



THE SCHOOL DISTRICT OF PHILADELPHIA

THE SCHOOL DISTRICT OF PHILADELPHIA
Office of Capital Programs
440 North Broad Street, 3rd Floor – Suite 371
Philadelphia, PA 19130

TELEPHONE: (215) 400-4730

Addendum No. 04

Subject: James Logan Elementary School Toilet Room Renovations
SDP Contract Nos. B-001C, B-002C, B-003C, B-004C of 2020/21

Location: James Logan Elementary School, 1700 Lindley Avenue, Philadelphia, PA 19141

This Addendum dated 08 of October 2021, shall modify and become part of the Contract Documents for the work of this project. Any items not mentioned herein, or affected by, shall be performed strictly in accordance with the original documents.

NOTICE:

Clarifications: None

Questions & Answers:

Question 1: We were unable to gain access to work areas at the site visit that are critical to see for bidding purposes (attic, roof, etc). Please provide a second site visit with an SDP representative in attendance that can provide access to all work areas.

Answer: There will not be a second site visit.

Question 2: Please provide access routes to the attic and the roof.

Answer: See attached existing Attic floor plan for access and Catwalks. Contractor is responsible for providing access if adequate access does not exist.

Question 3: Please confirm that the Plumbing Prime Contractor will be responsible for patching penetrations (grouting) at removed embedded pipe locations.

Answer: Refer to Addendum #1, answer to Question no 1.

Question 4: Please confirm that all demolition and proposed work that is annotated on the photos shown on drawing G-300 is also identified on the respective "Enlarged Plans" (A-150, A-151A, A-151B, A-152A, A-152B, A-153) for each room in the photos. Photo markups are not dimensioned and cannot be scaled. All demolition or proposed work shown on the G-300 photos should also be shown on the Enlarged Drawings for clarity and estimating purposes.

Answer: See General Notes on Sheet G-300, the photos are shown for clarification and are not meant to show the entire scope of work.

Question 5: Please confirm that there is not any new ceiling work included in this project (drawing indicate paint only).

Answer: Extent of ceiling work is to patch, repair, and reinstall existing ceiling as required. All existing toilet room ceilings to receive new paint

Question 6: New Work Key Note P7 (A-150) indicates that all existing partitions are to receive a “FOE-T PARTITION” installed over the existing partition. The note references A-120 and 1/A-630 for more information, however additional information is not provided. Please clarify what a “FOE-T PARTITION” is

Answer: Partition Type FOE-T is fully detailed on the Partition Schedule Sheet A-600. This partition type is to be coordinated with the room elevation drawing sheets call for ceramic wall tile to determine whether Partition Type FOE-T utilizes standard GWB or tile backer board.

Question 7: The specification section 066510 Solid Surface Countertops Part 2.1 D.2. indicates integral solid surface sink bowls are to be fabricated in the shop. The drawings have notes that indicate both integral and undermount sinks – referenced Note P19 on the enlarged plan drawings. Note P19 also says that solid surface counter tops and integral sinks shall be provided for non child use – what does this mean? Detail 4/A-120 shows an undermount type sink but notes it as an integral solid surface type lav; Corian #810P for the boys rooms and #820P for the girls rooms. The Plumbing drawings show LAV-1 for all new lavatory bowls in all new toilet room vanities. The Plumbing spec section for fixture types does not describe LAV-1. Please clarify the locations and model numbers for all solid surface integral type and undermount type lavatory bowls.

Answer: Keynote P28 covers child height mounted lavatories within the following rooms:

- Headstart Restroom 106A
- Headstart Restroom 001A
- Autistic Support Restroom 104A
- Autistic Support Restroom 108A

Keynote P19 covers all other restrooms except for Staff Restroom 014. Reference enlarged restroom plans on sheets A-150 through A-153 for application of both keynotes and scope of work. Per both keynotes, please review drawing 4/A-120. Non-child height lavatories shall not exceed 34” in height from finish floor. Child height lavatories shall not exceed 31” in height from finish floor. All lavatories keyed on drawings A-150 through A-153 shall be basis of design: Accessible 810P Corian integral lavatory provided by GC. Accessible 820P Corian integral lavatory has been removed from the project scope.

Question 8: Detail 8/A-150 for the Staff Restroom 014: There is no vanity and lav bowl shown for this room. Is a new vanity and solid surface lav bowl intended but not shown?

Answer: Provide new Lavatory in this location. The drawings will not change.

Question 9: Detail 4/A-152B for the infirmary Restroom 204A: There is no vanity bowl shown for this room. Is a new vanity and solid surface lav bowl intended but not shown?

Answer: Infirmary Restroom 204A will become a storage room.

Question 10: The requirements for solid surface jambs and sills at windows in toilet rooms are very confusing and not detailed fully. Notes are conflicting, plan representations are incorrect, and it seems that some Note reference indicators for some toilet rooms are missing. Interior elevations of toilet rooms do not provide clarity either. Example – is it the intent that all windows in toilet rooms are to receive new solid surface jambs and sills per note P-26, because plan detail 7/A-152A does not sure it for the long set of windows. A lot of materials are meeting at the windows, gwb, plywood with solid surface, 1” quarter round wood, tile. How does that all come together at the windows? Another question – if solid surface jambs and sills are intended, what about the window heads? Is the intent to have just cut jamb and sill pieces of solid surface material with eased edges only, or is build-up of solid surface intended/required.

Answer: See keynotes P-14, P-26, and sections 1/A-630 and 4/A-630 for window scope of work. See drawing changes listed below.

Question 11: Are the following rooms considered to be “Staff” rooms or “Boys/Girls” rooms per the Restroom Finish Legend on A-120

- a. Headstart Restrooms
- b. Autistic Support Restrooms
- c. Infirmary Restroom
 1. There is a significant cost variance to the solid surface between types SS-2 & SS-3 for boys/girls toilet rooms the lower cost

Answer: The following restrooms are considered “Boys/Girls” per the Restroom Finish Legend on A-120 and shall have SS-3 countertops and PL-2 vanities:

- Headstart Restroom 106A
- Headstart Restroom 001A
- Infirmary Restroom 204B
- Autistic Support Restroom 104A
- Autistic Support Restroom 108A

Question 12: Storage Room OB2B on details 2 and 8/A151B shows existing shelving being removed by note D4, and new painted hardwood and plywood shelves to be provided in kind. There are (2) shelving units 3’-3” wide, 12” deep, and (3) shelving units 2’-3” wide x 12” deep.

- a. How tall are they?
- b. How many shelves each?
- c. Shelves fixed or adjustable?
- d. Is birch veneer plywood ok? Note says to match existing, what wood species is the existing?

- e. Should we include just priming them, or include painting them as well? – or unprimed and painted, to be primed and painted by the painter?

Answer: Storage Room OB2B has shelving that must be replaced on the (3) walls. Shelving shall be (8) shelves high (7'-6" AFF), the full length of walls. Shelving will be fixed. Birch veneer plywood is acceptable so long as it is grade A and surfaces are smooth and ready to be painted. Shelving supports and all exposed shelf edges shall be made of pine. Shelves can be primed and painted in the field to match the existing shelving color. The walls and ceiling paint color shall match existing paint colors. Review shelving layout with Architects before installation.

CHANGES TO DRAWINGS

The following changes have been made to sheets G-203 and G-204:

For drawings the following note listed under Phase 2 of the Phasing Notes has been eliminated:

- “GC to install temporary visquine across each exterior opening at the 1st, 2nd, & 3rd floor landings (S11, S16, S26, S31, S36) from October 1, 2021 to April 15, 2022. Secure visquine to prevent precipitation from accessing the landing. Repair as required.”

The following (2) General Phasing Notes have been added:

- “Work in the Roof & Attic shall not commence until after June 15, 2020 and shall be completed while school is not in session”
- “Contractor is prohibited from any demolition or new work task that impacts the attic and roof areas until June 15, 2022.”

The following changes have been made to sheets A-150 through A-153:

Keynote P12 shall be amended to read as follows:

- “Where new wall tile is not called for, GC to patch, prep, and paint all existing to remain walls and surfaces throughout the entire space. GC to paint all exposed pipes, conduit, ductwork to match adjacent surface. GC to complete in-place mockup for architect to review before proceeding to paint entire space. GC to test for surface adhesion at existing glazed masonry. Inform Architect of results.”

P14 shall be amended to read as follows:

- “GC to install glazed insulated metal panel at upper window sashes of double hung windows. Architect to select from Manufacturer’s full range of standard and custom colors. BOD: Mapes R Infill Panels. Coordinate with MC and their louver opening in metal panel. GC to install window film WF-1 at lower sash glazing of double hung windows. Verify all conditions and measurements in field. Notify architect of discrepancies. See detail 1/A-630. GC to furr out windows and install SS-1 sills, jambs, & head conditions.”

Keynote P26 shall be amended to read as follows:

- “GC to install window film WF-1 to existing double hung windows. Typical 2 glazing panels at each double hung window. Verify all conditions and measurements in field. Notify architect of discrepancies. See detail 1/A-630. All windows shall have solid surface SS-1 sills, jambs, and head conditions.”

The following changes have been made to sheets A-150:

Drawing 5/A-150

- Note and graphic have been added, “Painted plywood divider secured to existing exterior wall and new cmu partition from sill to ceiling.”

Drawing 7/A-150 has been modified as follows:

- Note and graphic have been added, “Painted plywood divider secured to existing exterior wall and new cmu partition from sill to ceiling.”
- Child use countertop is now 4'-0" wide
- Keynotes P5, P6, P20, & P-28 have shifted in location

Drawing 8/A-150 has been modified as follows:

- Keynote P26 has been added
- Keynote P-14 has shifted in location

The following changes have been made to sheets A-151A:

Drawing 1/A-151A has been modified as follows:

- Wall demolition scope has been modified

Drawings 5/A-151A and 6/A-151A have been modified as follows:

- Keynote P-26 has been added
- Partition types have been modified
- SS-1 sill is graphically shown

The following changes have been made to sheets A-151B:

Drawing 11/A-151B has been modified as follows:

- The countertop is Non-child use, keynote P-19.
- Water closet type 3 shall be installed, keynote P-3.

Drawing 2/A-151B has been modified as follows:

- Shelves and keynote D4 have been added

Drawing 8/A-151B has been modified as follows:

- Note has been amended per Addendum 1

The following changes have been made to sheets A-152A:

Drawing 1/A-152A has been modified as follows:

- Wall demolition scope has been modified

Drawings 5/A-152A, 6/A-152A, 7/A-152A, 8/A-152A have been modified as follows:

- Keynote P-26 has been added
- Partition types have been modified
- SS-1 sill is graphically shown
- Keynote P-22 has been added

The following changes have been made to sheets A-152B:

Drawing 3/A-152B has been modified as follows:

- Keynote P-26 has been added
- Added Keynote P-22

The following changes have been made to sheets A-153:

Drawing 1/A-153 has been modified as follows:

- Wall demolition scope has been modified

Drawings 5/A-153, 6/A-153, 7/A-153, 8/A-153 have been modified as follows:

- Keynote P-26 has been added
- Partition types have been modified
- SS-1 sill is graphically shown
-

The following changes have been made to sheets A-500:

Drawings 26, 27, 28, & 29/A-500 have been modified as follows:

- Grab bar is graphically shown

Drawings 12 & 23 have been modified as follows:

- Finishes have been updated to SS-3 and PL-2

The following changes have been made to sheets A-630:

Drawing 4/A-630 has been added

Drawing 1/A-630 has been modified as follows:

- Notes and graphics have been updated

Drawing 2/A-630 has been modified as follows:

- Dimension has been added
- Notes have been updated

The following changes have been made to sheets P-150 through P-153:

Keynote 22.02 shall be amended to read as follows:

- “22.02: G.C. shall install solid surface counter tops and integral lavatories. P.C. shall coordinate with G.C. and provide ½” domestic cold water, domestic hot water, 1 ½” waste piping and all associated appurtenances to the lavatories for a complete installation.”

The following changes have been made to sheets P-700:

The LAV-1 scope shall be modified as follows:

- LAV-1 Description column shall read, “Integral lavatory by others”
- LAV-1 Manufacturer and Model column shall read, “G.C. provided and installed integral lavatory basis of design Accessible 810P Corian integral lavatory. PC provided and installed Faucet – Sloan – EBF-650. P.C. to coordinate openings in countertop with G.C.”
- LAV-1 Notes column shall read, “Provide supply piping, angle stops, and thermostatic mixing valve (TMV-1) at each fixture. Faucet shall be hardwired with 24VAC transformer w/battery backup. P.C. to coordinate with G.C. on installation of lavatory and associated piping and appurtenances.”

CHANGES TO SPECIFICATIONS

01 1000 SUMMARY OF WORK

The following notes have been added to Section 1.1 Summary of Work.

NOTE: ALL WORK SHALL BE PERFORMED IN THE OFF HOURS (E.G., SECOND SHIFT, OVERNIGHT, ETC.) ON DAYS WHEN THE SCHOOL IS IN SESSION DURING THE SCHOOL YEAR.

NOTE: ALL AREAS OUTSIDE OF DESIGNATED SWING SPACES SHALL BE AVAILABLE FOR NORMAL SCHOOL OPERATIONS ON DAYS WHEN THE SCHOOL IS IN SESSION.

NOTE: WORK ON THE ROOF & IN THE ATTIC, INCLUDING ABATEMENT, SHALL NOT COMMENCE UNTIL AFTER JUNE 15, 2022 AND SHALL BE COMPLETED WHILE SCHOOL IS NOT IN SESSION.

01 1300 TIME OF COMPLETION, MILESTONES, PHASING AND SEQUENCING.

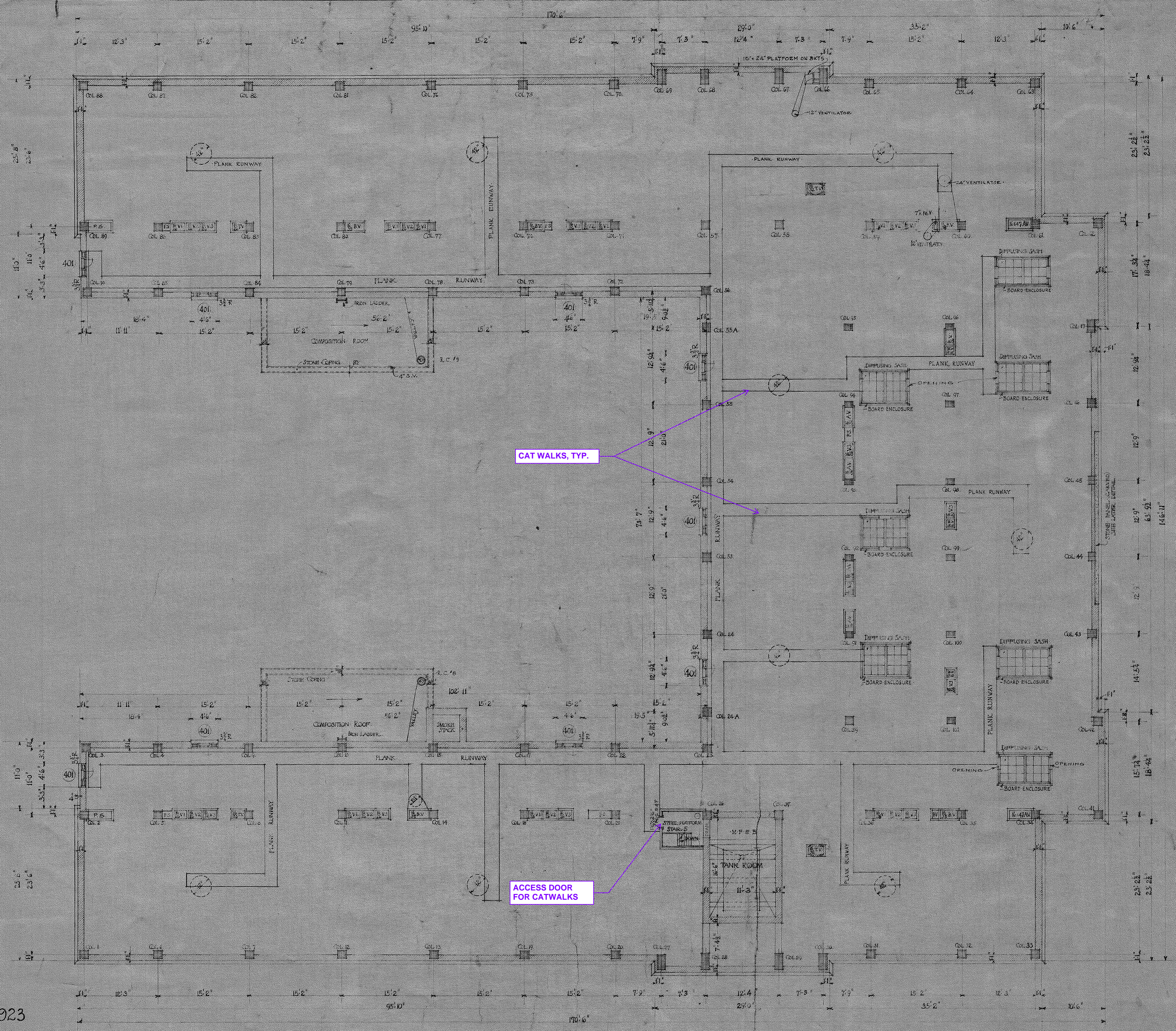
The following notes have been added to Section 1.4 Phasing and Sequencing Requirements:

NOTE: ALL WORK SHALL BE PERFORMED IN THE OFF HOURS (E.G., SECOND SHIFT, OVERNIGHT, ETC.). ON DAYS WHEN THE SCHOOL IS IN SESSION DURING THE SCHOOLYEAR.

