINISH AT		
X		S102 WEST STAIR		DT-2	ETR		PT-0A	1	3'-3"	7'-0"	1 3/4"	FT-6	ETR	HM	PT-0B		3.0 C, J				OF ALL TACKBOARD INF							ADJACENT WALL		
								1				1	ETR			· · · · · · · · · · · · · · · · · · ·							Y GLAZING AS		URFACES.	,				

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Level 1: 45



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- REQUIRED. REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING CLASSROOM ENTRY DOOR RECENTLY REFURBISHED SEE PLAN KEYNOTES. PAINT DOOR ON BOTH SIDES TO MATCH EXISTING FRAME COLOR. EXTERIOR-GRADE PAINT FINISH, BOTH SIDES OF DOOR AND FRAME, TO
- MATCH EXISTING. TOUCH UP PAINT AT HARDWARE REMOVAL AND INSTALLATION LOCATIONS AT DOOR AND FRAME.
- V. [UNUSED] [UNUSED] W.
- PREP AND PAINT FRAME NEAR GROUND. ADJUST AND RESECURE EXISTING HARDWARE - SEE PLAN KEYNOTE FOR ADDITIONAL INFORMATION.

14. "REFURBISH" MEANS REFINISH DOOR AND REPLACE

HARDWARE - REFER TO SCHEDULE REMARKS AND PLAN KEYNOTES FOR ADDITIONAL INFORMATION. 15. PROVIDE PERMANENT TAG ON CONTINUOUS HINGES WHERE INSTALLATION OBSCURES EXISTING DOOR RATING

LABEL.

CREDIT TO OWNER.

COORDINATE TEMPORARY SHUTOFF AND RECONNECTION OF SECURITY SYSTEM CONTACTS. ENSURE SYSTEM IS FULLY-OPERATIONAL AT COMPLETION OF THE PROJECT. 17. PREPARE FRAMES PRIOR TO HINGE REPLACEMENT. REVIEW HINGE REPLACEMENT WITH OWNER IN THE FIELD -WHERE NEW HINGES ARE NOT INSTALLED, PROVIDE



DEMOLITION PLAN GENERAL NOTES

- PROTECT FINISHES OF EXISTING FLOOR, WALL AND CEILING SURFACES TO REMAIN DURING DEMOLITION. ALL WORK THIS PLAN ALSO INDICATES PATCH & REPAIR TO ALL SURFACES AFFECTED BY DEMOLITION.
- DEMO = REMOVE + DISPOSE. LEGALLY DISPOSE OF ALL DISCARDED MATERIALS AND FURNISHINGS. REFER TO SPEC SECTION 024119 FOR ADDITIONAL INFORMATION.
- PATCH FLOORS TO MATCH EXISTING ADJACENT SURFACE, FINISH AND ELEVATION 4 AS REQUIRED FOR DOOR OPERATION AND THRESHOLDS. GC TO PATCH WALLS, FLOORS, AND CEILINGS AT REQUIRED REMOVAL/DEMOLITION.
- GC TO REMOVE ALL WALL-, DOOR-, FLOOR-, OR CEILING-MOUNTED EQUIPMENT AND ACCESSORIES IN PREPARATION FOR NEW WORK UNLESS NOTED OTHERWISE.
- GC TO PATCH & REPAIR EXISTING PLASTER IN AREAS ADJACENT TO DOOR FRAMES. PRIOR TO DEMO OF DOOR FRAMES, ALL SECURITY AND SIGNAL WIRES, AND ALL OTHER SUPPORT ELECTRICAL WIRING IS TO BE SUPPORTED AND REINSTALLED.
- REFER TO PROJECT GENERAL NOTES REGARDING DISCOVERY AND ABATEMENT OF 8. ANY HAZARDOUS MATERIALS. SEE ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING FINISH / WALL / TRIM
- ARRANGEMENT. 10. CONTRACTOR TO PROVIDE ALL DEMOLITION REQUIRED TO ACCOMPLISH THE NEW
- WORK 11. SEE FLOOR PLANS & DOOR SCHEDULES FOR WHICH FRAMED OPENINGS ARE TO REMAIN AND BE PROTECTED.
- 12 DIMENSIONS PROVIDED FOR FRAMED OPENINGS ARE NOMINAL AND NEED TO BE CONFIRMED BY GC. GC TO COORDINATE OPENING DIMENSIONS IN EXISTING WALLS WITH NEW DOOR AND FRAME SIZES - REFRAME TO SUIT THE DOOR SIZE IN THE SCHEDULE OR ADJUST DOOR OR FRAME SIZE TO SUIT THE EXISTING OPENING SIZE.

NEW WORK PLAN GENERAL NOTES

- ALL EXISTING ITEMS AND SURFACES TO REMAIN ARE TO BE PROTECTED DURING 1. CONSTRUCTION. EQUIPMENT AND FURNITURE SHOWN FOR LAYOUT PURPOSES ONLY. NOT IN
- CONTRACT (NIC). SEE PROJECT GENERAL NOTES FOR TEMPORARY HEAT, COOLING, AND HUMIDITY 3.
- CONTROL REQUIREMENTS. WHERE DEMOLISHED ELEMENTS ARE INDICATED. GC TO PATCH AND REPAIR DEMOLISHED WALL ENDS AND INTERSECTING WALL SURFACES AS REQUIRED TO ATTAIN CONSISTENT AND LEVEL FINISH SURFACE, TYP. SEE FLOOR AND DEMO
- PLANS. GC TO INSTALL DOOR THRESHOLDS & BUILD UP TO, OR GRIND DOWN, EXISTING 5. FLOOR FINISHES AS REQUIRED TO MATCH FLOOR ELEVATIONS ON EITHER SIDE OF THE OPENING. GC TO PROVIDE SMOOTH TRANSITION (WITH APPROPRIATE ACCESSORIES). GC TO PATCH / PROVIDE NEW SUBSTRATE PER MANUFACTURER'S RECOMMENDATIONS / GUIDELINES TO CREATE A SMOOTH AND LEVEL SURFACE
- ACROSS DOORWAYS. GC TO PROVIDE JOINT SEALANTS FOR JOINTS BETWEEN FRAMES, PARTITIONS, 6. FLOORING, ETC. AS REQUIRED - REFER TO DETAILS AND SPECIFICATIONS. GC TO SEE DOOR SCHEDULE FOR ADDITIONAL WORK TO BE PERFORMED ON
- DOORS, FRAMES DOOR FINISH, AND/OR DOOR HARDWARE. GC TO PAINT EXISTING HM FRAMES AND TRIM, BOTH SIDES, U.N.O. SEE DOOR SCHEDULE.
- ALL PENETRATIONS THROUGH FIRE-RATED WALL AND FLOOR ASSEMBLIES, BOTH 9. NEW AND EXISTING, SHALL BE FIRE STOPPED / RATED - PROVIDE FIRESTOPPING TO
- MAINTAIN FIRE RATING. SEE CODE INFORMATION TABLE. NO NOTE ON DRAWINGS SHALL DIMINISH THE REQUIREMENTS OF THE GENERAL 10.
- CONDITIONS. PRIME CONTRACTOR IS RESPONSIBLE FOR PATCH AND REPAIR OF EXISTING 11. SURFACES OR NEW WORK AS A RESULT OF CONSTRUCTION ACTIVITIES.
- ALL UN-TAGGED WALLS TO MATCH EXISTING CONSTRUCTION. 12. "UNRENOVATED" ON ROOM TAGS INDICATES CLASSROOM DOORS WERE NOT 13.
- UPGRADED AS PART OF RECENT CLASSROOM MODERNIZATION PROJECT IN THE SAME BUILDING, AND ARE THE FOCUS OF THIS DOOR REPLACEMENT PROJECT. PAINT WALL FROM CORNER TO CORNER WHERE WALL PATCHING OCCURS AND AS 14. REQUIRED BY PHASING.