NOTE: ALL AREAS OUTSIDE OF DESIGNATED SWING SPACES SHALL BE AVAILABLE FOR NORMAL SCHOOL OPERATIONS ON DAYS WHEN THE SCHOOL IS IN SESSION.

NOTE: WORK ON THE ROOF & IN THE ATTIC, INCLUDING ABATEMENT, SHALL NOT COMMENCE UNTIL AFTER JUNE 15, 2022 AND SHALL BE COMPLETED WHILE SCHOOL IS NOT IN SESSION.

End of Addendum 04



CAT WALKS, TYP.

ACCESS DOOR FOR CATWALKS

ATTIC FLOOR PLAN
SCALE: 1/8" = 1' - 0"

MAR 10 1923
FINAL CHECKED

ATTIC FLOOR PLAN
SCALE 1/8" INCH = ONE FOOT

NEW PUBLIC SCHOOL BUILDING
FOR THE
SCHOOL DISTRICT OF PHILADELPHIA
PENNSYLVANIA

NOTE FOR INDEX OF MATERIAL SEE SHEET NO 5
Lavin Carls R.A. ARCHITECT

TYPE 137 8

SEAL:

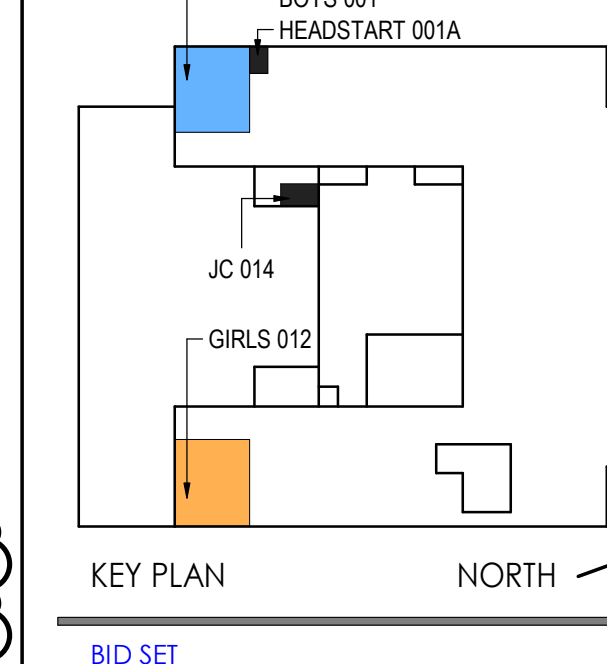
RONALD SCOTT SULLIVAN
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KEY PLAN NORTH

BID SET AUGUST 13, 2021

SCHOOL & LOCATION
1700 Lindley Avenue, Philadelphia, PA 19141
(5000N 17th St)

School District of Philadelphia

PROJECT TITLE
**James Logan Elementary School
Toilet Room Renovations**

DRAWING TITLE
**ENLARGED PLANS - BASEMENT
RESTROOMS**

LOCATION NO.	FILE NO.
	177902814
DRAWN BY Author	CHECKED BY Checker
8-001C	OF 2021 / 22
8-002C	OF 2021 / 22
8-003C	OF 2021 / 22
8-004C	OF 2021 / 22

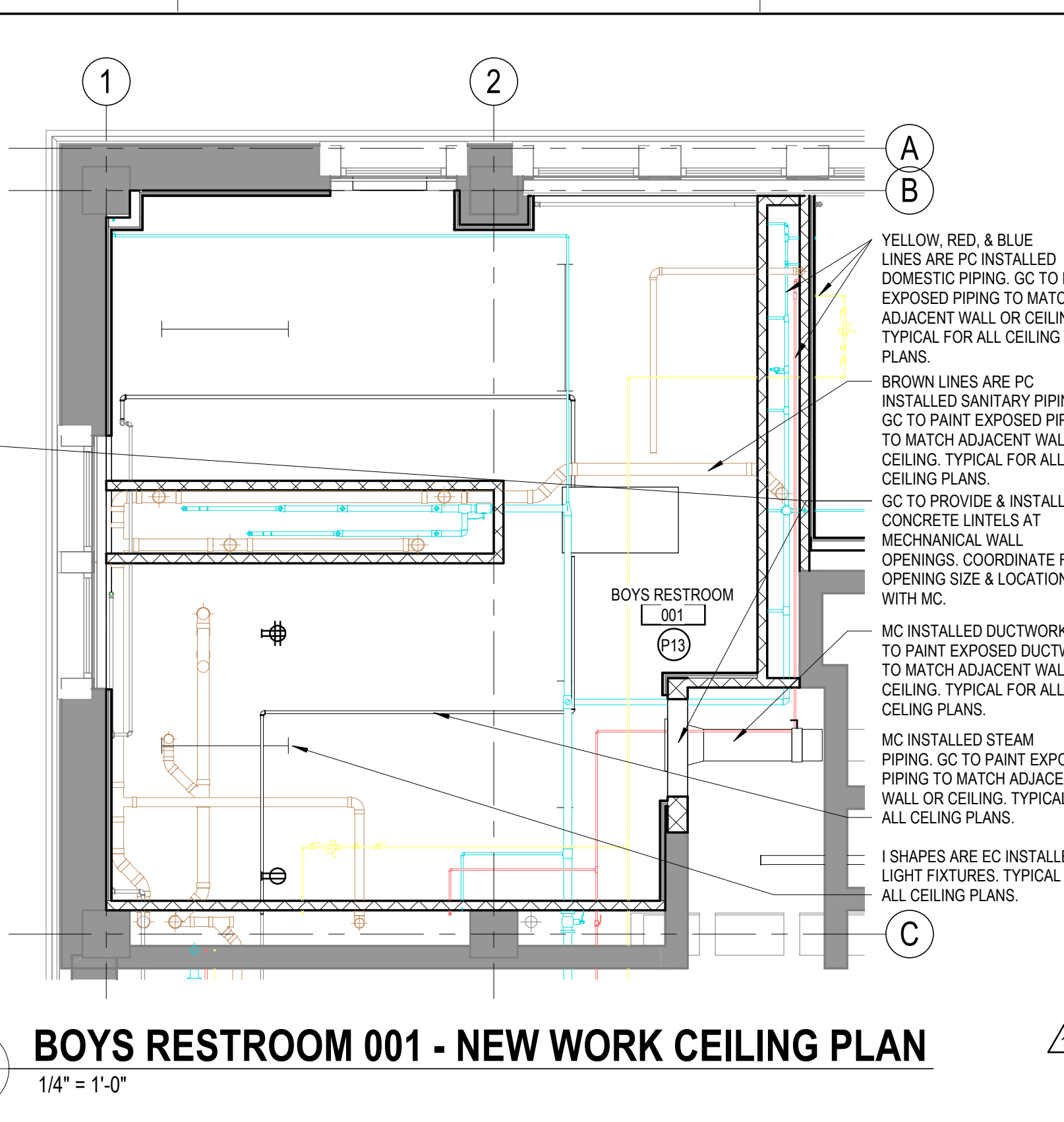
DRAWING NO.
A-150

NEW WORK KEY NOTES

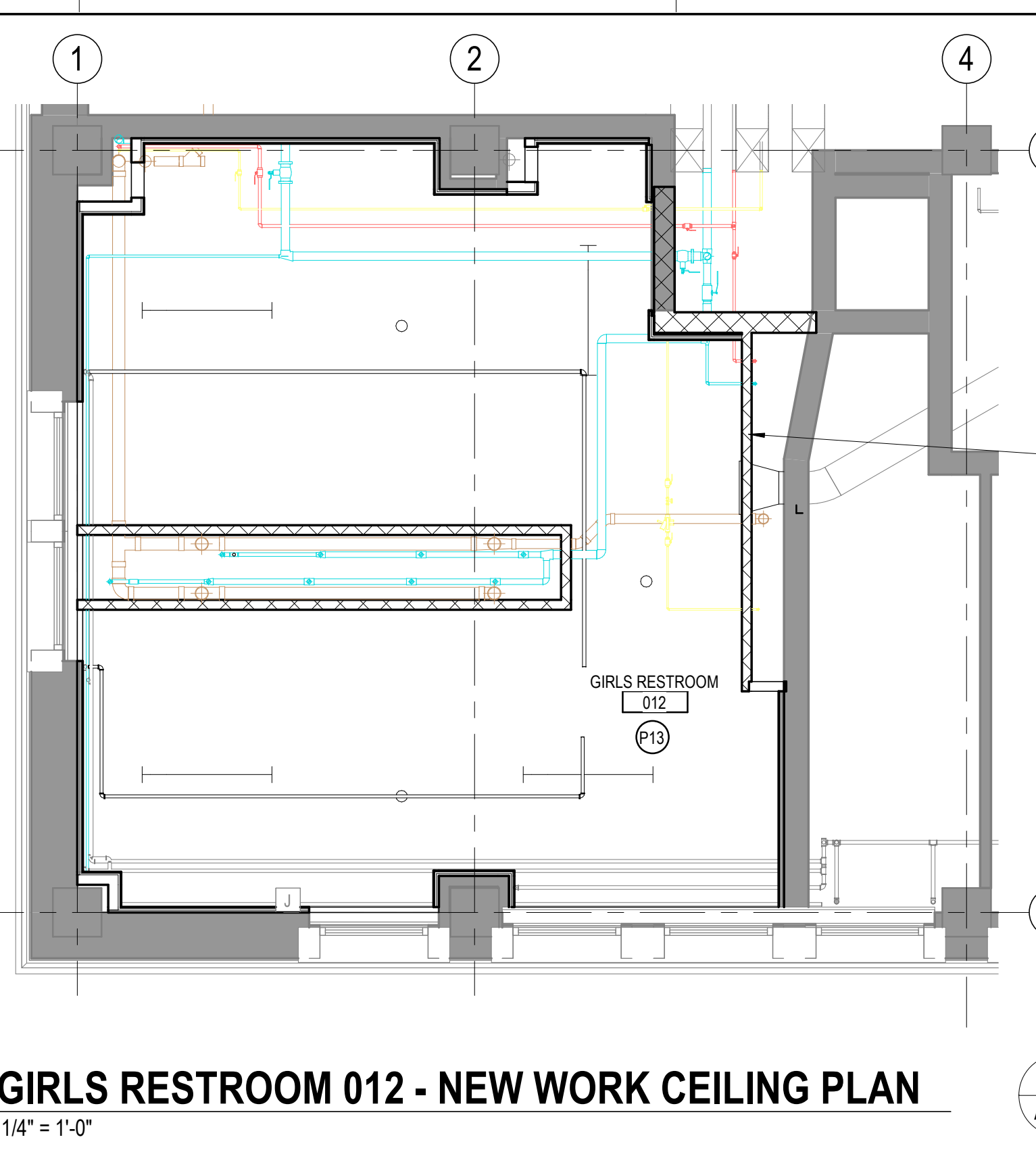
- P1 GC TO INSTALL WATER CLOSET TYPE 1 - STANDARD STALL, AC-10 TOILET PARTITIONS, SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P2 GC TO INSTALL WATER CLOSET TYPE 2 - AMBULATORY STALL, AC-10 TOILET PARTITIONS, SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P3 GC TO INSTALL WATER CLOSET TYPE 3 - ADA STALL, AC-10 TOILET PARTITIONS, SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P4 GC TO INSTALL WATER CLOSET TYPE 4 - CHILD ADA STALL, SEE DRAWING SHEETS A-120 & A-121 FOR TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF MODIFICATIONS BEFORE PROCEEDING. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P5 GC TO INSTALL AC-5 PAPER TOWEL DISPENSER, SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P6 GC TO INSTALL SOAP DISPENSER, SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P7 UNLESS OTHERWISE NOTED, GC TO INSTALL FOE-7 PARTITION OVER ALL EXISTING TOILET PARTITIONS IN ROOM. INSTALL TILE UP TO 7'-0" AFF. PAINT ABOVE TILE. INSTALL SCHLUTER TRIM AT OUTSIDE WALL CORNERS. SEE INTERIOR ELEVATIONS, TYPICAL DETAILS ON SHEETS A-120, AND SECTION 10A-600 FOR MORE INFORMATION.
- P8 GC TO INSTALL NEW CMU WALL AT DEMOLISHED DOOR LOCATION. ANCHOR NEW WALL INTO ADJACENT CMU WALLS. PATCH AND REPAIR DISTURBED FLOORING AND ADJACENT WALL AND CEILING FINISHES. BOTTOM CMU COURSE TO HAVE COVE BASE. PAINT TO MATCH EXISTING WALL FINISH.
- P9 GC TO INSTALL NEW DOOR, FRAME, AND HARDWARE IN EXISTING PARTITION. SEE DOOR SCHEDULE FOR MORE INFORMATION. GC TO CAREFULLY REMOVE EXISTING CMU AND INTEGRAL CONCRETE BASE. INSTALL NEW DOOR FRAME, TIGHT IN NEW CMU AT OPENING MEASUREMENT. PATCH AND PAINT FINISHES TO MATCH ADJACENT.
- P10 GC TO INSTALL AC-7 TOILET TISSUE DISPENSER, SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P11 INSTALL GEMENTIOUS LEVELING COMPOUND AND FLOOR ASSEMBLY SEEN ON SHEET A-610 THROUGHOUT ENTIRE ROOM. SO NEW TILE IS LEVEL ROOM AND LEVEL WITH EXISTING CORRIDOR AND/OR CLASSROOM FINISHES. FLOORING SHALL SLOPE 1/4" PER 1'-0" TOWARDS FLOOR DRAIN, STARTING 2'-0" OUT FROM CENTERLINE OF FLOOR DRAIN. FLOOR DRAIN SHALL AVOID STRUCTURE AND SLAB PENETRATIONS. COORDINATE DRAIN LOCATION WITH PC. SEE SHEET A-610 FOR CONFORMANCE AND FINISHING DETAILS.
- P12 WHERE NEW TILE IS NOT CALLED FOR, GC TO PATCH, PREP, AND PAINT ALL EXISTING TOILET ROOM PARTITIONS TO MATCH ADJACENT SURFACE. GC TO COMPLETE IN-PLACE MUCKUP FOR ARCHITECT TO REVIEW BEFORE PROCEEDING TO PAINT ENTIRE SPACE. GC TO TEST FOR SURFACE ADHESION AT EXISTING GLAZED MASONRY. INFORM ARCHITECT OF RESULTS.
- P13 PATCH & PAINT CEILING WHERE WALLS HAVE BEEN DEMOLISHED. GC TO PAINT ALL EXPOSED BRICK, CONDUIT, DUCTWORK TO MATCH ADJACENT WALLS. TO MATCH ADJACENT SURFACE FINISHES.
- P14 GC TO INSTALL GLAZED INSULATED METAL PANEL AT UPPER WINDOW SASHES OF DOUBLE HUNG WINDOWS. ARCHITECT TO SELECT FROM MANUFACTURER'S FULL RANGE OF STANDARD AND CUSTOM COLORS. COORDINATE WITH MC AND THEIR LOUVER OPENING IN METAL PANEL. GC TO INSTALL WINDOW FILM WF-1 AT LOWER SASH GLAZING OF DOUBLE HUNG WINDOWS. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-830. GC TO FURR OUT WINDOWS AND INSTALL SS-1 SILLS, JAMBS, & HEAD CONDITIONS.
- P15 GC TO FURR OUT EXISTING FAN AND WALL MOUNTED CONTROLS ON ALL SIDES WITH FOC PARTITION. INSTALL PAINTED METAL 24" X 24" ACCESS DOOR SO EXISTING MOTOR AND CONTROLS ARE ACCESSIBLE. COORDINATE FINAL LOCATION WITH ARCHITECT.
- P16 GC TO INSTALL PAINTED METAL 12" X 12" ACCESS PANEL, BOTTOM OF ACCESS PANEL TO BE 7'-6" AFF. COORDINATE FINAL ACCESS PANEL NUMBER AND LOCATIONS WITH OTHER PRIME CONTRACTORS. REVIEW FINAL LOCATIONS WITH ARCHITECT IN THE FIELD.
- P17 GC TO INSTALL PAINTED METAL 18" X 36" ACCESS DOOR 18" ABOVE FINISH FLOOR IN CMU PARTITIONS. COORDINATE FINAL LOCATION WITH OTHER PRIME CONTRACTORS.
- P18 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR NON-CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS.
- P19 COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P20 GC TO INSTALL AC-4 MIRROR, SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.
- P21 GC TO INSTALL NEW GLAZED FACE CMU PARTITION. ANCHOR NEW WALL INTO ADJACENT EXISTING MASONRY WALLS. PATCH, REPAIR, AND FINISH DISTURBED ADJACENT WALL FINISHES. INSTALL SEALANT WHERE NEW WALL MEETS EXISTING WALL AND STRUCTURE ABOVE. GLAZED CMU BASE AND WALL COLOR TO BE CHOSEN FROM MANUFACTURER'S FULL RANGE OF CUSTOM COLORS. GC TO INSTALL MASONRY LINTELS ABOVE MC INSTALLED GRILLS AND DUCTWORK, EXISTING TO REMAIN DUCTWORK, AND GC TO INSTALL DOORS. SEE MECHANICAL DRAWINGS FOR FINISHING DETAILS. COORDINATE WITH ALL OTHER TRADES, CORNERS AND WALLS THAT DO NOT RETURN INSTALL BULLNOSE GLAZED FACE CMU. GC TO PATCH AROUND AND FIRST STOP PLUMBING, MECHANICAL, AND ELECTRICAL WORK THAT IS TO REMAIN. COORDINATE WALL PENETRATIONS WITH OTHER TRADES. COORDINATE INSTALLATION OF TOILET FIXTURE, CARRIERS, AND PLUMBING WITH PC & EC.
- P22 ON NON-RESTROOM SIDE OF NEW PARTITION, GC TO PAINT PARTITION TO MATCH ADJACENT WALLS. GC TO INSTALL CUSTOM WOOD TRIM AND BASE TO MATCH ADJACENT EXISTING ROOM TRIM AND BASE IN DIMENSION, DETAILING, & PAINT FINISH. PARTITION, INTEGRAL BASE, & TRIM PART COLOR TO BE CHOSEN FROM MANUFACTURER'S FULL RANGE OF STANDARD AND CUSTOM COLORS. GC TO EXTEND FULL LENGTH OF PARTITION AND HAVE A MITERED TRANSITION TO EXISTING TRIM AND BASE. PATCH, PAINT, AND FINISH ADJACENT FLOOR, WALL, TRIM, AND CEILING FINISHES DISTURBED DURING CONSTRUCTION. SEE G-300 FOR MORE INFORMATION.
- P23 NEW PC FLOOR SLAB PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. TYPICAL. GC TO COORDINATE RESTROOM LAYOUTS WITH NEW PC FLOOR SLAB PENETRATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P24 DASHED LINES REPRESENT EXISTING CONCRETE JOIST AND BEAM FLOOR STRUCTURE BELOW. ALL NEW PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P25 ACROSS ENTIRE PARTITION, GC TO INSTALL NEW YORK TACKBOARDS WITH CUSTOM HARDWOOD TRIM TO MATCH EXISTING CLASSROOM TACKBOARDS IN DIMENSION, DETAILING, AND PAINT FINISH. SEE MECHANICAL DRAWINGS FOR FINISHING DETAILS.
- P26 GC TO INSTALL WINDOW FILM WF-1 TO EXISTING DOUBLE HUNG WINDOWS. TYPICAL 2 GLAZING PANELS AT EACH DOUBLE HUNG WINDOW. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-830. ALL WINDOWS SHALL HAVE SOLID SURFACE SS-1 SILLS, JAMBS AND HEAD CONDITIONS.
- P27 GC TO INSTALL AC-9 URINALS, SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.
- P28 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P29 GC TO INSTALL AC-11 URINAL PARTITION, SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.

DEMOLITION KEY NOTES

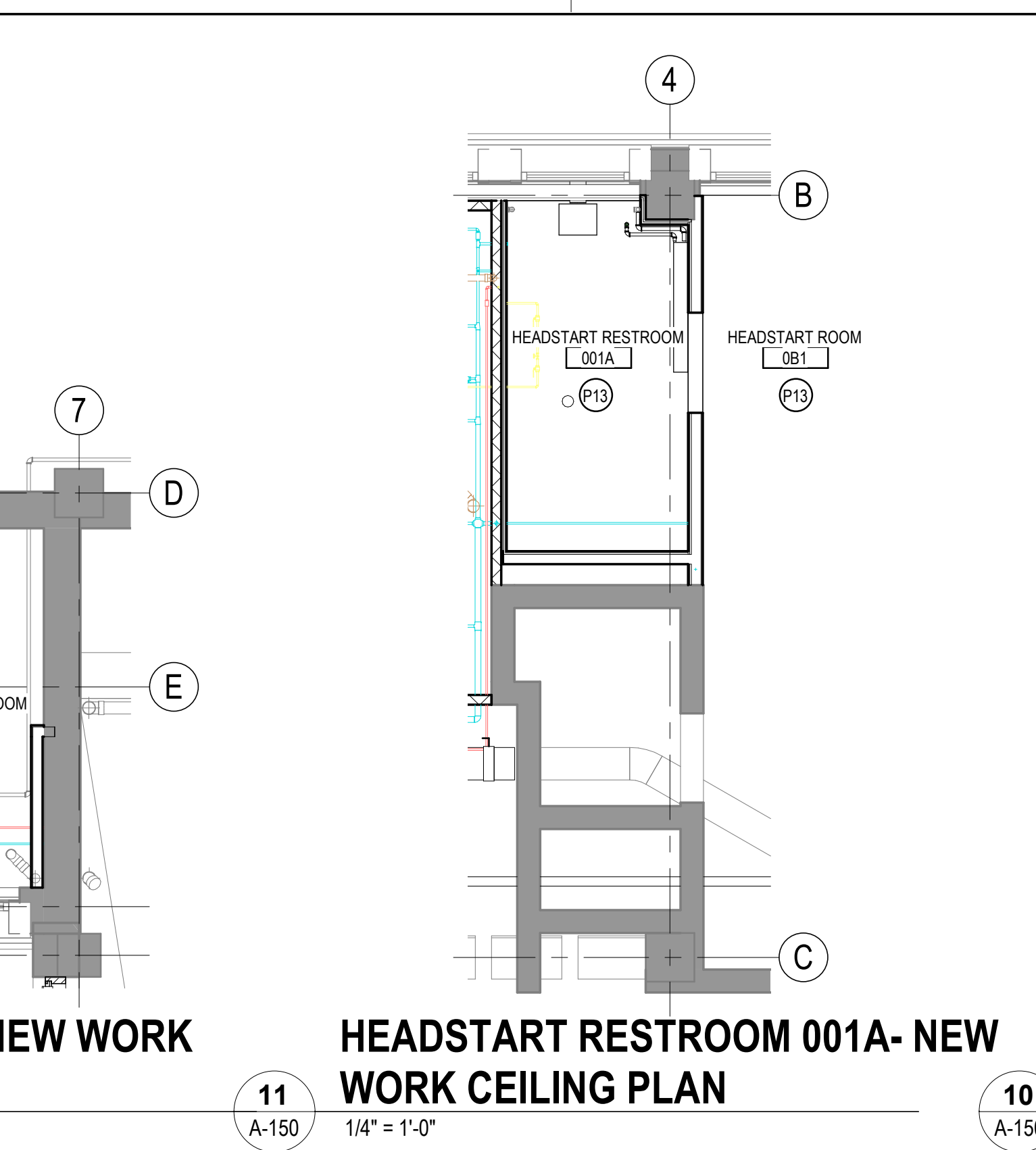
- D1 GC TO REMOVE 1" TO 1-1/2" CINDER CONCRETE FILL SLAB AND INTEGRAL COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EPOXY WITH OTHER TRADES SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. ALERT ARCHITECT IF INFIELD CONDITIONS DIFFER FROM DOCUMENTATION.
- D2 GC TO DEMOLISH WALL FROM FLOOR TO STRUCTURE ABOVE, IN PREPARATION OF NEW WORK. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO EXISTING WALL GRILLS, SECURITY GRILLS, ACCESS PANELS, WINDOWS, INTEGRAL CONCRETE COVE BASE, WOOD TRIM, CORK BOARDS, AND WALL MOUNTED COAT HOOKS, PATCH AND FINISH ADJACENT WALLS WHICH HAVE BEEN DISTURBED TO MATCH ADJACENT CONSTRUCTION. PATCH ADJACENT WALLS ALONG WITH PLASTER, GIB, AND CONCRETE CEILING FINISHES WHICH HAVE BEEN DISTURBED. COORDINATE DEMOLITION WITH OTHER TRADES. GC TO TEMPORARILY SUPPORT AND PROTECT DUCTWORK, PIPES, AND CONDUIT THAT ARE TO REMAIN. GC SHALL BE BACK CHARGED BY OWNER FOR ANY EXISTING TO REMAIN MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS THAT ARE DAMAGED THROUGH GC DEMOLITION WORK.
- D3 PC TO DEMOLISH ALL EXISTING WATER CLOSETS AND URINALS IN THEIR ENTIRETY.
- D4 REMOVE WOOD SHELVING / CASEWORK AND TURN OVER TO OWNER.
- D5 GC TO DEMOLISH DOOR AND FRAME IN THEIR ENTIRETY. WHERE THERE IS ROOM SIGNAGE ON OR NEXT TO DOOR TURN OVER TO OWNER.
- D6 GC TO DEMOLISH ALL TOILET ROOM ACCESSORIES AND RELATED APPURTENANCES IN SPACE. TOILET ROOM ACCESSORIES INCLUDE BUT ARE NOT LIMITED TO, TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, SANITARY NAPKIN DISPENSERS, MIRRORS, AND SHELVES. REMOVE ALL ASSOCIATED ANCHORS AND FASTENERS FROM EXISTING TO REMAIN WALLS. PATCH AND PAINT EXISTING TO REMAIN WALLS.
- D7 GC TO DEMOLISH ALL EXISTING TOILET STALL PARTITIONS IN THEIR ENTIRETY THROUGHOUT THE ROOM. PARTITIONS ARE EMBEDDED IN TOPPING SLAB AND MUST BE FULLY REMOVED. CAREFULLY DEMOLISH ALL MARBLE AND TOP COVERINGS AT TOILET PARTITIONS. PATCH AND FINISH HOLES LEFT IN ALL EXISTING TO REMAIN FINISHES INCLUDING BUT NOT LIMITED TO CONCRETE, TERRAZZO, CERAMIC FLOOR TILE, CMU, PLASTER.
- D8 PC TO DEMOLISH ALL EXISTING LAVATORIES IN THEIR ENTIRETY.
- D9 GC TO REMOVE WOOD FLOOR OR VOT, ASSOCIATED WOOD SUBSTRATE, 1" OF CINDER CONCRETE FILL SLAB & INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. ALERT ARCHITECT IF INFIELD CONDITIONS DIFFER FROM DOCUMENTATION. REMOVE ALL.
- D10 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. ALERT ARCHITECT IF INFIELD CONDITIONS DIFFER FROM DOCUMENTATION.
- D11 GC TO CAREFULLY REMOVE EXISTING WALL TILE FROM ALL WALLS IN ROOM. EXISTING TILE IS FROM INTEGRAL COVE BASE TO 7'-0" AFF. WITH PLASTER FINISH FROM 7'-0" AFF TO PLASTER CEILING ABOVE. TYPICAL ALL WALLS IN ROOM. ONCE EXISTING WALL TILE IS REMOVED PATCH PLASTER WALLS TO FORM A LEVEL & FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D12 D13 D14 D15 D16 D17 D18 D19 D20 NOT USED



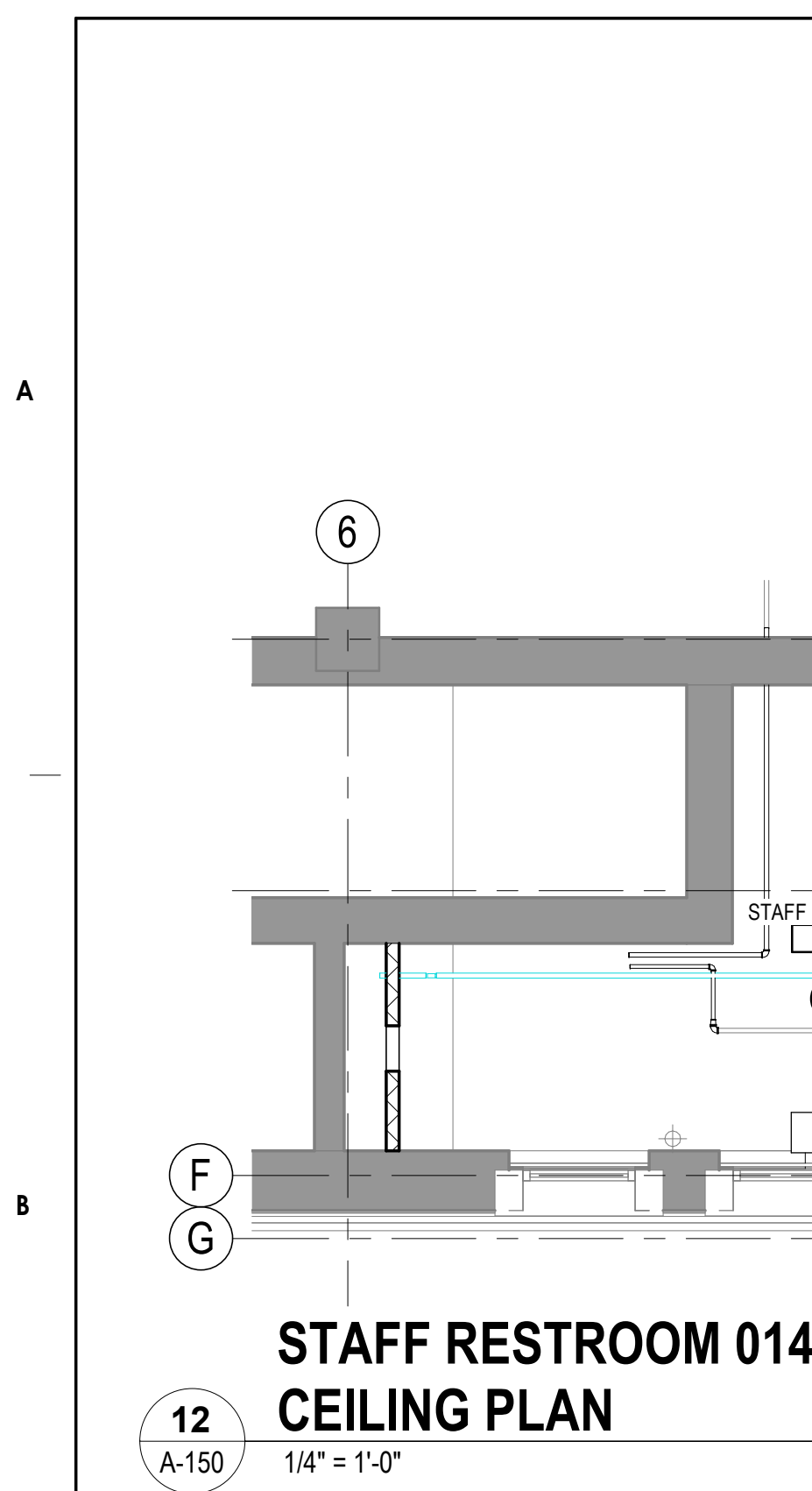
9 BOYS RESTROOM 001 - NEW WORK CEILING PLAN
A-150 1/4" = 1'-0"