PLAN / INTERIOR ELEVATION KEYNOTES

A1.1	PATCH DAMAGED MASONRY AT DOOR FRAME AND GROUT JAMBS SOLID - PATCH / BONDO HOLES IN FRAME, TOUCH UP PAINT TO MATCH EXG. REPAINT WALL SURFACE CORNER TO
A1 1D	CORNER.
A1.1B	AS REQUIRED TO REMOVE AND REPLACE DOOR FRAME: PATCH GAPS BETWEEN MASONRY WA AND DOOR FRAME EDGES. GROUT JAMBS SOLID - PATCH / BONDO HOLES IN FRAME, TOUCH UF PAINT TO MATCH EXG. REPAIR PLASTER FINISH - REPAINT WALL SURFACE TO MATCH ADJACEN
A1.2	GC TO PROVIDE NEW GWB FRAME WALL AND WOOD BASE IN EXISTING OPENING, MATCH EXISTING WIDTH. PAINT TO MATCH ADJACENT FINISHES.
A1.5	SEAL GAP BETWEEN DOOR AND FRAME.
A1.7	PROVIDE CEMENTITIOUS PATCH AT LOCATION OF REMOVED HARDWARE. PAINT TO MATCH EXISTING WALL FINISH.
A2.1	NEW CLASSROOM OR OFFICE ENTRY DOOR - GC TO REMOVE EXISTING AND PROVIDE NEW 20 MINUTE WOOD DOOR WITH FIRE-RATED TEMPERED GLASS VISION PANEL AND NEW HARDWAR IN EXISTING METAL FRAME - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. PREP AND PAINT DOOR, REPAINT FRAME AND EXISTING WOOD TRIM.
A2.2	GC TO REMOVE EXISTING AND PROVIDE NEW 90 MINUTE WOOD DOOR AND HARDWARE IN EXISTING METAL FRAME - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. REPAINT FRAME AND ANY EXISTING WOOD TRIM.
A2.3	GC TO REMOVE EXISTING DOOR, FRAME, AND HARDWARE. PROVIDE NEW DOOR, FRAME, AND HARDWARE IN EXISTING MASONRY OPENING - AT REMOVAL OF DOOR FRAME, SAW CUT AT OLI ANCHORS AND PATCH DAMAGED MASONRY WITH NEW TO MATCH EXG ADJACENT (TEXTURE, JOINT STYLE, MORTAR) AND TOOTH IN ALL NEW WORK. PATCH PLASTER FINISH AT INTERIOR WALLS. ALLOW FOR PLASTER PATCHING AT INTERIOR WALLS. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.3A	GC TO REMOVE EXISTING DOOR, FRAME, AND HARDWARE. SALVAGE DOOR - PREP AND PAINT. PROVIDE NEW PTD MTL FRAME IN EXISTING MASONRY OPENING - AT REMOVAL OF DOOR FRAM SAW CUT AT OLD ANCHORS AND PATCH DAMAGED MASONRY WITH NEW TO MATCH EXG ADJACENT (TEXTURE, JOINT STYLE, MORTAR) AND TOOTH IN ALL NEW WORK. PATCH PLASTER FINISH AT INTERIOR WALLS. REINSTALL DOOR AND HARDWARE - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.5A	EXISTING DOOR AND FRAME - GC TO PROVIDE NEW HARDWARE FOR EXISTING DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.5B	EXISTING DOOR AND FRAME - HARDWARE AND/OR FINISH ADJUSTMENT NEEDED - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.6	EXISTING CLOSET / BUILT-IN CABINET DOOR AND FRAME - GC TO REMOVE EXISTING PULLS AN LOCKING HARDWARE - PATCH DOOR AND FRAME. PLANE DOOR AS NEEDED FOR SMOOTH OPERATION. PREP AND PAINT. INSTALL NEW HARDWARE - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.6A	REPLACE BOTTOM GLASS PANEL WITH WOOD FOR DURABILITY - FINISH TO MATCH DOOR.
A2.6B	REMOVE STOPS AND GLASS LITES FROM (6) PANELS - SEE DOOR SCHEDULE FOR INFILL INFORMATION.
A2.7	EXISTING CLOSET / BUILT-IN CABINET DOOR, FRAME, AND HARDWARE RECENTLY RENOVATED NO SCOPE, U.N.O.
A2.7B	TOUCH UP PAINT AT FRAME DUTCHMAN.
A2.8	EXISTING CLASSROOM DOOR - RECENTLY RENOVATED HARDWARE (LEVER CONTROL, CYLINDER, KEY, CLOSER) ON EXISTING DOOR - NO SCOPE AS PART OF THIS PROJECT.
A2.8A	EXISTING CLASSROOM DOOR - RECENTLY RENOVATED HARDWARE (LEVER CONTROL, CYLINDER, KEY, CLOSER) ON EXISTING DOOR - ADJUSTMENTS NEEDED - SEE DOOR SCHEDULE FOR NOTES.
A2.8B	EXISTING CLASSROOM TOILET DOOR - ADJUSTMENTS TO HARDWARE OR FINISH NEEDED, SEE DOOR SCHEDULE FOR NOTES.
A2.8C	EXISTING CLASSROOM TOILET DOOR - RECENTLY RENOVATED HARDWARE (LEVER HANDLE, OVERHEAD STOP) ON EXISTING DOOR - NO SCOPE AS PART OF THIS PROJECT.
A2.9	ORIGINAL WOOD ACCESS DOOR AND FRAME LOCATED 7 PLUS FEET ABOVE THE FLOOR. LATCHING FUNCTION IS DEFICIENT IN SOME LOCATIONS, BUT DOOR IS INACCESSIBLE TO STUDENTS. EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN - NO SCOPE.
A2.11	EXISTING MILLWORK - REMOVE LOCKING AND PULL HARDWARE AND PATCH DOORS AT REMOVAL LOCATIONS. REPLACE PULLS AND LOCKING HARDWARE ON (3) DOORS. REMOVE (6) GLASS LITES. REPLACE ONE MISSING MUNTIN WITH PROFILE TO MATCH EXG. SEE DOOR SCHEDULE FOR PANEL INFILL AND ADDITIONAL INFORMATION.
A2.11B	EXISTING MILLWORK - RESTORE TO WORKING CONDITION EXISTING DRAWERS, PULLS, AND WOOD SUPPORTS.
A2.12	REMOVE ALL EXISTING SLIDING WARDROBE DOORS, WOOD STOPS, AND HARDWARE. PREP AN PAINT FRAME AND TRIM PT-4.
A2.12A	EXISTING WARDROBE DOORS ALREADY REMOVED - REMOVE ANY REMAINING WOOD STOPS AI HARDWARE.
A2.13	EXISTING DOOR IS MISSING - PROVIDE NEW DOOR IN EXISTING FRAME AND NEW HARDWARE. PAINT TO MATCH WALL COLOR.
A2.14	FILL DEEP GOUGES IN FINISH AND HOLES FROM REMOVED HARDWARE. PREP AND PAINT WOO DOOR, METAL FRAME, AND WOOD TRIM (IF PRESENT).
A2.14A	PREP AND PAINT METAL DOOR, METAL FRAME, AND WOOD TRIM (IF PRESENT) - BLANK OFF

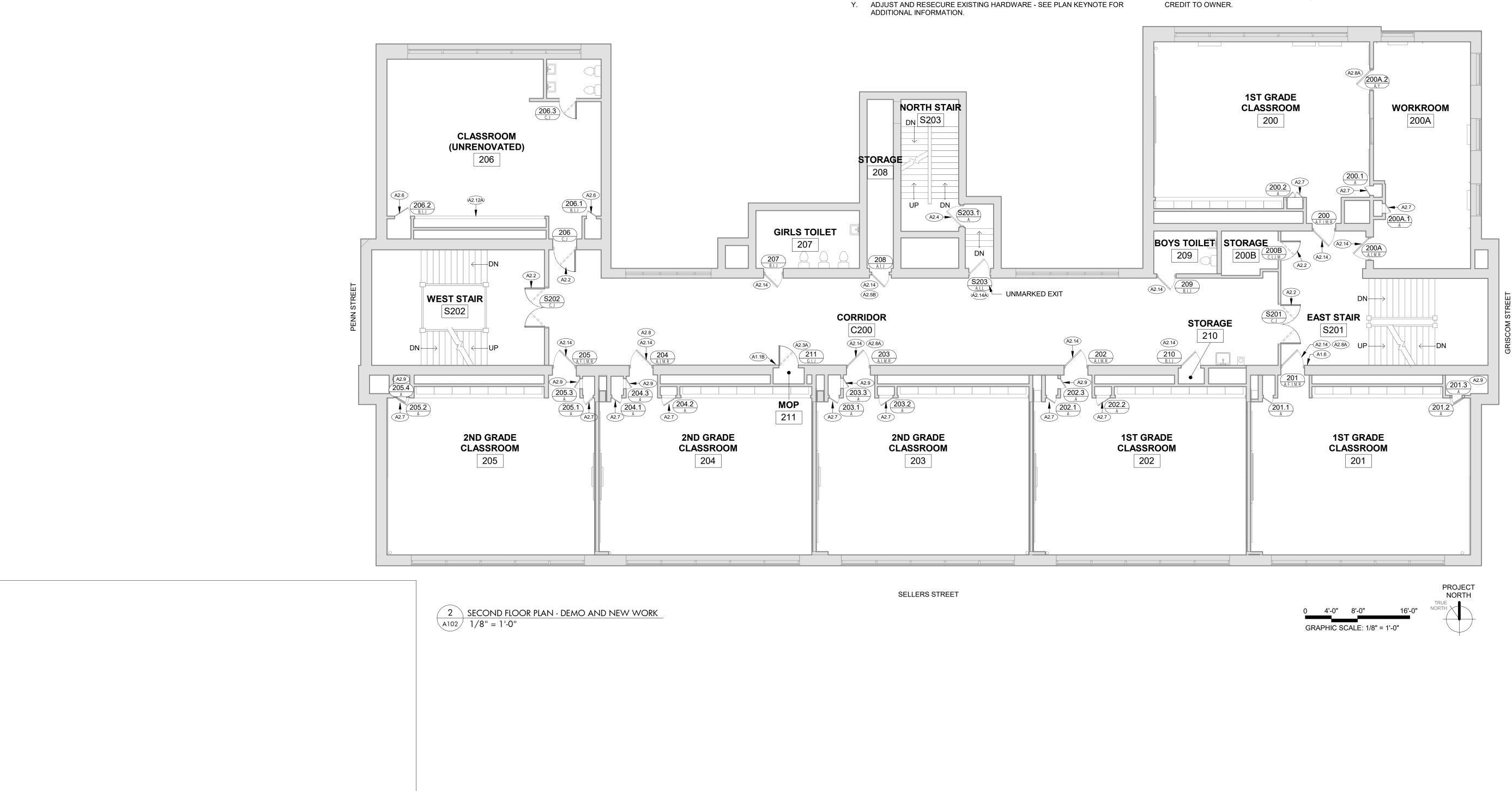
A2.14A PREP AND PAINT METAL DOOR, METAL FRAME, AND WOOD TRIM (IF PRESENT) - BLANK OFF HOLES (FILLER PLATE / BONDO) FROM REMOVED HARDWARE PRIOR TO PAINTING. A2.15 NEW INTERIOR DOOR - GC TO REMOVE EXISTING AND PROVIDE NEW WOOD DOOR AND NEW HARDWARE IN EXISTING FRAME - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. REPAINT FRAME AND ANY EXISTING WOOD TRIM. A2.17 REPLACE VISION GLAZING IN SIDELITES - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION

A2.18 EXISTING WOOD FRAME TO REMAIN. A2.19 CLEAN GRAFFITI OFF OF TRANSOM.