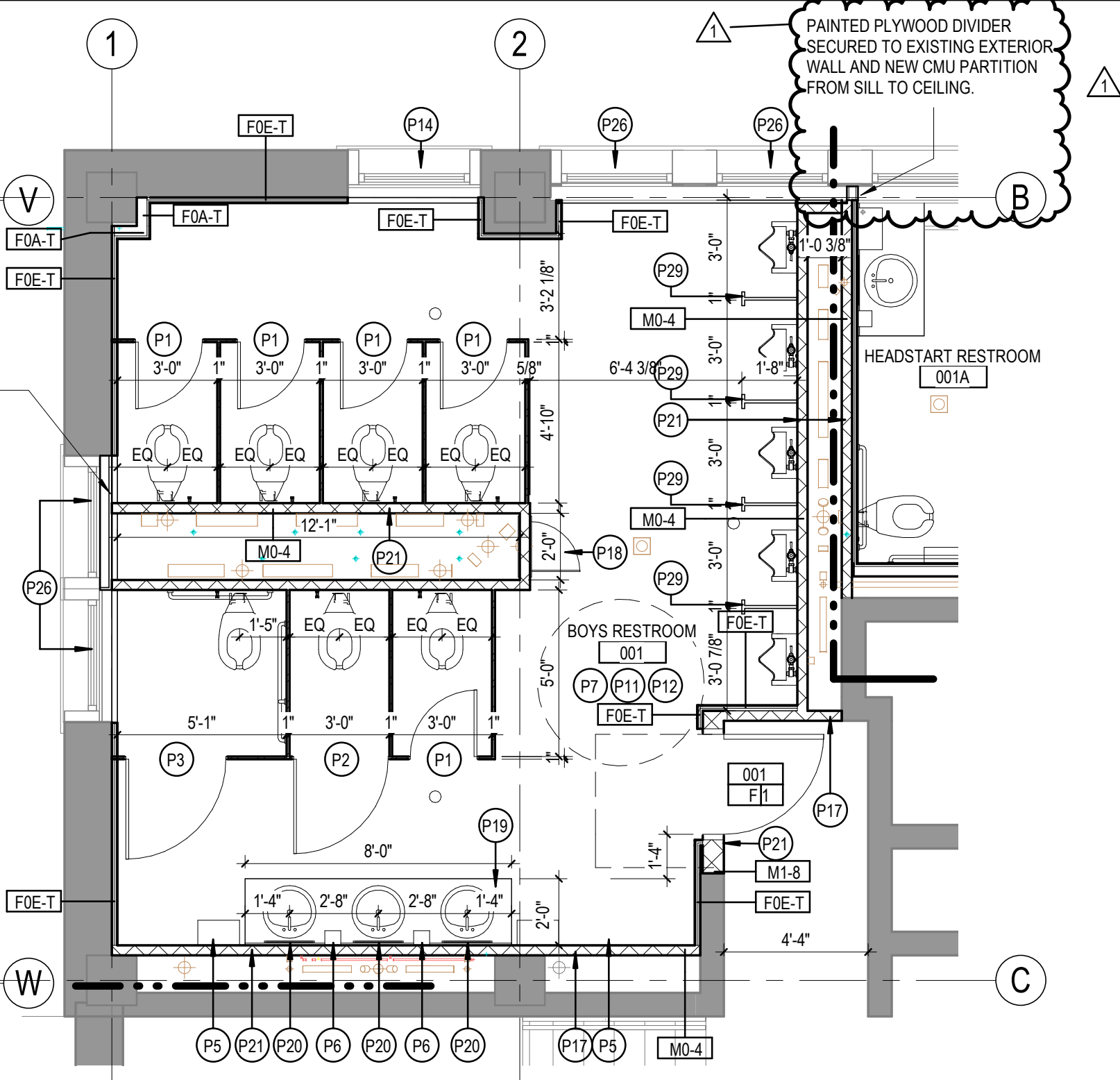
10 GIRLS RESTROOM 012 - NEW WORK CEILING PLAN
A-150 1/4" = 1'-0"



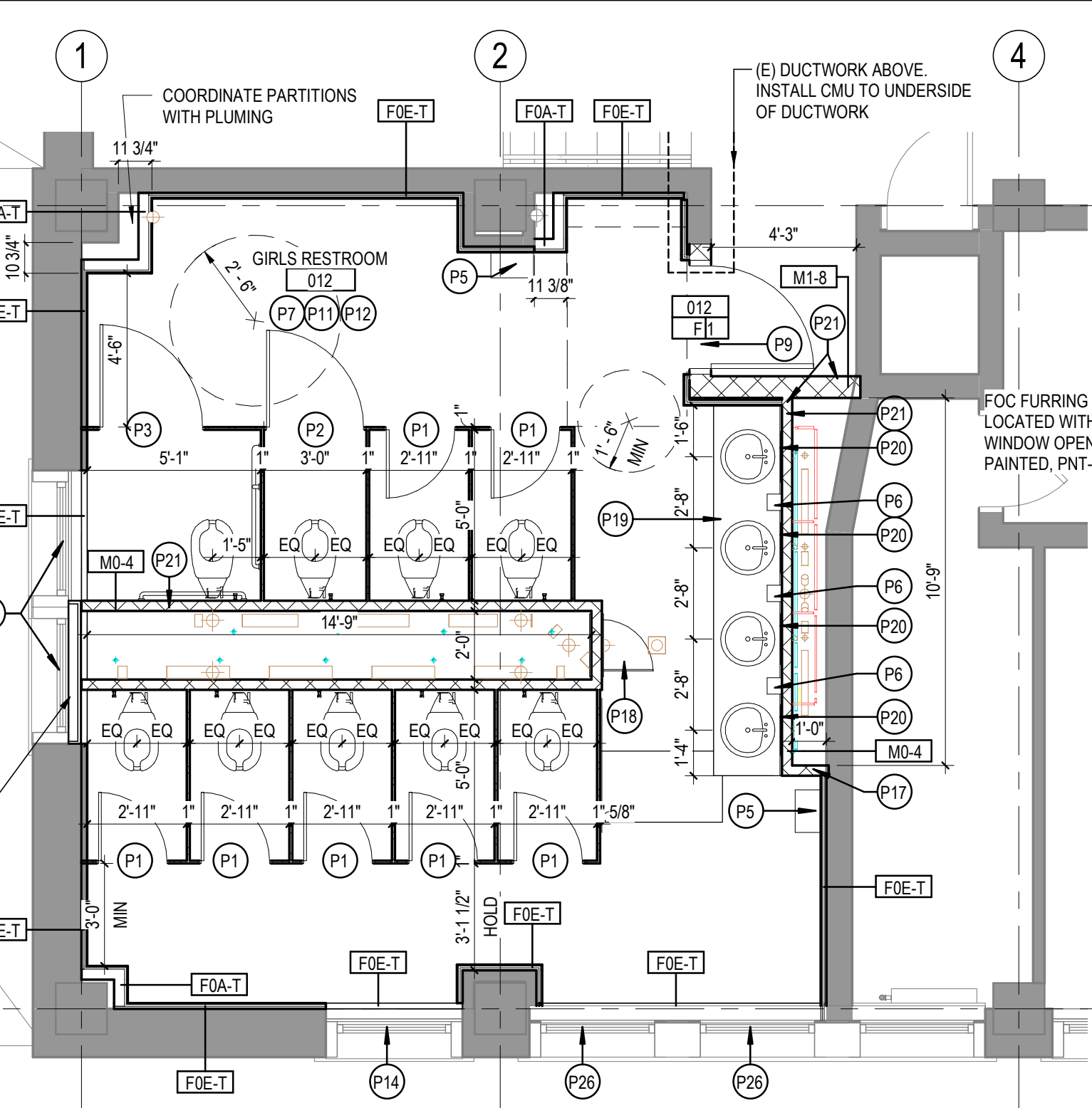
11 HEADSTART RESTROOM 001A- NEW WORK CEILING PLAN
A-150 1/4" = 1'-0"



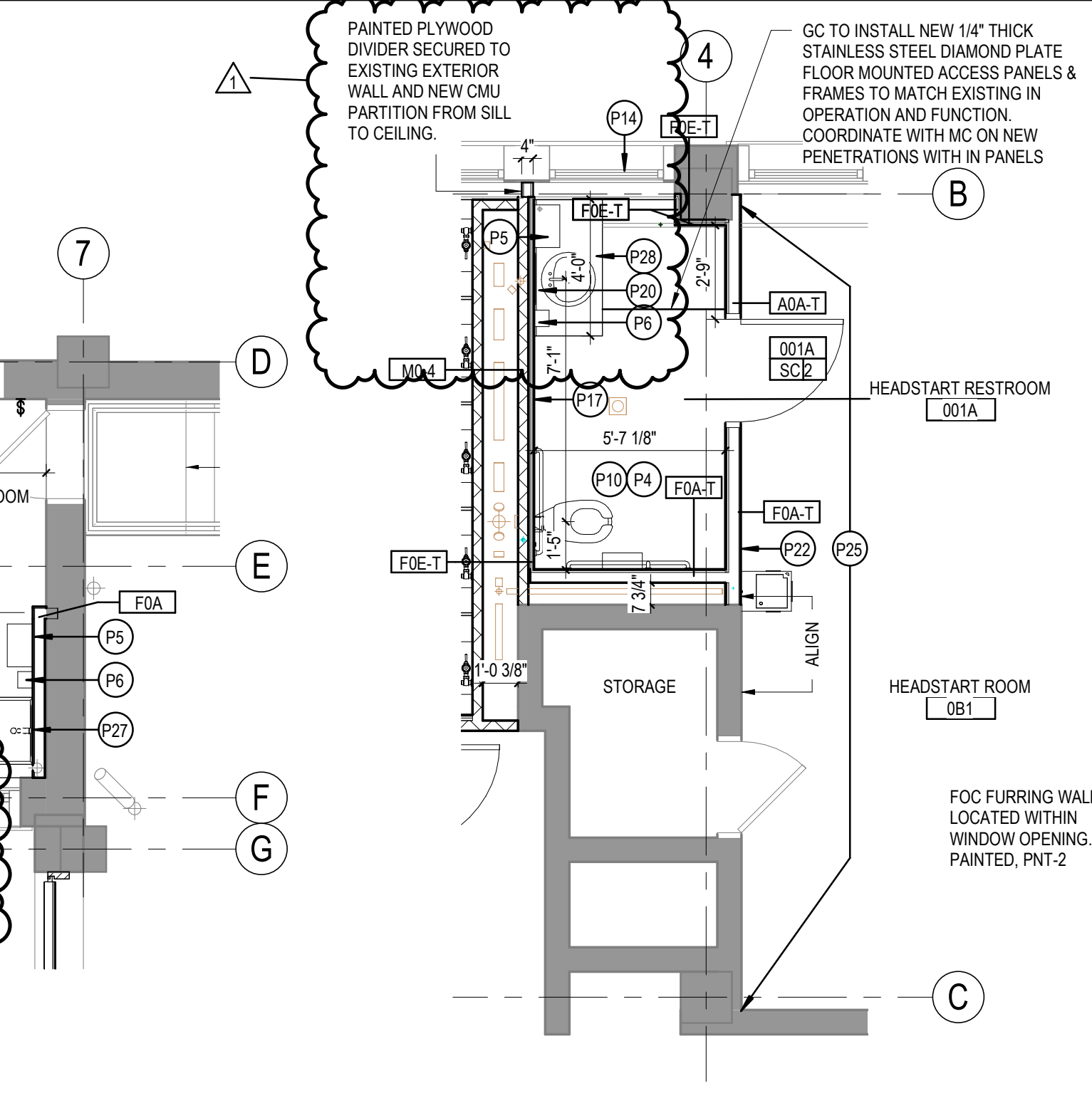
12 STAFF RESTROOM 014 - NEW WORK CEILING PLAN
A-150 1/4" = 1'-0"



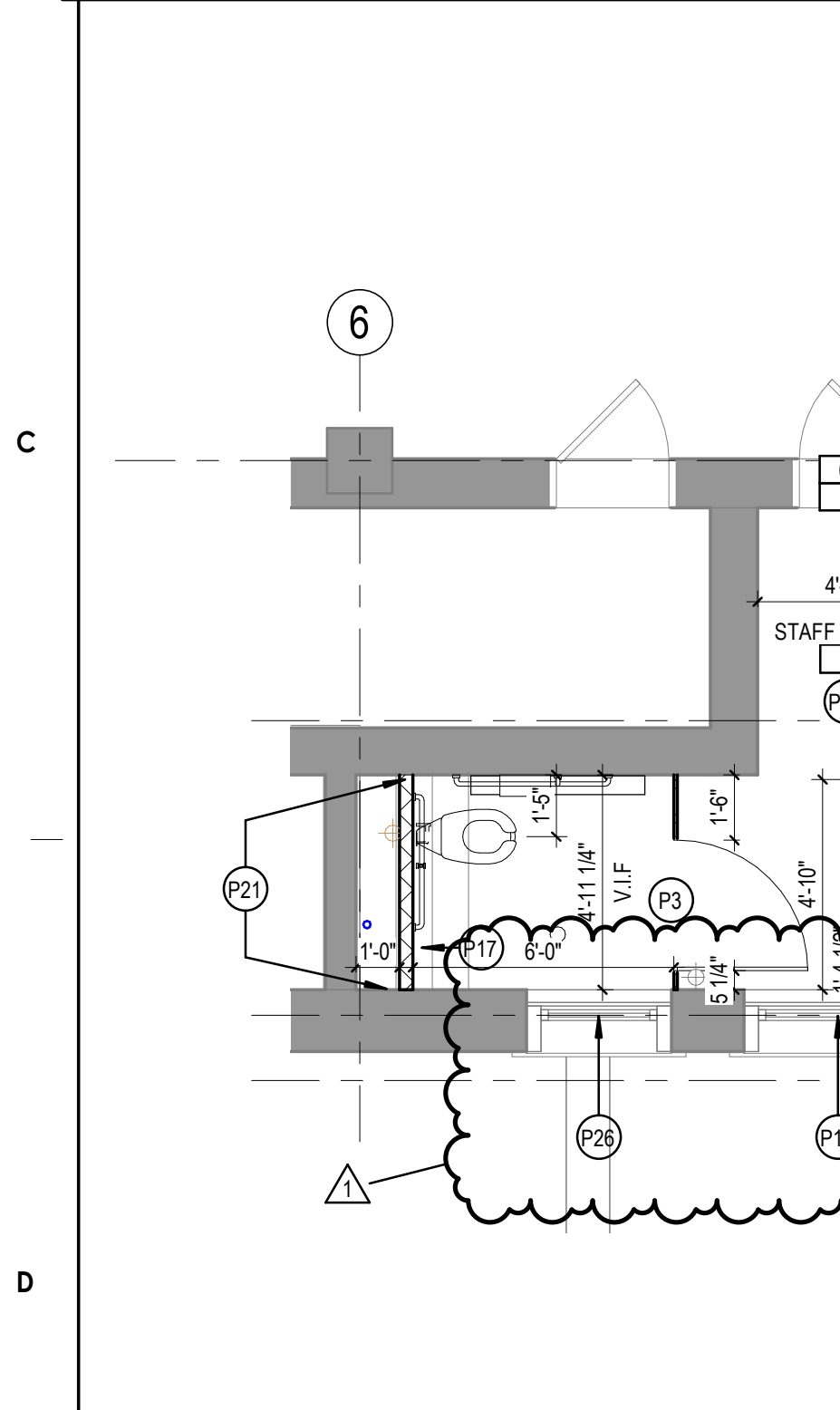
5 BOYS RESTROOM 001 - NEW WORK PLAN
A-150 SCALE: 1/4" = 1'-0"