THE SCHOOL DISTRICT OF OFFICE OF CAPITAL PROGRAMS 440 NORTH BROAD STREET PHILADELPHIA, PA 19130 - 4015 (215) 400 - 4730 | (215) 400 - 4731 (fax) www.philasd.org SEAL: MORRIS ZIMMERMAN STATE AND LICENSE NO: PA - RA016908 ARCHITECT O Z Collaborative 4818 Baltimore Avenue Philadelphia, PA 19143 Phone: (215)386-8191 Email: mzimmerman@ozcollaborative.com Attn: Morris Zimmerman, AIA Permit & Bid Drawings 07/23/2021 # DATE REVISION SCHOOL & LOCATION J. MARSHALL ELEMENTARY SCHOOL 1501 Sellers St, Philadelphia, PA 19124 PROJECT TITLE Interior Door Replacement DRAWING TITLE FIRST FLOOR PLANS & SCHEDULES DRAWING SCALE As indicated LOCATION NO. FILE NO. 7360 20146 DRAWN BY CHECKED BY OZC OZC GC B-019C OF 2020 / 21 DRAWIING NO. A101 3 OF 6

	DOOR SCHEDULE - SECOND FLOOR WORK														DOOR SCHEDULE - SECOND FLOOR - NO WORK																		
		Door Panel									Frame												Door Panel Frame										
Door						Number o	-		Thick						Jar			lazing/ Infill Hard	ware			Door				Nu	umber of		Thickness		Gla	zing/ Infill	
Number Room #		Door Type	Status	Material	Finish	Leaves	Width	(VIF) Height (VI			rame Type	Status	Material	Finish	Sill Detail Det	tail Fire F	Rating	Type Se	et Co	omments	Description	Number Room #	Room Name	Door Type	Material I	Finish L	Leaves Width (V	F) Height (VII	F) (VIF) Frame Type Ma	terial Finish	Fire Rating	Туре	Comments
200	1ST GRADE CLASSROOM	DT-3	ETR	WD	PT-1C, P	Г-2 1	3'-2 3	3/4" 7'-0"	1 3/	/4"	FT-2	ETR	HM	PT-0A, PT-0B		90	MIN	20).0 A, F	[–] , I, M, R		205.4		DT-9			1'-6 1/2	' 4'-5 1/2"	1 1/8"			Α	
A 200A	WORKROOM	DT-3	ETR	WD	PT-1C, PT	Г-2 1	3'-2 3	3/4" 7'-0"	1 3/	/4"	FT-2	ETR	HM	PT-0A, PT-0B		90	MIN	20	0.0 A, I,	, M, R		200.1 200	1ST GRADE CLASSROOM	DT-5	WD		1 1'-5 1/2	6'-11"	1 1/8"			А	
A.2 200A	WORKROOM	DT-3	ETR	WD	PT-2	1	2'-11	1/2" 6'-11 1/4'	4" 13/	/4"	FT-2	ETR	HM	PT-0B				20).0 A, Y	Y	Fully-secure door sweep	200.2 200	1ST GRADE CLASSROOM	DT-1	WD		2 2'-4 1/2	' 6'-7 3/4"	1 1/8"			А	
B 200B	STORAGE	DT-1	NEW	WD	PT-1C, PT	Г-2 1	2'-11	3/4" 6'-11 1/2	2" 1 3/	/4"	FT-1	ETR	HM	PT-0A, PT-0B		90	MIN	6.	.0 C, I,	, J, M		200A.1 200A	WORKROOM	DT-5	WD		1'-6"	4'-3"	1 1/8"			А	
201	1ST GRADE CLASSROOM	DT-3	ETR	WD	PT-1C, P	Г-2 1	3'-3 3	3/4" 6'-11 1/2	2" 1 3/	/4"	FT-2	ETR	HM	PT-0A, PT-0B		90	MIN	20).0 A, F	[–] , I, M, R	Adjust hinges and	201.1 201	1ST GRADE CLASSROOM	DT-5	WD		1'-6"	6'-10 1/4"	" 1 1/8"			A	
																					closer; relaminate	201.2 201	1ST GRADE CLASSROOM	DT-6	WD		2'-2 1/4	' 6'-10 1/2"	" 1 1/8"			А	
		DT 0	ETD	W/D	DT 10 DT	F.0 1	01.0.0	0/41 (1111/0)	. 10/	/ 4 !!	FT 4	ETD								MD	faceboard	201.3 201	1ST GRADE CLASSROOM	DT-9			1'-6 1/2	' 4'-5 1/2"	1 1/8"			А	
202	1ST GRADE CLASSROOM	DT-2	ETR		PT-1C, PT			3/4" 6'-11 1/2			FT-1	ETR	HM	PT-0A, PT-0B		20			0.0 A, I,			202.1 202	1ST GRADE CLASSROOM	DT-5	WD		1'-5 1/2	' 6'-10 1/2"	" 1 1/8"			А	
203	2ND GRADE CLASSROOM	DT-2	ETR	WD	PT-1C, PT	1-2 1	3'-3 3	3/4" 6'-11 1/2'	2" 13/	/4"	FT-1	ETR	HM	PT-0A, PT-0B		201	MIN	20	0.0 A, I,	, M, R	Replace missing cap at middle hinge	202.2 202	1ST GRADE CLASSROOM	DT-7	WD		2'-2"	4'-3"	1 1/8"			A	
204	2ND GRADE CLASSROOM	DT-2	ETR	WD	PT-1C, PT		3'-3 3	3/4" 6'-11 1/2'	2" 1 3/	///"	FT-1	ETR	HM	PT-0A, PT-0B		201	MIN	20	0.0 A, I,	, M, R		202.3 202	1ST GRADE CLASSROOM	DT-9	WD		1'-6 1/2	' 4'-5 1/2"	1 1/8"			А	
	2ND GRADE CLASSROOM	DT-2	ETR	WD			3'-3 3				FT-1	ETR	HM	PT-0A, PT-0B		201					Adjust hinges and closer	203.1 203	2ND GRADE CLASSROOM	DT-5	WD		1 1'-6"	6'-10 1/2"	" 1 1/8"			А	
205	CLASSROOM (UNRENOVATED)	DT-2	NEW	WD		Г- <u>2</u> Г Г.2 1					FT-1	ETR	HM	PT-0A, PT-0B		201				-, I, IVI, K	Aujust hinges and closer	203.2 203	2ND GRADE CLASSROOM	DT-7	WD		2'-2"	4'-3"	1 1/8"			А	
.1 206	CLASSROOM (UNRENOVATED)	DT-2		WD	PT-6	1-2 1	3'-3 3		2" 1 3/ " 1 1/		FT-5	ETR	WD	PT-0A, PT-0B		201			.0 C, J b.0 B, I,) I		203.3 203	2ND GRADE CLASSROOM	DT-9	WD		1'-6 1/2	' 4'-5 1/2"	1 1/8"			А	
	CLASSROOM (UNRENOVATED)	DT-5	ETR	WD	PT-6	1	1'-6 2'-5				FT-5	ETR	WD	PT-6					b.0 B, I, b.0 B, I,			204.1 204	2ND GRADE CLASSROOM	DT-5	WD		1 1'-6"	6'-10 1/2"	' 1 1/8"			А	
5.2 206 5.3 206	CLASSROOM (UNRENOVATED)	DT-0	NEW	WD	PT-0	1	2'-7 1				FT-3 FT-2	ETR	HM	PT-0B).1 С, J		Toilet room	204.2 204	2ND GRADE CLASSROOM	DT-7	WD		2'-2"	4'-3"	1 1/8"			А	
200	GIRLS TOILET	DT-1	ETR	WD	PT-1C, P		2'-7 3				FT-1	ETR	HM	PT-0A		20			.0 B, I,			204.3 204	2ND GRADE CLASSROOM	DT-9	WD		1'-6 1/2	' 4'-5 1/2"	1 1/8"			Α	
207	STORAGE	DT-2	ETR	WD	PT-1C, PT-2	1-2 1		3/4" 6'-11 1/2			FT-1	ETR	HM	PT-0A PT-0A		201			0.0 A, I,		Straighten crooked door	205.1 205	2ND GRADE CLASSROOM	DT-5	WD		1'-6"	6'-10"	1 3/4"			А	
200	STORAGE		LIK		F1-2	1	2-73	5/4 0-11 1/2	2 13/	/4	FI-Z	LIK		FT-UA				20	J.U A, I,	, J	pull plates	205.2 205	2ND GRADE CLASSROOM	DT-6	WD		2'-2 1/4	' 6'-10 1/2"	' 1 1/8"			А	
209	BOYS TOILET	DT-2	ETR	WD	PT-1C, PT	Γ-2 1	2'-7 3	3/4" 6'-11 1/2'	2" 1 3/	/4"	FT-1	ETR	HM	PT-0A		201	MIN	8	.0 B, I,	J	Toilet Room	205.3 205	2ND GRADE CLASSROOM	DT-9	WD		1'-6 1/2	' 4'-5 1/2"	1 1/8"			А	
) 210	STORAGE	DT-1	ETR	WD	PT-2	1		3/4" 6'-11 1/4'			FT-2	ETR	HM	PT-0A		201			.0 B, I,			S203.1 S203	NORTH STAIR	DT-4	HM		1 2'-11 3/4	6'-7 1/4"	1 3/4"		90 MIN	А	
	MOP	DT-1	ETR	WD	PT-2	1	2'-11				FT-2A	NEW	HM	PT-0A		201			.0 G, I,			Level 2: 20											
	EAST STAIR	DT-3	NEW	WD	PT-1C	2	6'-0		1 3/		FT-4	ETR	HM	PT-0A		90	MIN		.0 C, J														
	WEST STAIR	DT-3	NEW	WD	PT-1C	2	6'-0				FT-3	ETR	HM	PT-0A		901			.1 C, J			DOOR & BUILT-IN CABINET SCHEDULE NOTES.											
	NORTH STAIR	DT-4	ETR	HM	PT-2	1	2'-11				FT-2	ETR	HM	PT-0A		901			0.0 A, I,														
el 2: 21																						A. EXISTING	DOOR, FRAME, AND HAR	<u>JABLE)</u> DWARE TO RI	EMAIN.		DOOR	SCHEDULE	GENERAL NOTES		ETR	DR SCHEDULE EXISTIN	NG TO REMAIN

D



3	4

	5	

- REMOVE EXISTING AND PROVIDE NEW HARDWARE TO EXISTING DOOR AND FRAME REMOVE EXISTING AND PROVIDE NEW DOOR AND HARDWARE IN C.
- EXISTING FRAME PROVIDE NEW DOOR IN EXISTING FRAME. REINSTALL EXISTING
- HARDWARE INTO NEW DOOR.
- PROVIDE NEW DOOR, FRAME AND HARDWARE. ADJUST HINGES/CLOSER/STRIKE OR REHANG DOOR TO ENSURE SMOOTH SWING OPERATION SO THAT DOOR CAN FULLY OPEN AND
- FULLY CLOSE AND LATCH. REPLACE DETERIORATING METAL FRAME. REHANG WITH EXISTING DOOR PANEL AND HARDWARE AS SCHEDULED.
- REPLACE MISSING AND/OR DAMAGED DOOR PANEL OR INFILL WITH NEW н MATERIAL TO MATCH EXISTING AS SCHEDULED. CLEAN AND PATCH ALL SURFACES OF EXISTING DOOR, FRAME, AND/OR HARDWARE TO "LIKE NEW" CONDITION. FILL ANY GAPS IN TRIM AND PANELING. BLANK OFF HOLES (FILLER PLATE / BONDO) IN METAL DOORS
- FROM PREVIOUS HARDWARE REMOVAL. FINISH DOOR AND/OR FRAME AS SCHEDULED (PAINT/STAIN/CLEAR FINISH) ON BOTH SIDES OF ASSEMBLY. FRAME COLORS TRANSITION
- FROM CORRIDOR TO ROOM INTERIOR COLOR AT STOP PER FRAME PAINTING DETAIL. FINISH DOOR AND/OR FRAME AS SCHEDULED (PAINT/STAIN/CLEAR ĸ FINISH) ON INTERIOR FACE (OR CLASSROOM SIDE) OF ASSEMBLY ONLY.
- FINISH DOOR AND/OR FRAME AS SCHEDULED (PAINT/STAIN/CLEAR FINISH) ON EXTERIOR FACE (OR CORRIDOR SIDE) OF ASSEMBLY ONLY. FINISH DOOR AS SCHEDULED (PAINT/STAIN/CLEAR FINISH) ON BOTH Μ
- SIDES OF ASSEMBLY AND FRAME AS SCHEDULED ON EXTERIOR (CORRIDOR) FACES OF ASSEMBLY ONLY. REMOVE EXISTING PARTIAL PAINT FINISH AND REFINISH DOOR AND Ν.
- FRAME AS SCHEDULED (PAINT/STAIN/CLEAR FINISH). REMOVE EXISTING GLAZING AND GLAZING STOPS AND REPLACE WITH NEW MATERIAL AND STOPS AS SCHEDULED. WHERE TACKBOARD IS SCHEDULED, PROVIDE MDF BACKER AND TACKBOARD INFILL, TYPICAL. INLAY 1/2" QUARTERROUND WOOD TRIM, CONTINUOUS, AROUND
- PERIMETER OF ALL TACKBOARD INFILLS. REPLACE BROKEN TRANSOM GLAZING WITH NEW SAFETY GLAZING AS REQUIRED. REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING CLASSROOM ENTRY DOOR RECENTLY REFURBISHED SEE PLAN KEYNOTES.
- PAINT DOOR ON BOTH SIDES TO MATCH EXISTING FRAME COLOR. EXTERIOR-GRADE PAINT FINISH, BOTH SIDES OF DOOR AND FRAME, TO
- MATCH EXISTING. TOUCH UP PAINT AT HARDWARE REMOVAL AND INSTALLATION
- LOCATIONS AT DOOR AND FRAME. [UNUSED] IUNUSEDI W
- PREP AND PAINT FRAME NEAR GROUND. ADJUST AND RESECURE EXISTING HARDWARE - SEE PLAN KEYNOTE FOR

8

10.

11.

LABEL.

17

REFER TO GENERAL PROJECT NOTES ON COVER SHEET AND PLANS FOR ADDITIONAL INFORMATION. REFER TO KEYNOTES ON PLANS FOR ADDITIONAL INFORMATION.

ALUM

MTL

WD

HM

FG

SG

MDF

WS

STN

CLN

CLC

NAT

PT

FRG

IG/IGU

ALUMINUM

HOLLOW METAL

FROSTED GLAZING

SAFETY GLAZING

OTHERWISE)

TACKBOARD

CLEAN ONLY

STAIN

INSULATED GLAZING (UNIT)

(20 MIN UNLESS NOTED

FIRE RATED GLAZING PER UL

MEDIUM DENSITY FIBERBOARD

WIRE SCREEN (MATCH EXIST)

PAINT (SEE FINÌSH KEY ON A200)

CLEAN AND APPLY CLEAR COAT

NATURAL (FACTORY) FINISH

METAL

WOOD

GC TO VERIFY ALL DIMENSIONS, CONDITIONS, AND LOCATIONS IN THE FIELD AND INCORPORATE ALL INFORMATION INCLUDING HINGE PREP FOR EXG HM DOORS TO BE REUSED IN NEW FRAMES. 4. GC IS RESPONSIBLE FOR THE INSTALLATION OF THE PERMANENT DOOR LOCK CORES.

FINAL CORING AND KEYING SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. WHERE INFILL PANEL IN EXISTING FRAME IS INDICATED, RELOCATE AND RESECURE FRAME STOPS AS REQUIRED TO ACCOMODATE NEW MATERIAL. PAINT PANEL TO MATCH FRAME COLOR AS INDICATED ON DOOR SCHEDULE. CONTRACTOR SHALL NOT REMOVE ANY COMPONENTS OF DOOR OR HARDWARE UNTIL ALL COMPONENTS OF NEW ASSEMBLY ARE PHYSICALLY ON SITE, INCLUDING CORES. DOORS AND FRAMES TO BE PAINTED U.N.O. - WHERE

COLOR SELECTION. DOORS SHALL BE SHAVED DOWN AS REQUIRED TO ACCEPT NEW HARDWARE AND/OR ALLOW FOR USE

FINISH IS SCHEDULED, REFER TO FINISH KEY ON A200 FOR

UNOBSTRUCTED. INSTALL DUTCHMEN AT REMOVED MORTISE HARDWARE PRIOR TO INSTALLING RETROFIT WRAPAROUND PLATES. PROVIDING NEW DOOR OR HARDWARE INCLUDES REMOVAL AND DISPOSAL, U.N.O. 12. PROVIDING NEW FRAME INCLUDES REMOVAL AND

DISPOSAL OF DOOR AND FRAME, U.N.O. 13. AT REMOVAL OF DOOR FRAME, SAW CUT AT OLD ANCHORS AND PATCH DAMAGED MASONRY WITH NEW TO MATCH EXG ADJACENT (TEXTURE, JOINT STYLE, MORTAR) AND TOOTH IN ALL NEW WORK. ALLOW FOR PLASTER PATCHING AT INTERIOR WALLS. PATCH PLASTER FINISH AT INTERIOR WALLS, AND PAINT TO MATCH ADJACENT WALL

SURFACES. "REFURBISH" MEANS REFINISH DOOR AND REPLACE HARDWARE - REFER TO SCHEDULE REMARKS AND PLAN KEYNOTES FOR ADDITIONAL INFORMATION. 15. PROVIDE PERMANENT TAG ON CONTINUOUS HINGES WHERE INSTALLATION OBSCURES EXISTING DOOR RATING

16. COORDINATE TEMPORARY SHUTOFF AND RECONNECTION OF SECURITY SYSTEM CONTACTS. ENSURE SYSTEM IS FULLY-OPERATIONAL AT COMPLETION OF THE PROJECT. PREPARE FRAMES PRIOR TO HINGE REPLACEMENT. **REVIEW HINGE REPLACEMENT WITH OWNER IN THE FIELD -**WHERE NEW HINGES ARE NOT INSTALLED, PROVIDE

DEMOLITION PLAN GENERAL NOTES

- PROTECT FINISHES OF EXISTING FLOOR, WALL AND CEILING SURFACES TO REMAIN DURING DEMOLITION. ALL WORK THIS PLAN ALSO INDICATES PATCH & REPAIR TO ALL SURFACES AFFECTED BY DEMOLITION.
- DEMO = REMOVE + DISPOSE. LEGALLY DISPOSE OF ALL DISCARDED MATERIALS AND FURNISHINGS. REFER TO SPEC SECTION 024119 FOR ADDITIONAL
- INFORMATION. PATCH FLOORS TO MATCH EXISTING ADJACENT SURFACE, FINISH AND ELEVATION 4 AS REQUIRED FOR DOOR OPERATION AND THRESHOLDS.
- GC TO PATCH WALLS, FLOORS, AND CEILINGS AT REQUIRED REMOVAL/DEMOLITION. GC TO REMOVE ALL WALL-, DOOR-, FLOOR-, OR CEILING-MOUNTED EQUIPMENT AND ACCESSORIES IN PREPARATION FOR NEW WORK UNLESS NOTED OTHERWISE.
- GC TO PATCH & REPAIR EXISTING PLASTER IN AREAS ADJACENT TO DOOR FRAMES. PRIOR TO DEMO OF DOOR FRAMES, ALL SECURITY AND SIGNAL WIRES, AND ALL OTHER SUPPORT ELECTRICAL WIRING IS TO BE SUPPORTED AND REINSTALLED.
- REFER TO PROJECT GENERAL NOTES REGARDING DISCOVERY AND ABATEMENT OF ANY HAZARDOUS MATERIALS. SEE ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING FINISH / WALL / TRIM
- ARRANGEMENT 10. CONTRACTOR TO PROVIDE ALL DEMOLITION REQUIRED TO ACCOMPLISH THE NEW
- SEE FLOOR PLANS & DOOR SCHEDULES FOR WHICH FRAMED OPENINGS ARE TO 11. REMAIN AND BE PROTECTED.
- 12. DIMENSIONS PROVIDED FOR FRAMED OPENINGS ARE NOMINAL AND NEED TO BE CONFIRMED BY GC. GC TO COORDINATE OPENING DIMENSIONS IN EXISTING WALLS WITH NEW DOOR AND FRAME SIZES - REFRAME TO SUIT THE DOOR SIZE IN THE SCHEDULE OR ADJUST DOOR OR FRAME SIZE TO SUIT THE EXISTING OPENING SIZE.