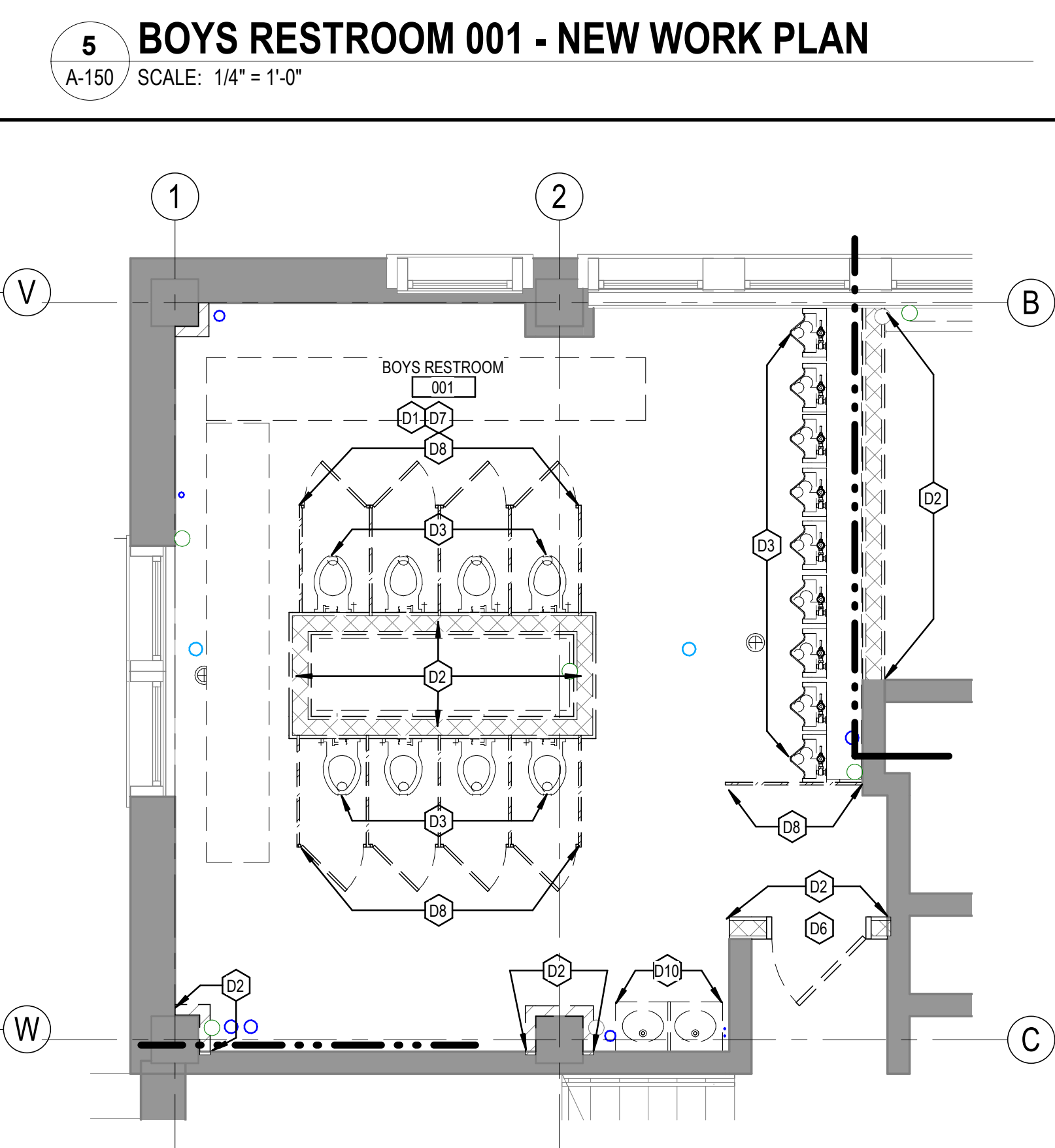
6 GIRLS RESTROOM 012 - NEW WORK PLAN
A-150 1/4" = 1'-0"



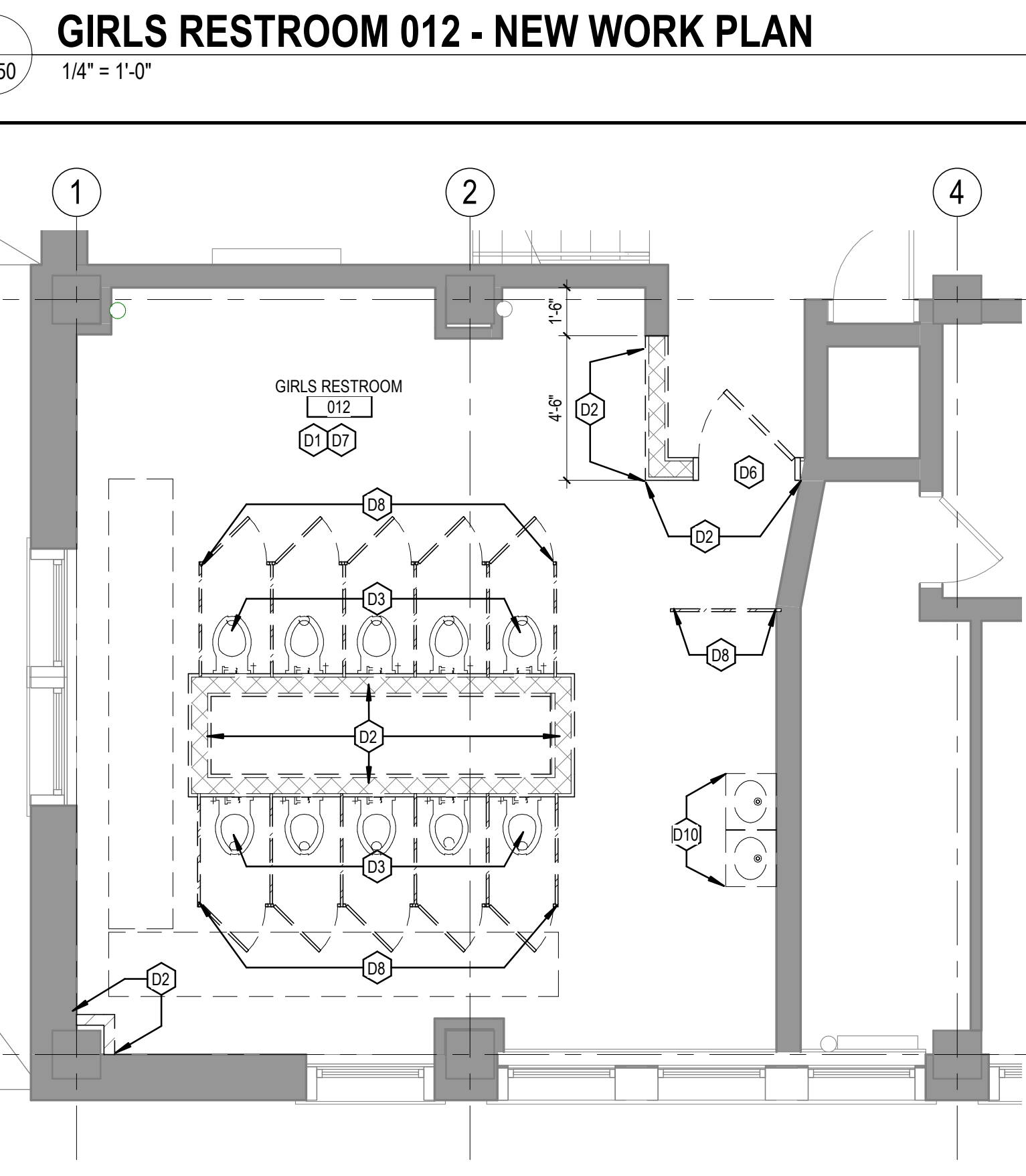
7 HEADSTART RESTROOM 001A- NEW WORK PLAN
A-150 1/4" = 1'-0"



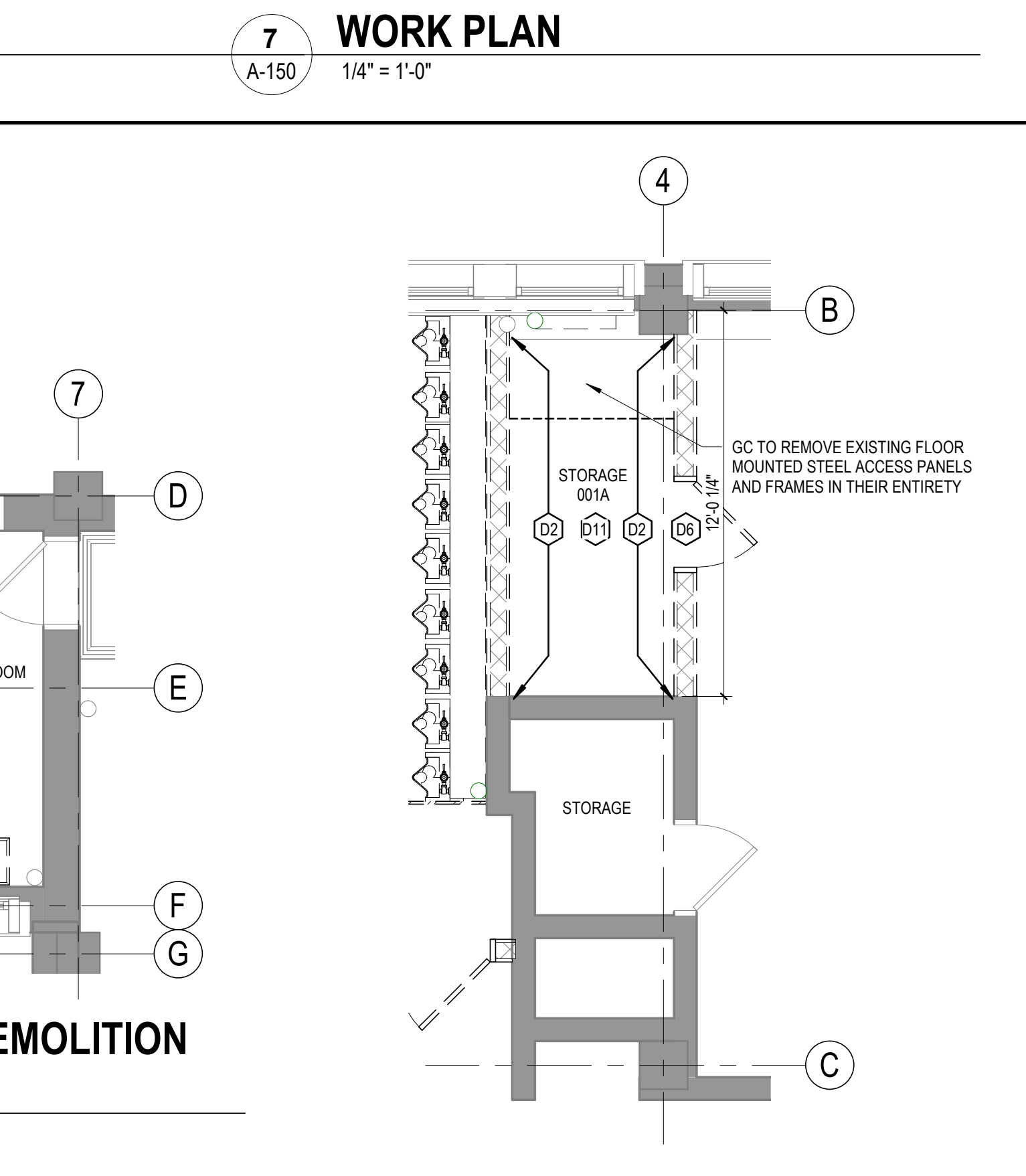
8 STAFF RESTROOM 014 - NEW WORK PLAN
A-150 1/4" = 1'-0"



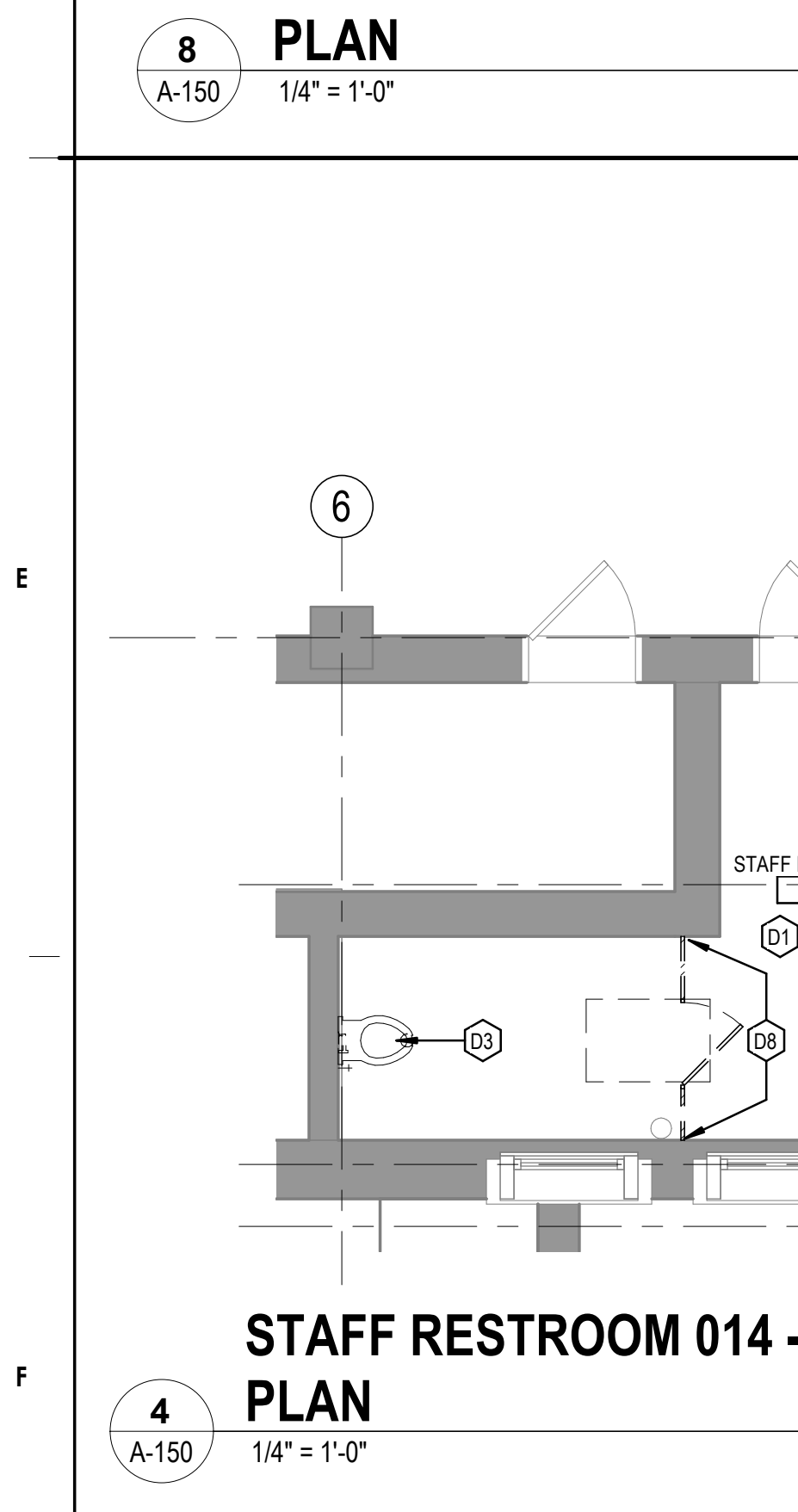
1 BOYS RESTROOM 001 - DEMOLITION PLAN
A-150 1/4" = 1'-0"