NEW WORK PLAN GENERAL NOTES

- ALL EXISTING ITEMS AND SURFACES TO REMAIN ARE TO BE PROTECTED DURING 1. CONSTRUCTION. EQUIPMENT AND FURNITURE SHOWN FOR LAYOUT PURPOSES ONLY. NOT IN
- CONTRACT (NIC). SEE PROJECT GENERAL NOTES FOR TEMPORARY HEAT, COOLING, AND HUMIDITY 3. CONTROL REQUIREMENTS.
- WHERE DEMOLISHED ELEMENTS ARE INDICATED, GC TO PATCH AND REPAIR DEMOLISHED WALL ENDS AND INTERSECTING WALL SURFACES AS REQUIRED TO ATTAIN CONSISTENT AND LEVEL FINISH SURFACE, TYP. SEE FLOOR AND DEMO
- PLANS GC TO INSTALL DOOR THRESHOLDS & BUILD UP TO, OR GRIND DOWN, EXISTING FLOOR FINISHES AS REQUIRED TO MATCH FLOOR ELEVATIONS ON EITHER SIDE OF THE OPENING. GC TO PROVIDE SMOOTH TRANSITION (WITH APPROPRIATE ACCESSORIES). GC TO PATCH / PROVIDE NEW SUBSTRATE PER MANUFACTURER'S RECOMMENDATIONS / GUIDELINES TO CREATE A SMOOTH AND LEVEL SURFACE ACROSS DOORWAYS.
- GC TO PROVIDE JOINT SEALANTS FOR JOINTS BETWEEN FRAMES, PARTITIONS, FLOORING, ETC. AS REQUIRED - REFER TO DETAILS AND SPECIFICATIONS. GC TO SEE DOOR SCHEDULE FOR ADDITIONAL WORK TO BE PERFORMED ON DOORS, FRAMES DOOR FINISH, AND/OR DOOR HARDWARE.
- GC TO PAINT EXISTING HM FRAMES AND TRIM, BOTH SIDES, U.N.O. SEE DOOR SCHEDULE. ALL PENETRATIONS THROUGH FIRE-RATED WALL AND FLOOR ASSEMBLIES, BOTH
- NEW AND EXISTING, SHALL BE FIRE STOPPED / RATED PROVIDE FIRESTOPPING TO MAINTAIN FIRE RATING. SEE CODE INFORMATION TABLE.
- NO NOTE ON DRAWINGS SHALL DIMINISH THE REQUIREMENTS OF THE GENERAL 10. CONDITIONS. PRIME CONTRACTOR IS RESPONSIBLE FOR PATCH AND REPAIR OF EXISTING 11
- SURFACES OR NEW WORK AS A RESULT OF CONSTRUCTION ACTIVITIES. ALL UN-TAGGED WALLS TO MATCH EXISTING CONSTRUCTION.
- "UNRENOVATED" ON ROOM TAGS INDICATES CLASSROOM DOORS WERE NOT UPGRADED AS PART OF RECENT CLASSROOM MODERNIZATION PROJECT IN THE SAME BUILDING, AND ARE THE FOCUS OF THIS DOOR REPLACEMENT PROJECT. 14
- PAINT WALL FROM CORNER TO CORNER WHERE WALL PATCHING OCCURS AND AS REQUIRED BY PHASING.

A1.1B	AS REQUIRED TO REMOVE AND REPLACE DOOR FRAME: PATCH GAPS BETWEEN MASONRY WAL
	AND DOOR FRAME EDGES. GROUT JAMBS SOLID - PATCH / BONDO HOLES IN FRAME, TOUCH UP PAINT TO MATCH EXG. REPAIR PLASTER FINISH - REPAINT WALL SURFACE TO MATCH ADJACENT
A1.6	GC TO REMOVE AND PATCH CRUMBLING PLASTER AT DOOR FRAME - PREP AND PAINT TO MATCH EXISTING WALL FINISH.
A2.2	GC TO REMOVE EXISTING AND PROVIDE NEW 90 MINUTE WOOD DOOR AND HARDWARE IN EXISTING METAL FRAME - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. REPAINT FRAME AND ANY EXISTING WOOD TRIM.
A2.3A	GC TO REMOVE EXISTING DOOR, FRAME, AND HARDWARE. SALVAGE DOOR - PREP AND PAINT. PROVIDE NEW PTD MTL FRAME IN EXISTING MASONRY OPENING - AT REMOVAL OF DOOR FRAMI SAW CUT AT OLD ANCHORS AND PATCH DAMAGED MASONRY WITH NEW TO MATCH EXG ADJACENT (TEXTURE, JOINT STYLE, MORTAR) AND TOOTH IN ALL NEW WORK. PATCH PLASTER FINISH AT INTERIOR WALLS. REINSTALL DOOR AND HARDWARE - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.4	NO WORK - EXISTING DOOR, FRAME, AND HARDWARE IN SERVICEABLE CONDITION.
A2.5B	EXISTING DOOR AND FRAME - HARDWARE AND/OR FINISH ADJUSTMENT NEEDED - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.6	EXISTING CLOSET / BUILT-IN CABINET DOOR AND FRAME - GC TO REMOVE EXISTING PULLS AND LOCKING HARDWARE - PATCH DOOR AND FRAME. PLANE DOOR AS NEEDED FOR SMOOTH OPERATION. PREP AND PAINT. INSTALL NEW HARDWARE - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.7	EXISTING CLOSET / BUILT-IN CABINET DOOR, FRAME, AND HARDWARE RECENTLY RENOVATED - NO SCOPE, U.N.O.
A2.8	EXISTING CLASSROOM DOOR - RECENTLY RENOVATED HARDWARE (LEVER CONTROL, CYLINDER, KEY, CLOSER) ON EXISTING DOOR - NO SCOPE AS PART OF THIS PROJECT.
A2.8A	EXISTING CLASSROOM DOOR - RECENTLY RENOVATED HARDWARE (LEVER CONTROL, CYLINDER, KEY, CLOSER) ON EXISTING DOOR - ADJUSTMENTS NEEDED - SEE DOOR SCHEDULE FOR NOTES.
A2.9	ORIGINAL WOOD ACCESS DOOR AND FRAME LOCATED 7 PLUS FEET ABOVE THE FLOOR. LATCHING FUNCTION IS DEFICIENT IN SOME LOCATIONS, BUT DOOR IS INACCESSIBLE TO STUDENTS. EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN - NO SCOPE.
A2.12A	EXISTING WARDROBE DOORS ALREADY REMOVED - REMOVE ANY REMAINING WOOD STOPS AN HARDWARE.
A2.14	FILL DEEP GOUGES IN FINISH AND HOLES FROM REMOVED HARDWARE. PREP AND PAINT WOOD DOOR, METAL FRAME, AND WOOD TRIM (IF PRESENT).
A2.14A	PREP AND PAINT METAL DOOR, METAL FRAME, AND WOOD TRIM (IF PRESENT) - BLANK OFF HOLES (FILLER PLATE / BONDO) FROM REMOVED HARDWARE PRIOR TO PAINTING.

THE SCHOOL DISTRICT OF OFFICE OF CAPITAL PROGRAMS 440 NORTH BROAD STREET PHILADELPHIA, PA 19130 - 4015 (215) 400 - 4730 | (215) 400 - 4731 (fax) www.philasd.org SEAL: MORRIS ZIMMERMAN STATE AND LICENSE NO: PA - RA016908 ARCHITECT O Z Collaborative 4818 Baltimore Avenue Philadelphia, PA 19143 Phone: (215)386-8191 Email: mzimmerman@ozcollaborative.com Attn: Morris Zimmerman, AIA Permit & Bid Drawings 07/23/2021 # DATE REVISION SCHOOL & LOCATION J. MARSHALL ELEMENTARY SCHOOL 1501 Sellers St, Philadelphia, PA 19124 PROJECT TITLE Interior Door Replacement DRAWING TITLE SECOND FLOOR PLANS & **SCHEDULES** DRAWING SCALE As indicated LOCATION NO. FILE NO. 20146 7360 CHECKED BY DRAWN BY OZC OZC GC B-019C OF 2020 / 21 DRAWIING NO. A102 4 OF 6

	1	1 2						3				4	5					
				DOOR SC	HEDULE - THIRE) FLOOR W	/ORK	DOOR SCHEDULE - THIRD FLOOR - NO WORK										
		Door Panel Frame												ame				
	Door	Da sa Tana Chata	- Material Finish	Number of	Thickness	Chatan	Material Finish			ng/Infill Hardware	0	Description	Door	Number of	Thickness	nial Finial Fina D	Glazing/ Inf	
	Number Room # Room Name 300 300 CLASSROOM (UNRENOVA)	Door Type Status TED) DT-3 NEW			(VIF) (VIF) Frame 1/2" 1 3/4" FT-	71.	Material Finish	Sill Detail Detail	y	ype Set 8.0	Comments	Description	Number Room # Room Name Door Type Material Finish 301.3 301 CLASSROOM (UNRENOVATED) DT-9	Leaves V	Width (VIF) Height (VIF) (VIF) Frame Type Mate 1'-6 1/2" 4'-5 1/2" 1 1/8"	rial Finish Fire Ra	ating Type	Comments
	300.1 300 CLASSROOM (UNRENOVA	,		1 1'-6" 6'-11		2 ETR 5 ETR	HM PT-0A, PT-06 WD PT-6		90 MIN				301.3 301 CLASSROOM (UNRENOVATED) DT-9 302.1 302 3RD GRADE CLASSROOM DT-5 WD	1	1'-6 1/2" 4'-5 1/2" 1 1/8" 1'-6" 6'-10 1/2" 1 1/8"			A
	300.2 300 CLASSROOM (UNRENOVA	,		1 2'-2 7/8" 4'-3		-	WD PT-6				B, I, J B, I, J		302.1 302 3RD GRADE CLASSROOM D1-3 WD 302.2 302 3RD GRADE CLASSROOM DT-7 WD	I	2'-2 3/4" 4'-5 1/2" 1 1/8"			Α
	300A 300A OFFICE (UNRENOVATED)	DT-3 NEW					HM PT-0A, PT-0	2	90 MIN	8.0			302.3 302 3RD GRADE CLASSROOM D1-7 WD 302.3 302 3RD GRADE CLASSROOM D1-9 WD		1'-6 1/2" 4'-5 1/2" 1 1/8"			Δ
	300A.1 300A OFFICE (UNRENOVATED)	DT-5 ETR		1 1'-6" 7'-(WD PT-6		20 10111	16.0			302.3 302 3KD GRADE CLASSROOM D1-7 WD 303.2 303 3RD GRADE CLASSROOM DT-7 WD		2'-2 1/2" 4'-3 1/2" 1 1/8"			Δ
A	300A.2 300A OFFICE (UNRENOVATED)	DT-12 ETR		4 2'-4 1/2" 6'-7			WD PT-6			16.0			303.2 303 3RD GRADE CLASSROOM DT-9 WD		1'-6 1/2" 4'-5 1/2" 1 1/8"			Δ
A	300B 300B STORAGE	DT-3 ETR		1 3'-0" 6'-11			HM PT-0A		90 MIN	9.0			304.3 304 CLASSROOM (UNRENOVATED) DT-9 WD		1'-6 1/2" 4'-5 1/2" 1 1/8"			A
	301 301 CLASSROOM (UNRENOVA						HM PT-0A, PT-06	3	90 MIN	8.0			305.3 305 CLASSROOM (UNRENOVATED) DT-9 WD		1'-6 1/2" 4'-5 1/2" 1 1/8"			A
	301.1 301 CLASSROOM (UNRENOVA	,		1 1'-6" 6'-10			WD PT-6			16.0			305.4 305 CLASSROOM (UNRENOVATED) DT-9		1'-6 1/2" 4'-5 1/2" 1 1/8"			A
	301.2 301 CLASSROOM (UNRENOVA	,		1 2'-2 1/2" 6'-10			WD PT-6			16.0			S303.1 S303 NORTH STAIR DT-4 HM		2'-11 3/4" 6'-7 1/4" 1 3/4"	90 MI	IN	A
	302 302 3RD GRADE CLASSROOM	DT-2 ETR					HM PT-0A, PT-0	3	20 MIN		A, I, M, R		Level 3: 10					
	303 303 3RD GRADE CLASSROOM	DT-2 ETR	R WD PT-1D, PT-2	2 1 3'-3 3/4" 6'-11	1/2" 1 3/4" FT-	1 ETR	HM PT-0A, PT-0	3	20 MIN	20.0	A, I, M, R							
	303.1 303 3RD GRADE CLASSROOM	DT-5 ETR	R WD ETR	1 1'-6" 6'-10	1/2" 1 1/8" FT-	5 ETR	WD			20.0	A, F, Y	Adjust overhead stop so						
											(door remains closed.	DOOR & BUILT-IN CABINET SCHEDULE NOTES.					
	304 304 CLASSROOM (UNRENOVA	,				1 ETR	HM PT-0A, PT-0	3	20 MIN		C, I, J		DOOR SCHEDULE COMMENTS (AS APPLICABLE)	Г	DOOR SCHEDULE GENERAL NOTES		DOOR SC	CHEDULE ABBREVIATIONS
	304.1 304 CLASSROOM (UNRENOVA	'	R WD PT-6	1 1'-6" 6'-10	1/2" 1 1/8" FT-		WD PT-6				B, I, J		A. EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN.	<u> </u>			ETR	EXISTING TO REMAIN
	304.2 304 CLASSROOM (UNRENOVA			1 2'-2 3/4" 4'-4		5 ETR	WD PT-6			16.0			B. REMOVE EXISTING AND PROVIDE NEW HARDWARE TO EXISTING DO	DOR 1	1. REFER TO GENERAL PROJECT NOTES ON		ALUM	ALUMINUM
	305 305 CLASSROOM (UNRENOVA	,					HM PT-0A, PT-0	3	20 MIN		C, I. J			0	AND PLANS FOR ADDITIONAL INFORMATIC		MTL	METAL
	305.1 305 CLASSROOM (UNRENOVA	/		1 1'-6" 6'-10			WD PT-6			16.0			C. REMOVE EXISTING AND PROVIDE NEW DOOR AND HARDWARE IN EXISTING FRAME.	2	2. REFER TO KEYNOTES ON PLANS FOR AD INFORMATION.	JHONAL		WOOD HOLLOW METAL
	305.2 305 CLASSROOM (UNRENOVA	,		1 2'-2" 6'-10			WD PT-6			16.0			D. PROVIDE NEW DOOR IN EXISTING FRAME. REINSTALL EXISTING	3	3. GC TO VERIFY ALL DIMENSIONS, CONDITI	ONS, AND	FG	FROSTED GLAZING
	306 306 CLASSROOM (UNRENOVA	,					HM PT-0A, PT-0	3	20 MIN	8.0			HARDWARE	-	LOCATIONS IN THE FIELD AND INCORPOR	ATEALL	IG/IGU	INSULATED GLAZING (UNIT)
	306.1 306 CLASSROOM (UNRENOVA	,		1 1'-6" 7'-6			WD PT-6			16.0			INTO NEW DOOR.		INFORMATION INCLUDING HINGE PREP F	JR EXG HM	SG	SAFETY GLAZING
	306.2 306 CLASSROOM (UNRENOVA	,		1 2'-5" 7'-6			WD PT-6			16.0	+		E. PROVIDE NEW DOOR, FRAME AND HARDWARE. F. ADJUST HINGES/CLOSER/STRIKE OR REHANG DOOR TO ENSURE	Л	DOORS TO BE REUSED IN NEW FRAMES.4. GC IS RESPONSIBLE FOR THE INSTALLAT		FRG	FIRE RATED GLAZING PER UL (20 MIN UNLESS NOTED
	307 307 TOILET	DT-2 ETR	, ,				HM PT-0A		20 MIN	14.0			SMOOTH SWING OPERATION SO THAT DOOR CAN FULLY OPEN AND) 4	PERMANENT DOOR LOCK CORES.	JN OF THE		OTHERWISE)
	308 308 STORAGE	DT-1 ETR		1 2'-8" 7'-(HM PT-0A		20 MIN	20.0			FULLY CLOSE AND LATCH.	5	5. FINAL CORING AND KEYING SHALL BE AP	'ROVED BY THE	MDF	MEDIUM DENSITY FIBERBOARD
	309 309 TOILET	DT-2 ETR					HM PT-0A		20 MIN	14.0			G. REPLACE DETERIORATING METAL FRAME. REHANG WITH EXISTING	DOOR	OWNER'S REPRESENTATIVE.		ТВ	TACKBOARD
	310 310 STORAGE	DT-1 ETR		1 3'-0" 6'-11			HM PT-0A		20 MIN	20.0			PANEL AND HARDWARE AS SCHEDULED.	6	6. WHERE INFILL PANEL IN EXISTING FRAME		WS	WIRE SCREEN (MATCH EXIST)
	311 311 MOP	DT-1 ETR		1 2'-11 3/4" 6'-11			HM PT-0A		20 MIN	9.0			H. REPLACE MISSING AND/OR DAMAGED DOOR PANEL OR INFILL WITH MATERIAL TO MATCH EXISTING AS SCHEDULED.		RELOCATE AND RESECURE FRAME STOF TO ACCOMODATE NEW MATERIAL. PAINT		STN	PAINT (SEE FINÌSH KEY ON A200) STAIN
	S301 S301 EAST STAIR	DT-3 NEW		2 6'-0" 6'-8			HM PT-0A		90 MIN	2.0			I. CLEAN AND PATCH ALL SURFACES OF EXISTING DOOR, FRAME, AN	D/OR	FRAME COLOR AS INDICATED ON DOOR S		CLN	CLEAN ONLY
	S302 S302 WEST STAIR	DT-3 NEW		2 6'-0" 6'-6			HM PT-0A		90 MIN	2.0			HARDWARE TO "LIKE NEW" CONDITION. FILL ANY GAPS IN TRIM AND) 7	7. CONTRACTOR SHALL NOT REMOVE ANY	COMPONENTS OF	CLC	CLEAN AND APPLY CLEAR COAT
	S303 S303 NORTH STAIR	DT-4 ETR	R HM PT-2	1 2'-11 3/4" 6'-7 7	/4" 1 3/4" FT-	2 ETR	HM PT-0A		90 MIN	20.0	A, L		PANELING. BLANK OFF HOLES (FILLER PLATE / BONDO) IN METAL D	DORS	DOOR OR HARDWARE UNTIL ALL COMPO		NAT	NATURAL (FACTORY) FINISH
	Level 3: 30												FROM PREVIOUS HARDWARE REMOVAL.		ASSEMBLY ARE PHYSICALLY ON SITE, INC	LUDING CORES.		