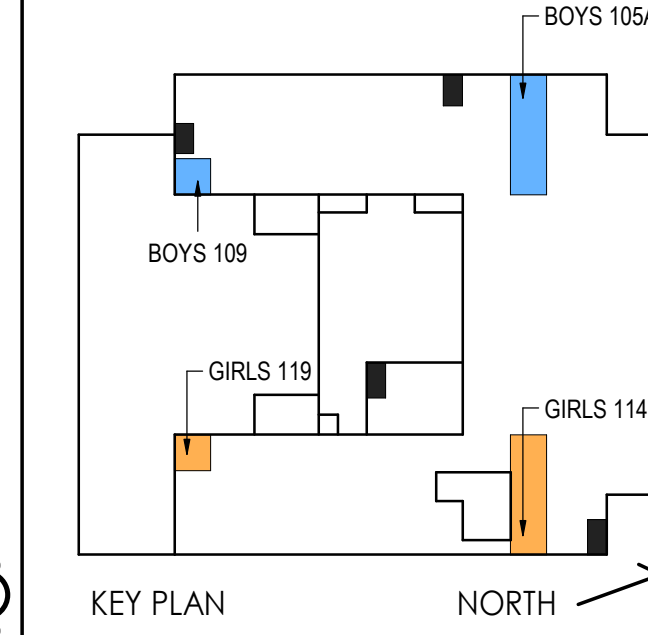
2 GIRLS RESTROOM 012 - DEMOLITION PLAN
A-150 1/4" = 1'-0"



3 STORAGE 001A - DEMOLITION PLAN
A-150 1/4" = 1'-0"



4 STAFF RESTROOM 014 - DEMOLITION PLAN
A-150 1/4" = 1'-0"



KEY PLAN
NORTH

BID SET
AUGUST 13, 2021

NO.	DATE	DESCRIPTION
01	10/01/2021	ADDENDUM # 4

SCHOOL & LOCATION

School District of Philadelphia
1700 Lindley Avenue, Philadelphia, PA 19141
(5000N 17th St)

PROJECT TITLE

James Logan Elementary School
Toilet Room Renovations

DRAWING TITLE

ENLARGED PLANS - 1ST FLOOR
RESTROOMS

LOCATION NO.	FILE NO.
	177902814

DRAWN BY	CHECKED BY
Author	Checker

	OF	DATE
B-001C	OF	2021 / 22
B-002C	OF	2021 / 22
B-003C	OF	2021 / 22
B-004C	OF	2021 / 22

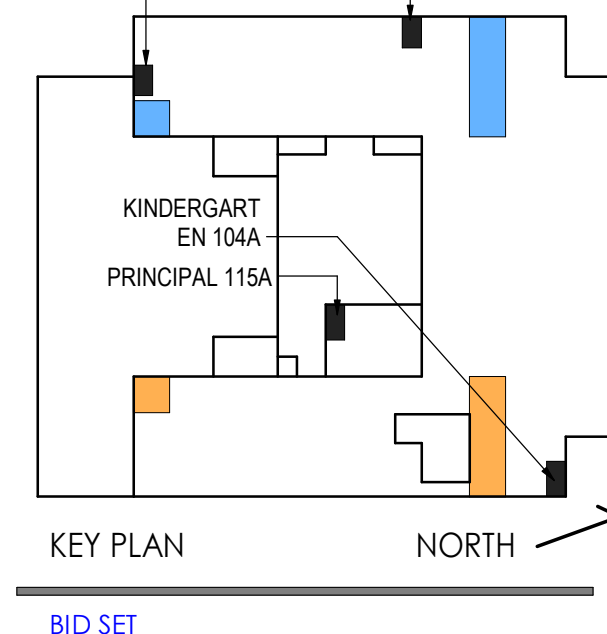
DRAWING NO.
A-151A

NEW WORK KEY NOTES

- P1 GC TO INSTALL WATER CLOSET TYPE 1 - STANDARD STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P2 GC TO INSTALL WATER CLOSET TYPE 2 - AMBULATORY STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P3 GC TO INSTALL WATER CLOSET TYPE 3 - ADA STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P4 GC TO INSTALL WATER CLOSET TYPE 4 - CHILD ADA STALL. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF MODIFICATIONS BEFORE PROCEEDING. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P5 GC TO INSTALL AC-5 PAPER TOWEL DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P6 GC TO INSTALL SOAP DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P7 UNLESS OTHERWISE NOTED, GC TO INSTALL FOE-1 PARTITION OVER ALL EXISTING TOILET PARTITIONS IN ROOM. INSTALL TILE UP TO 7'-0" AFF. PAINT ABOVE TILE. INSTALL SLICHTER TRIM AT OUTSIDE WALL CORNERS. SEE INTERIOR ELEVATIONS, TYPICAL DETAILS ON SHEETS A-120 AND SECTION 11A-B FOR MORE INFORMATION.
- P8 GC TO INSTALL NEW CMU WALL AT DEMOLISHED DOOR LOCATION. ANCHOR NEW WALL INTO ADJACENT CMU WALLS. PATCH AND REPAIR DISTURBED FLOORING AND ADJACENT WALL AND CEILING FINISHES. BOTTOM CMU COURSE TO HAVE COVE BASE. PAINT TO MATCH EXISTING WALL FINISH.
- P9 GC TO INSTALL NEW DOOR, FRAME, AND HARDWARE IN EXISTING PARTITION. SEE DOOR SCHEDULE FOR MORE INFORMATION. GC TO CAREFULLY REMOVE EXISTING CMU AND INTEGRAL CONCRETE BASE TO INSTALL NEW DOOR FRAME. TOOTH IN NEW CMU AT OPENING RADIUMETER. PATCH AND PAINT FINISHES TO MATCH ADJACENT.
- P10 GC TO INSTALL AC-7 TOILET TISSUE DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P11 UNLESS OTHERWISE NOTED, GC TO INSTALL NEW TILE IN FIELD WITH EXISTING THROUGHOUT ENTIRE ROOM. 50 MM TILE IS LEVEL WITH EXISTING CORRIDOR AND/OR CLASSROOM FINISHES. FLOORING SHALL SLOPE 1/4" PER 1'-0" TOWARDS FLOOR DRAIN, STARTING 2'-0" OUT FROM CENTERLINE OF FLOOR DRAIN. FLOOR DRAIN SHALL BE AT EXISTING LOCATION AND FINISH TO MATCH ADJACENT.
- P12 WHERE NEW WALL TILE IS NOT CALLED FOR, GC TO PATCH, PREP, AND PAINT ALL EXISTING TOILET PARTITION WALLS AND SURFACES THROUGHOUT THE ENTIRE SPACE. GC TO COMPLETE IN-PLACE MOCKUP FOR ARCHITECT TO REVIEW BEFORE PROCEEDING TO PAINT ENTIRE SPACE. GC TO TEST FOR SURFACE ADHESION AT EXISTING GLAZED MASONRY. INFORM ARCHITECT OF RESULTS.
- P13 GC TO INSTALL GLAZED INSULATED METAL PANEL AT UPPER WINDOW SASHES OF DOUBLE HUNG WINDOWS. ARCHITECT TO SELECT FROM MANUFACTURER'S FULL RANGE OF STANDARD AND CUSTOM COLORS. BOB MAPES R-10 PANELS. COORDINATE WITH ME AND THEIR LOUVER OPENING IN METAL PANEL. GC TO INSTALL WINDOW FILM WF-1 AT LOWER SASH GLAZING OF DOUBLE HUNG WINDOWS. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-630. GC TO FURR OUT WINDOWS AND INSTALL SS-1 SILLS, JAMBS, & HEAD CONDITIONS.
- P14 GC TO FURR OUT EXISTING FAN AND WALL MOUNTED CONTROLS ON ALL SIDES WITH FOC PARTITION. INSTALL PAINTED METAL 24" X 24" ACCESS DOOR TO EXISTING MOTOR AND CONTROLS ARE ACCESSIBLE. COORDINATE FINAL LOCATION WITH ARCHITECT.
- P15 GC TO INSTALL PAINTED METAL 12" X 12" ACCESS PANEL. BOTTOM OF ACCESS PANEL TO BE 7'-6" AFF. COORDINATE FINAL ACCESS PANEL NUMBER AND LOCATIONS WITH OTHER PRIME CONTRACTORS. REVIEW FINAL LOCATIONS WITH ARCHITECT IN THE FIELD.
- P16 GC TO INSTALL PAINTED METAL 18" X 36" ACCESS DOOR 18" ABOVE FINISH FLOOR IN CMU PARTITIONS. COORDINATE FINAL LOCATION WITH OTHER PRIME CONTRACTORS.
- P17 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR NON-CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P18 GC TO INSTALL AC-4 MIRROR. SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.
- P19 GC TO INSTALL NEW GLAZED FACE CMU PARTITION. ANCHOR NEW WALL INTO ADJACENT EXISTING MASONRY WALLS. PATCH, REPAIR, AND FINISH DISTURBED ADJACENT WALL FINISHES. INSTALL SEALANT WHERE NEW WALL MEETS EXISTING WALL AND STRUCTURE ABOVE. GLAZED CMU BASE AND WALL TO BE DETERMINED BY ARCHITECT. COORDINATE WITH MEASUREMENTS FULL RANGE OF CUSTOM COLORS. GC TO INSTALL MASONRY LITELS ABOVE MC INSTALLED GRILLS AND DUCTWORK, EXISTING TO REMAIN DUCTWORK, AND GC INSTALLED DOORS. SEE MECHANICAL DRAWINGS FOR PARTITION DOOR DETAIL. COORDINATE WITH MEASUREMENTS CORNERS AND WALLS THAT DO NOT RETURN. INSTALL BULLNOSE GLAZED FACE CMU. GC TO PATCH AROUND AND FIRST STOP PLUMBING, MECHANICAL, AND ELECTRICAL WORK THAT IS TO REMAIN. COORDINATE WALL FINISHES. COORDINATE INSTALLATION OF TOILET FIXTURE, CARRIERS, AND PLUMBING WITH PC & EC.
- P20 ON NON-RESTROOM SIDE OF NEW PARTITION, GC TO PAINT PARTITION TO MATCH ADJACENT WALLS. GC TO INSTALL CUSTOM DOOR TRIM AND INTEGRAL BASE TO MATCH ADJACENT EXISTING ROOM TRIM AND BASE IN DIMENSION, DETAILING, & PAINT FINISH. PARTITION, INTEGRAL BASE, & TRIM PART COLOR TO BE CHOSEN FROM MANUFACTURER'S FULL RANGE OF STANDARD AND CUSTOM COLORS TO MATCH ADJACENT WALLS. PATCH, PAINT, AND FINISH ADJACENT FLOOR, WALL, TRIM, AND CEILING FINISHES DISTURBED DURING CONSTRUCTION. SEE G-300 FOR MORE INFORMATION.
- P21 NEW PC FLOOR SLAB PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. TYPICAL. GC TO COORDINATE RESTROOM LAYOUTS WITH NEW PC FLOOR SLAB PENETRATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P22 DASHED LINES REPRESENT EXISTING CONCRETE JOIST AND BEAM FLOOR STRUCTURE BELOW. ALL NEW PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P23 GC TO INSTALL NEW CORK TACKBOARDS WITH CUSTOM HARDWOOD TRIM TO MATCH EXISTING CLASSROOM TACKBOARDS IN DIMENSION, DETAILING, AND PAINT FINISH. PATCH AND PAINT PARTITION DOOR DETAILING TACKBOARD LOCATIONS. PATCH AND PAINT PARTITION DOOR DETAILING TACKBOARD LOCATIONS.
- P24 GC TO INSTALL WINDOW FILM WF-1 TO EXISTING DOUBLE HUNG WINDOWS. TYPICAL 2 GLAZING PANELS AT EACH DOUBLE HUNG WINDOW. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-630. ALL WINDOWS SHALL HAVE SOLID SURFACE SS-1 SILLS, JAMBS AND HEAD CONDITIONS.
- P25 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P26 GC TO INSTALL AC-11 URINAL PARTITION. SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.

DEMOLITION KEY NOTES

- D1 GC TO REMOVE 1" TO 1-1/2" CINDER CONCRETE FILL SLAB AND INTEGRAL COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. ALERT ARCHITECT IF INFIELD CONDITIONS DIFFER FROM DOCUMENTATION.
- D2 GC TO DEMOLISH WALL FROM FLOOR TO STRUCTURE ABOVE, IN PREPARATION OF NEW WORK. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO EXISTING WALL GRILLS, SECURITY GRILLS, ACCESS PANELS, WINDOWS, INTEGRAL COVE BASE, WOOD TRIM, TACK BOARDS, AND WALL MOUNTED COAT HOOKS. PATCH AND FINISH ADJACENT WALLS WHICH HAVE BEEN DISTURBED TO MATCH ADJACENT CONSTRUCTION. PATCH FLOOR FINISHES ALONG WITH PLASTER, OIB, AND CONCRETE CEILING FINISHES WHICH HAVE BEEN DISTURBED. COORDINATE DEMOLITION WITH OTHER TRADES. GC TO TEMPORARILY SUPPORT AND PROTECT DUCTWORK, PIPES, AND CONDUIT THAT ARE TO REMAIN. GC SHALL BE BACK CHARGED BY OWNER FOR ANY EXISTING TO REMAIN MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS THAT ARE DAMAGED THROUGH GC DEMOLITION WORK.
- D3 GC TO DEMOLISH ALL EXISTING WATER CLOSETS AND URINALS IN THEIR ENTIRETY.
- D4 REMOVE WOOD SHELVING / CASEWORK AND TURN OVER TO OWNER.
- D5 GC TO DEMOLISH DOOR AND FRAME IN THEIR ENTIRETY. WHERE THERE IS ROOM SIGNAGE ON OR NEXT TO DOOR TURN OVER TO OWNER.
- D6 GC TO DEMOLISH ALL TOILET ROOM ACCESSORIES AND RELATED APPURTENANCES IN SPACE. TOILET ROOM ACCESSORIES INCLUDE BUT ARE NOT LIMITED TO, TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, SANITARY NAPKIN DISPENSERS, MIRRORS, AND SHELVES. REMOVE ALL ASSOCIATED ANCHORS AND FASTENERS FROM EXISTING TO REMAIN WALLS. PATCH AND PAINT EXISTING TO REMAIN WALLS.
- D7 GC TO DEMOLISH ALL EXISTING TOILET STALL PARTITIONS IN THEIR ENTIRETY THROUGHOUT THE ROOM. PARTITIONS ARE EMBEDDED IN TOPPING SLAB AND MUST BE FULLY REMOVED. CAREFULLY DEMOLISH ALL MASONRY AND FRP WALL COVERINGS AT TOILET PARTITIONS. PATCH AND FINISH HOLES LEFT IN ALL EXISTING TO REMAIN FINISHES INCLUDING BUT NOT LIMITED TO CONCRETE, TERRAZZO, CERAMIC FLOOR TILE, CMU, PLASTER.
- D8 GC TO DEMOLISH ALL EXISTING LAVATORIES IN THEIR ENTIRETY.
- D9 GC TO REMOVE WOOD FLOOR OR VCT, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, & INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. ALERT ARCHITECT IF INFIELD CONDITIONS DIFFER FROM DOCUMENTATION. REMOVE ALL.
- D10 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D11 GC TO CAREFULLY REMOVE EXISTING WALL TILE FROM ALL WALLS IN ROOM. EXISTING TILE IS FROM INTEGRAL COVE BASE TO 7'-0" AFF. WITH PLASTER FINISH FROM 7'-0" AFF TO PLASTER CEILING ABOVE. TYPICAL 2 GLAZING PANELS AT EACH DOUBLE HUNG WINDOW. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-630. ALL WINDOWS SHALL HAVE SOLID SURFACE SS-1 SILLS, JAMBS AND HEAD CONDITIONS.
- D12 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D13 GC TO CAREFULLY REMOVE EXISTING WALL TILE FROM ALL WALLS IN ROOM. EXISTING TILE IS FROM INTEGRAL COVE BASE TO 7'-0" AFF. WITH PLASTER FINISH FROM 7'-0" AFF TO PLASTER CEILING ABOVE. TYPICAL 2 GLAZING PANELS AT EACH DOUBLE HUNG WINDOW. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-630. ALL WINDOWS SHALL HAVE SOLID SURFACE SS-1 SILLS, JAMBS AND HEAD CONDITIONS.
- D14 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D15 GC TO CAREFULLY REMOVE EXISTING WALL TILE FROM ALL WALLS IN ROOM. EXISTING TILE IS FROM INTEGRAL COVE BASE TO 7'-0" AFF. WITH PLASTER FINISH FROM 7'-0" AFF TO PLASTER CEILING ABOVE. TYPICAL 2 GLAZING PANELS AT EACH DOUBLE HUNG WINDOW. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-630. ALL WINDOWS SHALL HAVE SOLID SURFACE SS-1 SILLS, JAMBS AND HEAD CONDITIONS.
- D16 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D17 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D18 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D19 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D20 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D21 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D22 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D23 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D24 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D25 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D26 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D27 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D28 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D29 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D30 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D31 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D32 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D33 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D34 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D35 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D36 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D37 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D38 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D39 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D40 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D41 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE



BID SET
AUGUST 13, 2021

NO.	DATE	ADDENDUM #	REVISION
10/01/2021		ADDENDUM 4	

SCHOOL & LOCATION

School District of Philadelphia
1700 Lindley Avenue, Philadelphia, PA 19141
(5000N 17th St)

PROJECT TITLE

James Logan Elementary School
Toilet Room Renovations

DRAWING TITLE

ENLARGED PLANS - 1ST FLOOR
RESTROOMS

LOCATION NO.	FILE NO.
	177902814

DRAWN BY	CHECKED BY
Author	Checker

	OF	DATE
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8-002C	OF	2021 / 22
8-003C	OF	2021 / 22
8-004C	OF	2021 / 22

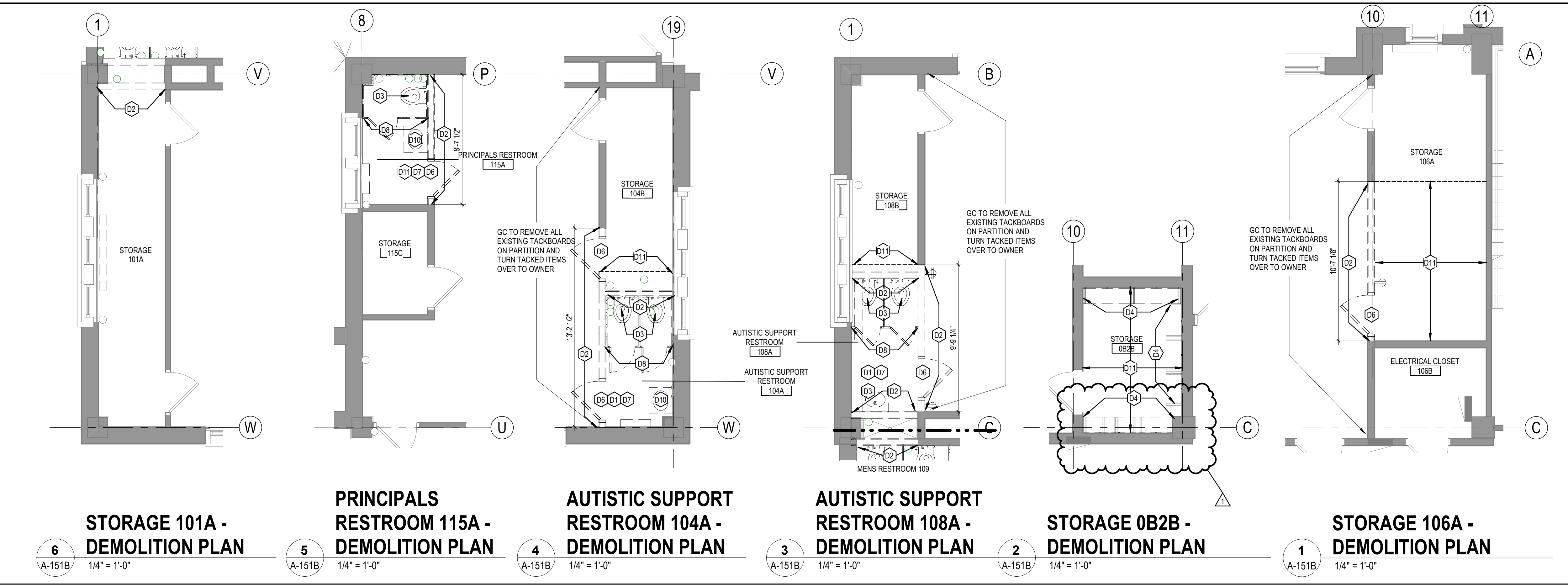
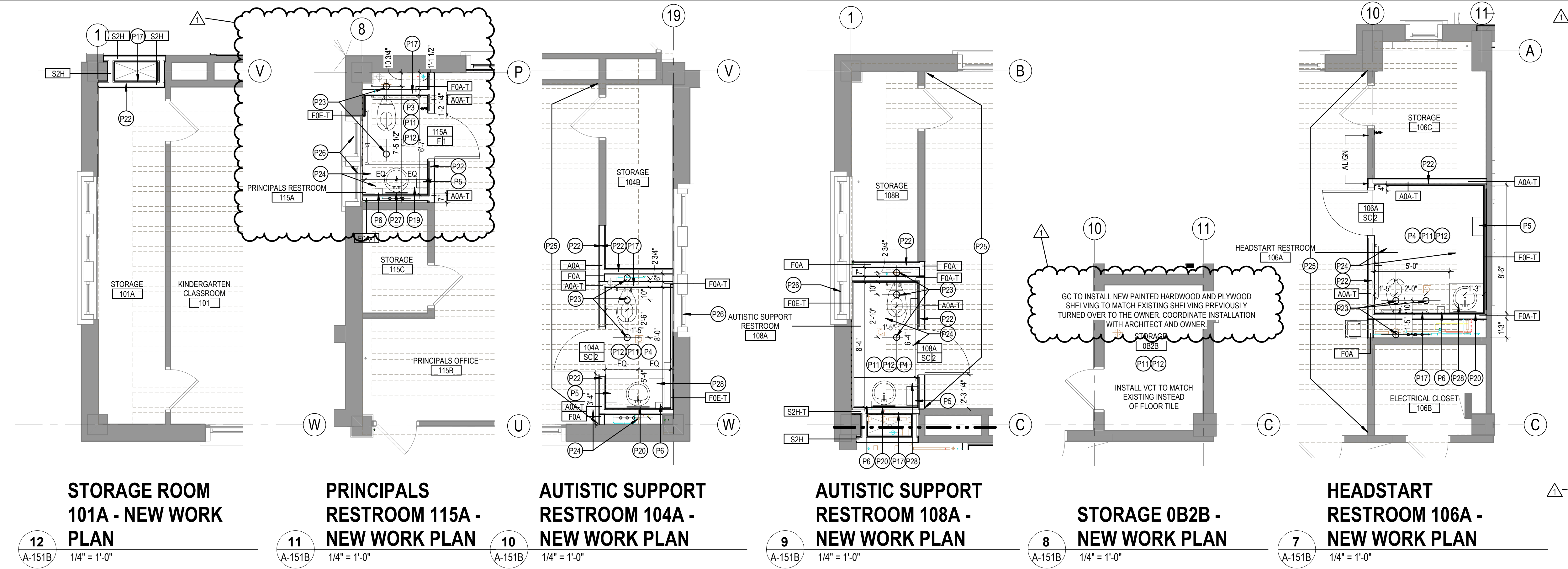
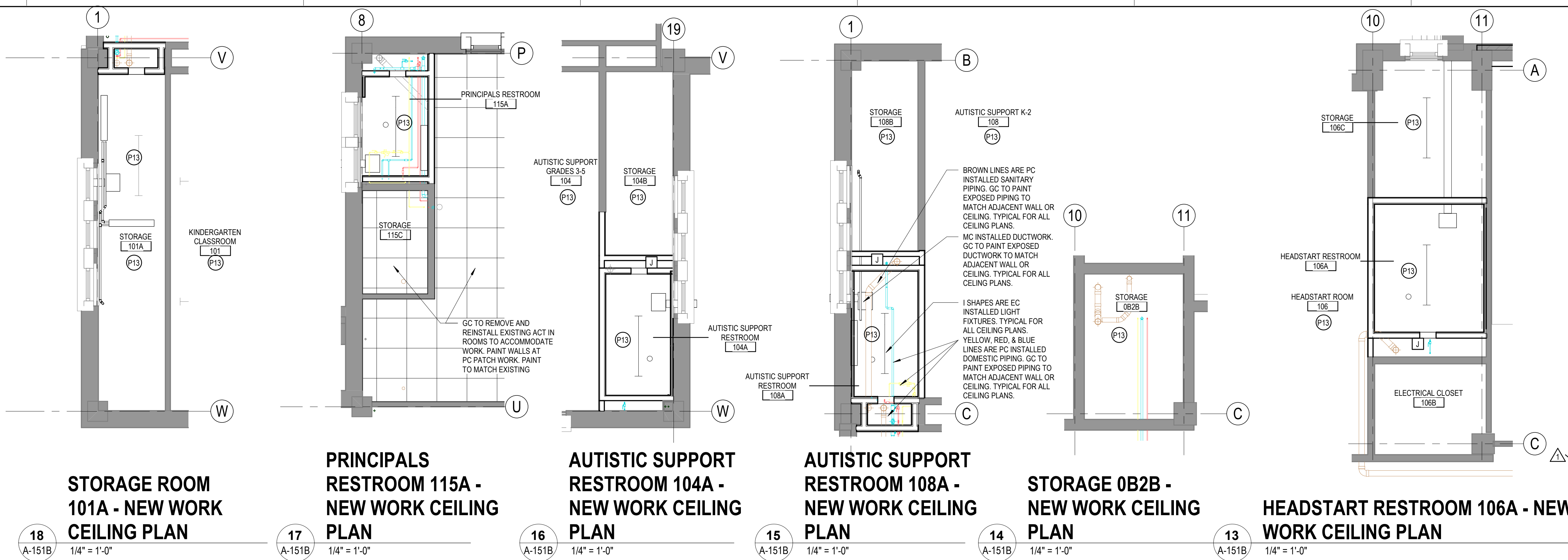
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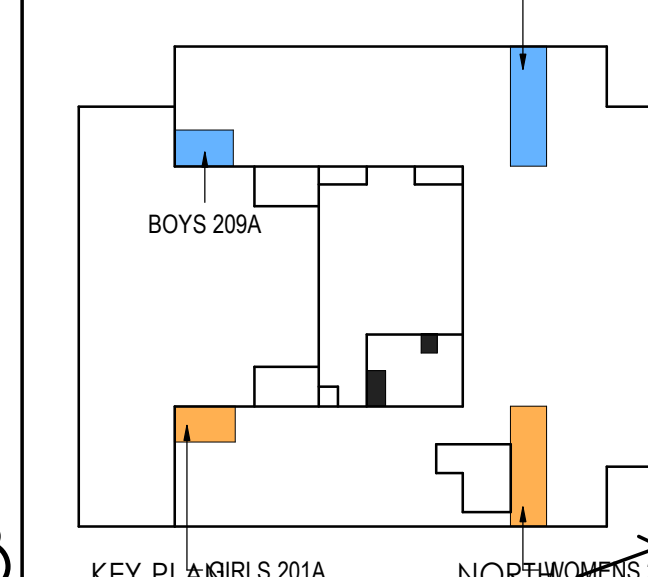
NEW WORK KEY NOTES

- P1 GC TO INSTALL WATER CLOSET TYPE 1 - STANDARD STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P2 GC TO INSTALL WATER CLOSET TYPE 2 - AMBULATORY STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P3 GC TO INSTALL WATER CLOSET TYPE 3 - ADA STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P4 GC TO INSTALL WATER CLOSET TYPE 4 - CHILD ADA STALL. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF MODIFICATIONS BEFORE PROCEEDING. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P5 GC TO INSTALL AC-5 PAPER TOWEL DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P6 GC TO INSTALL SOAP DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P7 UNLESS OTHERWISE NOTED, GC TO INSTALL FGE-T PARTITION OVER ALL EXISTING TOILET PARTITIONS IN ROOM. INSTALL TILE UP TO 7'-0" AFF. PAINT ABOVE TILE. INSTALL SCHLUTER TRIM AT OUTSIDE WALL CORNERS. SEE INTERIOR ELEVATIONS, TYPICAL DETAILS ON SHEETS A-120, AND SECTION 11A-630 FOR MORE INFORMATION.
- P8 GC TO INSTALL NEW CMU WALL. PATCH AND REPAIR DISTURBED FLOORING. ANCHOR NEW WALL INTO ADJACENT CMU WALLS. PATCH AND REPAIR DISTURBED FLOORING AND ADJACENT WALL AND CEILING FINISHES. BOTTOM CMU COURSE TO HAVE COVE BASE. PAINT TO MATCH EXISTING WALL FINISH.
- P9 GC TO INSTALL NEW DOOR, FRAME, AND HARDWARE IN EXISTING PARTITION. SEE DOOR SCHEDULE FOR MORE INFORMATION. GC TO CAREFULLY REMOVE EXISTING CMU AND INTEGRAL CONCRETE BASE TO INSTALL NEW DOOR FRAME. TOOTH IN NEW CMU AT OPENING PERIMETER. PATCH AND PAINT FINISHES TO MATCH ADJACENT.
- P10 GC TO INSTALL AC-7 TOILET TISSUE DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P11 INSTALL CEMENTITIOUS LEVELING COMPOUND AND FLOOR ASSEMBLY SEEN ON SHEET A-610 THROUGHOUT ENTIRE ROOM. SO NEW TILE LEVEL IN ROOM AND LEVEL WITH EXISTING CORRIDOR AND/OR CLASSROOM FINISHES. FLOORING SHALL SLOPE 1/4" PER 1'-0" TOWARDS FLOOR DRAIN, STARTING 2'-0" OUT FROM CENTERLINE OF FLOOR DRAIN. FLOOR DRAIN SHALL BE 4" DIA. AND 1/2" ABOVE FINISH FLOOR. SEE DETAIL 11A-630 FOR MORE INFORMATION.
- P12 WHERE NEW WALL TILE IS NOT CALLED FOR, GC TO PATCH, PREP, AND PAINT ALL EXISTING TOILET WALLS AND SURFACES THROUGHOUT THE ENTIRE SPACE. GC TO PAINT ALL EXPOSED PIPES, CONDUIT, DUCTWORK, AND ELECTRICAL TO MATCH ADJACENT SURFACES. GC TO COMPLETE PLUMBING MUCKUP FOR ARCHITECT TO REVIEW BEFORE PROCEEDING TO PART ENTIRE SPACE. GC TO TEST FOR SURFACE ADHESION AT EXISTING GLAZED MASONRY. INFORM ARCHITECT OF RESULTS.
- P13 GC TO PATCH AND PAINT CP-1 ALL EXISTING TOILET CEILINGS AND STRUCTURE IN SPACE. PATCH & PAINT CEILINGS WHERE WALLS HAVE BEEN DEMOLISHED. GC TO PAINT ALL EXPOSED PIPES, CONDUIT, DUCTWORK, AND ELECTRICAL TO MATCH ADJACENT SURFACES.
- P14 GC TO INSTALL GLAZED INSULATED METAL PANEL AT UPPER WINDOW SASHES OF DOUBLE HUNG WINDOWS. ARCHITECT TO SELECT FROM MANUFACTURER'S FULL RANGE OF STANDARD AND CUSTOM COLORS. ROOM MANUFACTURER. COORDINATE WITH MC AND THEIR LOWER OPENING IN METAL PANEL. GC TO INSTALL WINDOW FILM WF-1 AT LOWER SASH GLAZING OF DOUBLE HUNG WINDOWS. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 11A-630. GC TO FURR OUT WINDOWS AND INSTALL SS-1 SILLS, JAMBS, & HEAD CONDITIONS.
- P15 GC TO FURR OUT EXISTING FAN AND WALL MOUNTED CONTROLS ON ALL SIDES WITH FOC PARTITION. INSTALL PAINTED METAL 24" X 24" ACCESS DOOR SO EXISTING MOTOR AND CONTROLS ARE ACCESSIBLE. COORDINATE FINAL LOCATION WITH ARCHITECT.
- P16 GC TO INSTALL PAINTED METAL 12" X 12" ACCESS PANEL. BOTTOM OF ACCESS PANEL TO BE 7'-6" AFF. COORDINATE FINAL ACCESS PANEL NUMBER AND LOCATIONS WITH OTHER PRIME CONTRACTORS. REVIEW FINAL LOCATIONS WITH ARCHITECT IN THE FIELD.
- P17 GC TO INSTALL PAINTED METAL 18" X 36" ACCESS DOOR 18" ABOVE FINISH FLOOR IN CMU PARTITIONS. COORDINATE FINAL LOCATION WITH OTHER PRIME CONTRACTORS.
- P18 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK MARINE GRADE CASEWORK FOR CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P19 GC TO INSTALL AC-4 MIRROR. SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.
- P20 GC TO INSTALL NEW GLAZED FACE CMU PARTITION. ANCHOR NEW WALL INTO ADJACENT EXISTING MASONRY WALLS. PATCH, REPAIR, AND FINISH DISTURBED ADJACENT WALL FINISHES. RANGE SEALANT WHERE NEW WALL MEETS EXISTING WALL AND STRUCTURE ABOVE GLAZED CMU BASE AND WALL COLOR TO MATCH EXISTING. PATCH AND REPAIR MANUFACTURER'S FULL RANGE OF CUSTOM COLORS. GC TO INSTALL MASONRY UNITS ABOVE MC INSTALLED GLAZED CMU AND DUCTWORK. EXISTING TOILET DUCTWORK, GC TO INSTALL DOORS. SEE MECHANICAL DRAWINGS FOR NON-CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS.
- P21 GC TO INSTALL NEW FLOOR SLAB PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. GC TO COORDINATE RESTROOM LAYOUTS WITH NEW PC FLOOR SLAB PENETRATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P22 DASHED LINES REPRESENT EXISTING AND NEW BEAM FLOOR STRUCTURE BELOW. ALL NEW PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P23 ACROSS ENTIRE PARTITION, GC TO INSTALL NEW CORK TACKBOARDS WITH CUSTOM HARDWOOD TRIM TO MATCH EXISTING CLASSROOM TACKBOARDS IN DIMENSION, DETAILING, AND FINISH. PATCH AND REPAIR EXISTING TACKBOARDS TO MATCH EXISTING TACKBOARDS IN DIMENSION, DETAILING, AND FINISH. PATCH AND REPAIR EXISTING TACKBOARDS TO MATCH EXISTING TACKBOARDS IN DIMENSION, DETAILING, AND FINISH.
- P24 GC TO INSTALL WINDOW FILM WF-1 TO EXISTING DOUBLE HUNG WINDOWS. TYPICAL 2 GLAZING PANELS AT EACH DOUBLE HUNG WINDOW. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 11A-630. ALL WINDOWS SHALL HAVE SOLID SURFACE SS-1 SILLS, JAMBS AND HEAD CONDITIONS.
- P25 GC TO INSTALL AC-4 MIRROR. SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.
- P26 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK MARINE GRADE CASEWORK FOR CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P27 GC TO INSTALL AC-11 URINAL PARTITION. SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.