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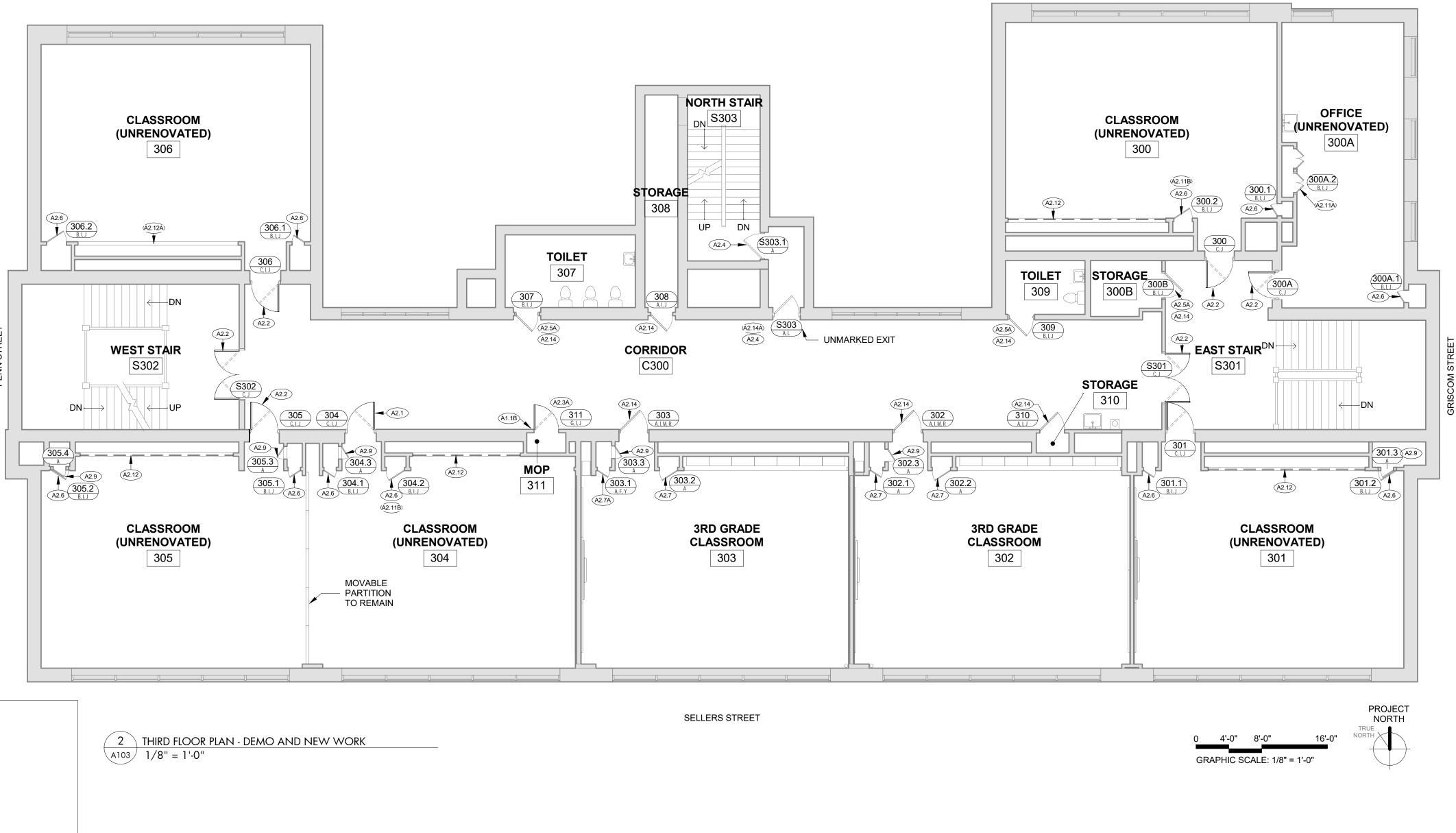
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- FROM PREVIOUS HARDWARE REMOVAL. FINISH DOOR AND/OR FRAME AS SCHEDULED (PAINT/STAIN/CLEAR FINISH) ON BOTH SIDES OF ASSEMBLY. FRAME COLORS TRANSITION FROM CORRIDOR TO ROOM INTERIOR COLOR AT STOP PER FRAME PAINTING DETAIL.
- FINISH DOOR AND/OR FRAME AS SCHEDULED (PAINT/STAIN/CLEAR ĸ FINISH) ON INTERIOR FACE (OR CLASSROOM SIDE) OF ASSEMBLY ONLY. FINISH DOOR AND/OR FRAME AS SCHEDULED (PAINT/STAIN/CLEAR FINISH) ON EXTERIOR FACE (OR CORRIDOR SIDE) OF ASSEMBLY ONLY. FINISH DOOR AS SCHEDULED (PAINT/STAIN/CLEAR FINISH) ON BOTH Μ SIDES OF ASSEMBLY AND FRAME AS SCHEDULED ON EXTERIOR
- (CORRIDOR) FACES OF ASSEMBLY ONLY. REMOVE EXISTING PARTIAL PAINT FINISH AND REFINISH DOOR AND Ν. FRAME AS SCHEDULED (PAINT/STAIN/CLEAR FINISH). REMOVE EXISTING GLAZING AND GLAZING STOPS AND REPLACE WITH NEW MATERIAL AND STOPS AS SCHEDULED. WHERE TACKBOARD IS
- SCHEDULED, PROVIDE MDF BACKER AND TACKBOARD INFILL, TYPICAL. INLAY 1/2" QUARTERROUND WOOD TRIM, CONTINUOUS, AROUND PERIMETER OF ALL TACKBOARD INFILLS. Ρ.
- REPLACE BROKEN TRANSOM GLAZING WITH NEW SAFETY GLAZING AS REQUIRED. REFER TO DRAWINGS FOR ADDITIONAL INFORMATION. EXISTING CLASSROOM ENTRY DOOR RECENTLY REFURBISHED - SEE R.
- PLAN KEYNOTES. PAINT DOOR ON BOTH SIDES TO MATCH EXISTING FRAME COLOR. EXTERIOR-GRADE PAINT FINISH, BOTH SIDES OF DOOR AND FRAME, TO
- MATCH EXISTING. TOUCH UP PAINT AT HARDWARE REMOVAL AND INSTALLATION U LOCATIONS AT DOOR AND FRAME.
- [UNUSED] IUNUSEDI W PREP AND PAINT FRAME NEAR GROUND.
- ADJUST AND RESECURE EXISTING HARDWARE SEE PLAN KEYNOTE FOR ADDITIONAL INFORMATION.

COLOR SELECTION.

UNOBSTRUCTED.

10.

11.

14.

LABEL.

ASSEMBLY ARE PHYSICALLY ON SITE, INCLUDING CORES. 8. DOORS AND FRAMES TO BE PAINTED U.N.O. - WHERE FINISH IS SCHEDULED, REFER TO FINISH KEY ON A200 FOR

DOORS SHALL BE SHAVED DOWN AS REQUIRED TO ACCEPT NEW HARDWARE AND/OR ALLOW FOR USE

INSTALL DUTCHMEN AT REMOVED MORTISE HARDWARE PRIOR TO INSTALLING RETROFIT WRAPAROUND PLATES. PROVIDING NEW DOOR OR HARDWARE INCLUDES REMOVAL AND DISPOSAL, U.N.O. 12. PROVIDING NEW FRAME INCLUDES REMOVAL AND

DISPOSAL OF DOOR AND FRAME, U.N.O. 13. AT REMOVAL OF DOOR FRAME, SAW CUT AT OLD ANCHORS AND PATCH DAMAGED MASONRY WITH NEW TO

MATCH EXG ADJACENT (TEXTURE, JOINT STYLE, MORTAR) AND TOOTH IN ALL NEW WORK. ALLOW FOR PLASTER PATCHING AT INTERIOR WALLS. PATCH PLASTER FINISH AT INTERIOR WALLS, AND PAINT TO MATCH ADJACENT WALL SURFACES.

"REFURBISH" MEANS REFINISH DOOR AND REPLACE HARDWARE - REFER TO SCHEDULE REMARKS AND PLAN KEYNOTES FOR ADDITIONAL INFORMATION. 15. PROVIDE PERMANENT TAG ON CONTINUOUS HINGES WHERE INSTALLATION OBSCURES EXISTING DOOR RATING 16. COORDINATE TEMPORARY SHUTOFF AND RECONNECTION

OF SECURITY SYSTEM CONTACTS. ENSURE SYSTEM IS FULLY-OPERATIONAL AT COMPLETION OF THE PROJECT. 17. PREPARE FRAMES PRIOR TO HINGE REPLACEMENT. REVIEW HINGE REPLACEMENT WITH OWNER IN THE FIELD -WHERE NEW HINGES ARE NOT INSTALLED, PROVIDE CREDIT TO OWNER.



DEMOLITION PLAN GENERAL NOTES

- PROTECT FINISHES OF EXISTING FLOOR, WALL AND CEILING SURFACES TO REMAIN DURING DEMOLITION. ALL WORK THIS PLAN ALSO INDICATES PATCH & REPAIR TO ALL SURFACES AFFECTED BY DEMOLITION.
- DEMO = REMOVE + DISPOSE. LEGALLY DISPOSE OF ALL DISCARDED MATERIALS AND FURNISHINGS. REFER TO SPEC SECTION 024119 FOR ADDITIONAL INFORMATION.
- PATCH FLOORS TO MATCH EXISTING ADJACENT SURFACE, FINISH AND ELEVATION 4 AS REQUIRED FOR DOOR OPERATION AND THRESHOLDS. GC TO PATCH WALLS, FLOORS, AND CEILINGS AT REQUIRED REMOVAL/DEMOLITION.
- GC TO REMOVE ALL WALL-, DOOR-, FLOOR-, OR CEILING-MOUNTED EQUIPMENT AND ACCESSORIES IN PREPARATION FOR NEW WORK UNLESS NOTED OTHERWISE. GC TO PATCH & REPAIR EXISTING PLASTER IN AREAS ADJACENT TO DOOR FRAMES.
- PRIOR TO DEMO OF DOOR FRAMES, ALL SECURITY AND SIGNAL WIRES, AND ALL OTHER SUPPORT ELECTRICAL WIRING IS TO BE SUPPORTED AND REINSTALLED.
- REFER TO PROJECT GENERAL NOTES REGARDING DISCOVERY AND ABATEMENT OF ANY HAZARDOUS MATERIALS. SEE ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING FINISH / WALL / TRIM
- ARRANGEMENT. 10. CONTRACTOR TO PROVIDE ALL DEMOLITION REQUIRED TO ACCOMPLISH THE NEW WORK
- 11. SEE FLOOR PLANS & DOOR SCHEDULES FOR WHICH FRAMED OPENINGS ARE TO REMAIN AND BE PROTECTED.
- 12. DIMENSIONS PROVIDED FOR FRAMED OPENINGS ARE NOMINAL AND NEED TO BE CONFIRMED BY GC. GC TO COORDINATE OPENING DIMENSIONS IN EXISTING WALLS WITH NEW DOOR AND FRAME SIZES - REFRAME TO SUIT THE DOOR SIZE IN THE SCHEDULE OR ADJUST DOOR OR FRAME SIZE TO SUIT THE EXISTING OPENING SIZE.

NEW WORK PLAN GENERAL NOTES

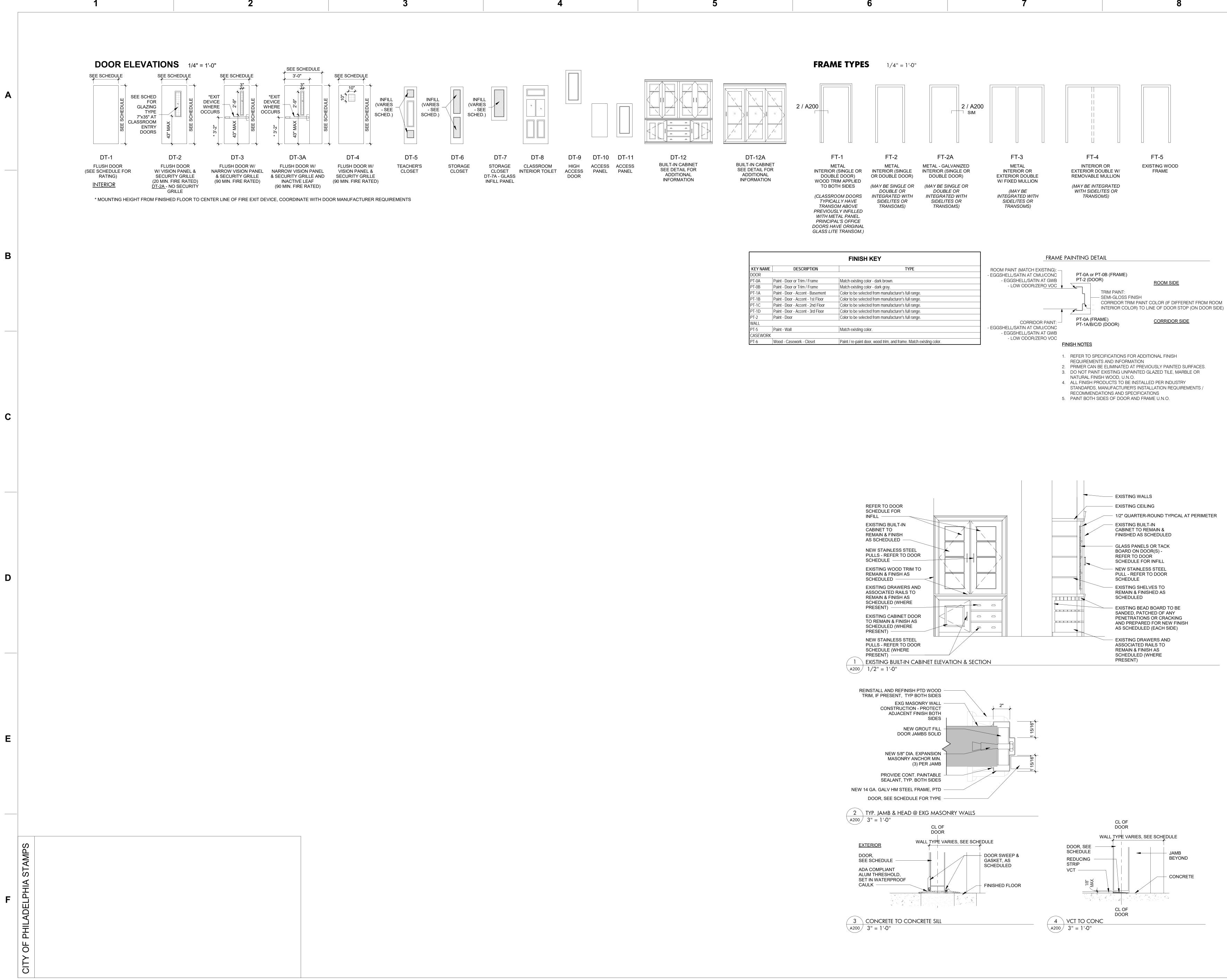
- ALL EXISTING ITEMS AND SURFACES TO REMAIN ARE TO BE PROTECTED DURING 1 CONSTRUCTION. EQUIPMENT AND FURNITURE SHOWN FOR LAYOUT PURPOSES ONLY. NOT IN
- CONTRACT (NIC). SEE PROJECT GENERAL NOTES FOR TEMPORARY HEAT, COOLING, AND HUMIDITY CONTROL REQUIREMENTS.
- WHERE DEMOLISHED ELEMENTS ARE INDICATED, GC TO PATCH AND REPAIR 4. DEMOLISHED WALL ENDS AND INTERSECTING WALL SURFACES AS REQUIRED TO ATTAIN CONSISTENT AND LEVEL FINISH SURFACE, TYP. SEE FLOOR AND DEMO PLANS
- GC TO INSTALL DOOR THRESHOLDS & BUILD UP TO, OR GRIND DOWN, EXISTING FLOOR FINISHES AS REQUIRED TO MATCH FLOOR ELEVATIONS ON EITHER SIDE OF THE OPENING. GC TO PROVIDE SMOOTH TRANSITION (WITH APPROPRIATE ACCESSORIES) . GC TO PATCH / PROVIDE NEW SUBSTRATE PER MANUFACTURER'S RECOMMENDATIONS / GUIDELINES TO CREATE A SMOOTH AND LEVEL SURFACE
- ACROSS DOORWAYS. GC TO PROVIDE JOINT SEALANTS FOR JOINTS BETWEEN FRAMES, PARTITIONS, 6. FLOORING, ETC. AS REQUIRED - REFER TO DETAILS AND SPECIFICATIONS. GC TO SEE DOOR SCHEDULE FOR ADDITIONAL WORK TO BE PERFORMED ON
- DOORS, FRAMES DOOR FINISH, AND/OR DOOR HARDWARE. GC TO PAINT EXISTING HM FRAMES AND TRIM, BOTH SIDES, U.N.O. SEE DOOR SCHEDULE.
- ALL PENETRATIONS THROUGH FIRE-RATED WALL AND FLOOR ASSEMBLIES, BOTH NEW AND EXISTING, SHALL BE FIRE STOPPED / RATED - PROVIDE FIRESTOPPING TO MAINTAIN FIRE RATING. SEE CODE INFORMATION TABLE.
- NO NOTE ON DRAWINGS SHALL DIMINISH THE REQUIREMENTS OF THE GENERAL 10. CONDITIONS.
- PRIME CONTRACTOR IS RESPONSIBLE FOR PATCH AND REPAIR OF EXISTING 11 SURFACES OR NEW WORK AS A RESULT OF CONSTRUCTION ACTIVITIES.
- ALL UN-TAGGED WALLS TO MATCH EXISTING CONSTRUCTION. 12 "UNRENOVATED" ON ROOM TAGS INDICATES CLASSROOM DOORS WERE NOT 13 UPGRADED AS PART OF RECENT CLASSROOM MODERNIZATION PROJECT IN THE
- SAME BUILDING, AND ARE THE FOCUS OF THIS DOOR REPLACEMENT PROJECT. PAINT WALL FROM CORNER TO CORNER WHERE WALL PATCHING OCCURS AND AS 14. REQUIRED BY PHASING.

A1.1B AS REQUIRED TO REMOVE AND REPLACE DOOR FRAME: PATCH GAPS BETWEEN MASONRY WALL

PLAN / INTERIOR ELEVATION KEYNOTES

	AND DOOR FRAME EDGES. GROUT JAMBS SOLID - PATCH / BONDO HOLES IN FRAME, TOUCH PAINT TO MATCH EXG. REPAIR PLASTER FINISH - REPAINT WALL SURFACE TO MATCH ADJAC
A2.1	NEW CLASSROOM OR OFFICE ENTRY DOOR - GC TO REMOVE EXISTING AND PROVIDE NEW 2 MINUTE WOOD DOOR WITH FIRE-RATED TEMPERED GLASS VISION PANEL AND NEW HARDWA IN EXISTING METAL FRAME - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. PREP AN PAINT DOOR, REPAINT FRAME AND EXISTING WOOD TRIM.
A2.2	GC TO REMOVE EXISTING AND PROVIDE NEW 90 MINUTE WOOD DOOR AND HARDWARE IN EXISTING METAL FRAME - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION. REPAINT FRAME AND ANY EXISTING WOOD TRIM.
A2.3A	GC TO REMOVE EXISTING DOOR, FRAME, AND HARDWARE. SALVAGE DOOR - PREP AND PAIN PROVIDE NEW PTD MTL FRAME IN EXISTING MASONRY OPENING - AT REMOVAL OF DOOR FR SAW CUT AT OLD ANCHORS AND PATCH DAMAGED MASONRY WITH NEW TO MATCH EXG ADJACENT (TEXTURE, JOINT STYLE, MORTAR) AND TOOTH IN ALL NEW WORK. PATCH PLAST FINISH AT INTERIOR WALLS. REINSTALL DOOR AND HARDWARE - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.4	NO WORK - EXISTING DOOR, FRAME, AND HARDWARE IN SERVICEABLE CONDITION.
A2.5A	EXISTING DOOR AND FRAME - GC TO PROVIDE NEW HARDWARE FOR EXISTING DOOR - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.6	EXISTING CLOSET / BUILT-IN CABINET DOOR AND FRAME - GC TO REMOVE EXISTING PULLS A LOCKING HARDWARE - PATCH DOOR AND FRAME. PLANE DOOR AS NEEDED FOR SMOOTH OPERATION. PREP AND PAINT. INSTALL NEW HARDWARE - SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.7	EXISTING CLOSET / BUILT-IN CABINET DOOR, FRAME, AND HARDWARE RECENTLY RENOVATE NO SCOPE, U.N.O.
A2.7A	EXISTING CLOSET / BUILT-IN CABINET DOOR, FRAME, AND HARDWARE RECENTLY RENOVATE HARDWARE ADJUSTMENT NEEDED, SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.9	ORIGINAL WOOD ACCESS DOOR AND FRAME LOCATED 7 PLUS FEET ABOVE THE FLOOR. LATCHING FUNCTION IS DEFICIENT IN SOME LOCATIONS, BUT DOOR IS INACCESSIBLE TO STUDENTS. EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN - NO SCOPE.
A2.11A	EXISTING MILLWORK - REMOVE LOCKING AND PULL HARDWARE AND PATCH DOORS AT REMOVAL LOCATIONS. REPLACE PULLS AND LOCKING HARDWARE ON (2) PAIRS OF DOORS, CABINET DOORS, AND (4) DRAWERS. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
A2.11B	EXISTING MILLWORK - RESTORE TO WORKING CONDITION EXISTING DRAWERS, PULLS, AND WOOD SUPPORTS.
A2.12	REMOVE ALL EXISTING SLIDING WARDROBE DOORS, WOOD STOPS, AND HARDWARE. PREP / PAINT FRAME AND TRIM PT-4.
A2.12A	EXISTING WARDROBE DOORS ALREADY REMOVED - REMOVE ANY REMAINING WOOD STOPS HARDWARE.
A2.14	FILL DEEP GOUGES IN FINISH AND HOLES FROM REMOVED HARDWARE. PREP AND PAINT WO DOOR, METAL FRAME, AND WOOD TRIM (IF PRESENT).
A2.14A	PREP AND PAINT METAL DOOR, METAL FRAME, AND WOOD TRIM (IF PRESENT) - BLANK OFF HOLES (FILLER PLATE / BONDO) FROM REMOVED HARDWARE PRIOR TO PAINTING.

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