DEMOLITION KEY NOTES

- D1 GC TO REMOVE 1" TO 1-1/2" CINDER CONCRETE FILL SLAB AND INTEGRAL COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TOILET FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. ALERT ARCHITECT OF DISCREPANCIES FROM DOCUMENTATION.
- D2 GC TO DEMOLISH WALL FROM FLOOR TO STRUCTURE ABOVE. IN PREPARATION OF NEW WORK, DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO EXISTING WALL GRILLS, SECURITY GRILLS, ACCESS PANELS, WINDOWS, INTEGRAL CONCRETE COVE BASE, WOOD TRIM, TACK BOARDS, AND WALL MOUNTED COAT HOOKS. PATCH AND FINISH ADJACENT WALLS WHICH HAVE BEEN DISTURBED TO MATCH ADJACENT CONSTRUCTION. PATCH FLOOR FINISHES ALONG WITH PLASTER, GIB, AND CONCRETE CEILING FINISHES WHICH HAVE BEEN DISTURBED. COORDINATE DEMOLITION WITH OTHER TRADES. GC TO TEMPORARILY SUPPORT AND PROTECT DUCTWORK, PIPES, AND CONDUIT THAT ARE TO REMAIN. GC SHALL BE BACK CHARGED BY OWNER FOR ANY EXISTING TO REMAIN MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS THAT ARE DAMAGED THROUGH GC DEMOLITION WORK.
- D3 GC TO DEMOLISH ALL EXISTING WATER CLOSETS AND URINALS IN THEIR ENTIRETY.
- D4 REMOVE WOOD SHELVING / CASEWORK AND TURN OVER TO OWNER.
- D5 GC TO DEMOLISH DOOR AND FRAME IN THEIR ENTIRETY. WHERE THERE IS ROOM SIGNAGE ON OR NEXT TO DOOR TURN OVER TO OWNER.
- D6 GC TO DEMOLISH ALL TOILET ROOM ACCESSORIES AND RELATED APPURTENANCES IN SPACE. TOILET ROOM ACCESSORIES ARE NOT LIMITED TO TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, SANITARY NAPKIN DISPENSERS, MIRRORS, AND SHELVES. REMOVE ALL ASSOCIATED ANCHORS AND FASTENERS FROM EXISTING TO REMAIN WALLS. PATCH AND PAINT CEILING TO REMAIN WALLS.
- D7 GC TO DEMOLISH ALL EXISTING TOILET PARTITIONS IN THEIR ENTIRETY THROUGHOUT THE ROOM. PARTITIONS ARE EMBEDDED IN TOPPING SLAB AND MUST BE FULLY REMOVED. CAREFULLY DEMOLISH ALL MARBLE AND FFR WALL COVERINGS AT TOILET PARTITIONS. PATCH AND FINISH LEFT IN ALL EXISTING TOILET PARTITIONS INCLUDING BUT NOT LIMITED TO CONCRETE, TERRAZZO, CERAMIC FLOOR TILE, CMU, PLASTER.
- D8 GC TO DEMOLISH ALL EXISTING LAVATORIES IN THEIR ENTIRETY.
- D9 GC TO REMOVE WOOD FLOOR OR CVT, ASSOCIATED WOOD SUBSTRATE, 1" OF CINDER CONCRETE FILL SLAB, & INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TOILET FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL AND FIRM SUBSTRATE FOR NEW FURRING WALLS. ALERT ARCHITECT IF FIELD CONDITIONS DIFFER FROM DOCUMENTATION.
- D10 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 1-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TOILET FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL AND FIRM SUBSTRATE FOR NEW FURRING WALLS. ALERT ARCHITECT IF FIELD CONDITIONS DIFFER FROM DOCUMENTATION.
- D11 GC TO CAREFULLY REMOVE EXISTING WALL TILE FROM ALL WALLS IN ROOM. EXISTING TILE IS FROM INTEGRAL COVE BASE TO 7'-0" AFF. WITH PLASTER FINISH FROM 7'-0" AFF. TO PLASTER CEILING ABOVE. TYPICAL ALL EXISTING WALL TILE REMOVED PATCH PLASTER WALLS TO FORM A LEVEL & FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D12 NOT USED.





KEY PLAN (R)LS 201A NORTH (M)ENS 220

BID SET
AUGUST 13, 2021

NO.	DATE	ADDENDUM #	REVISION
10/01/2021		4	

SCHOOL & LOCATION

School District of Philadelphia
1700 Lindley Avenue, Philadelphia, PA 19141
(5000N 17th St)

PROJECT TITLE

James Logan Elementary School
Toilet Room Renovations

DRAWING TITLE

ENLARGED PLANS - 2ND FLOOR
TOILET ROOMS

LOCATION NO.	FILE NO.
	177902814

DRAWN BY	CHECKED BY
Author	Checker

	OF	2021 / 22
B-001C	OF	2021 / 22
B-002C	OF	2021 / 22
B-003C	OF	2021 / 22
B-004C	OF	2021 / 22

DRAWING NO.

A-152A

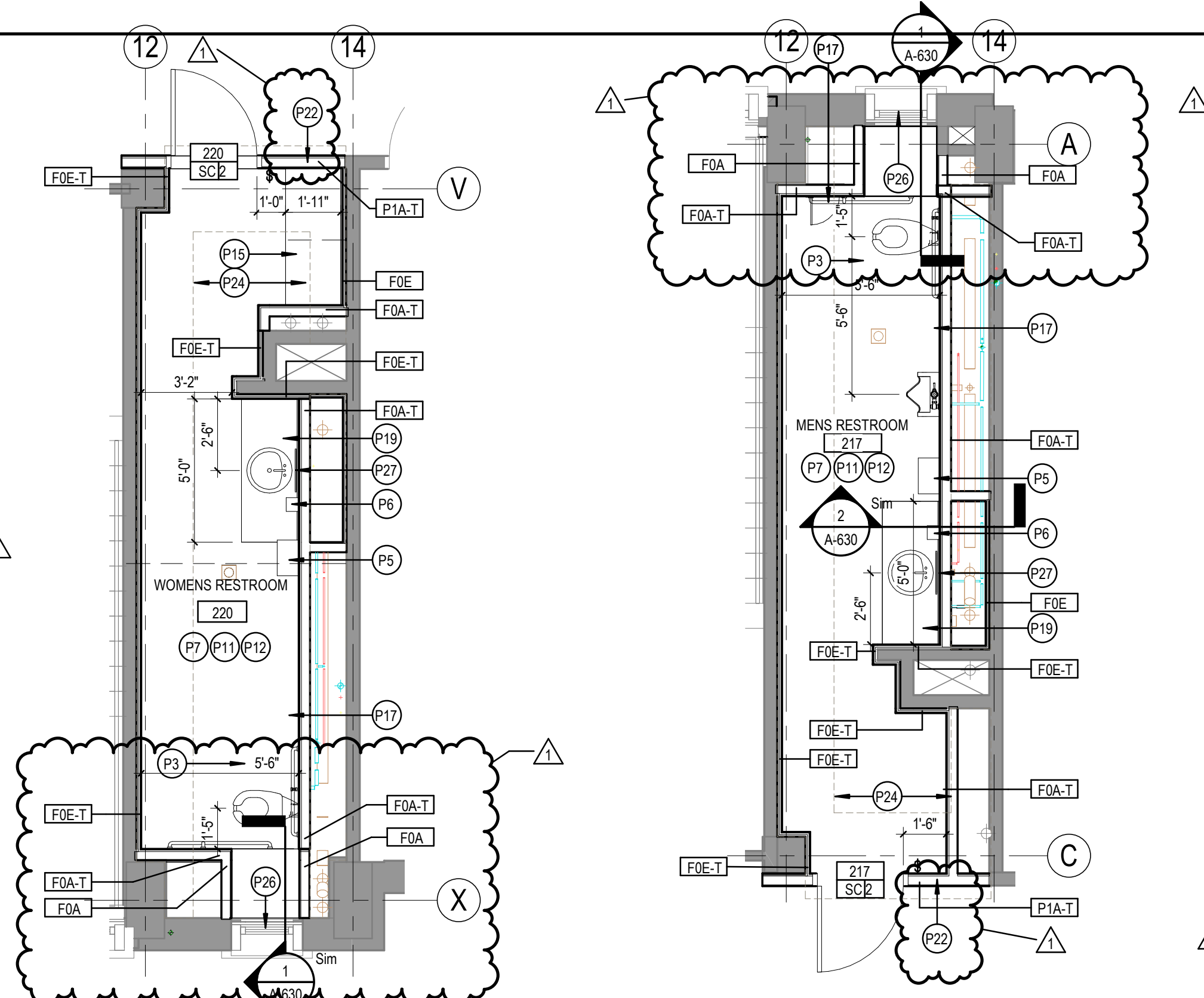
NEW WORK KEY NOTES

- P1 GC TO INSTALL WATER CLOSET TYPE 1 - STANDARD STALL, AC-10 TOILET PARTITIONS, SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P2 GC TO INSTALL WATER CLOSET TYPE 2 - AMBULATORY STALL, AC-10 TOILET PARTITIONS, SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P3 GC TO INSTALL WATER CLOSET TYPE 3 - ADA STALL, AC-10 TOILET PARTITIONS, SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P4 GC TO INSTALL WATER CLOSET TYPE 4 - CHILD ADA STALL, SEE DRAWING SHEETS A-120 & A-121 FOR TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF MODIFICATIONS BEFORE PROCEEDING. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P5 GC TO INSTALL AC-5 PAPER TOWEL DISPENSER, SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P6 GC TO INSTALL SOAP DISPENSER, SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P7 UNLESS OTHERWISE NOTED, GC TO INSTALL F0E-1 PARTITION OVER ALL EXISTING TOILET PARTITIONS IN ROOM. INSTALL TILE UP TO 7'-0" AFF. PAINT ABOVE TILE. INSTALL SCHLUTER TRIM AT OUTSIDE WALL CORNERS. SEE INTERIOR ELEVATIONS, TYPICAL DETAILS ON SHEETS A-120 AND SECTION 10A-120 FOR MORE INFORMATION.
- P8 GC TO INSTALL NEW CMU WALL AT DEMOLISHED DOOR LOCATION. ANCHOR NEW WALL INTO ADJACENT CMU WALLS. PATCH AND REPAIR DISTURBED FLOORING AND ADJACENT WALL AND CEILING FINISHES. BOTTOM CMU COURSE TO HAVE COVE BASE. PAINT TO MATCH EXISTING WALL FINISH.
- P9 GC TO INSTALL NEW DOOR, FRAME, AND HARDWARE IN EXISTING PARTITION. SEE DOOR SCHEDULE FOR MORE INFORMATION. GC TO CAREFULLY REMOVE EXISTING CMU AND INTEGRAL CONCRETE BASE. GC TO INSTALL NEW DOOR FRAME, TOOTH IN NEW CMU AT OPENING PERIMETER. PATCH AND PAINT FINISHES TO MATCH ADJACENT.
- P10 GC TO INSTALL AC-7 TOILET TISSUE DISPENSER, SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P11 INSTALL CEMENTITIOUS LEVELING COMPOUND AND FLOOR ASSEMBLY SEEN ON SHEET A-610 THROUGHOUT ENTIRE ROOM, SO NEW TILE IS LEVEL IN ROOM AND LEVEL WITH EXISTING CORRIDOR AND/OR CLASSROOM FINISHES. FLOORING SHALL SLOPE 1/4" PER 1'-0" TOWARDS FLOOR DRAIN, STARTING 2'-0" OUT FROM CENTERLINE OF FLOOR DRAIN. FLOOR DRAIN SHALL AVOID STRUCTURE AND SLAB REBAR. COORDINATE DRAIN LOCATION WITH PC. SEE SHEET A-610 FOR MORE INFORMATION.
- P12 WHERE NEW WALL TILE IS NOT CALLED FOR, GC TO PATCH, PREP, AND PAINT ALL EXISTING TOILET WALLS AND SURFACES THROUGHOUT THE ENTIRE SPACE. GC TO PAINT ALL EXPOSED PIPES, CONDUIT, DUCTWORK TO MATCH ADJACENT SURFACE. GC TO COMPLETE IN-PLACE MOCKUP FOR ARCHITECT TO REVIEW BEFORE PROCEEDING TO PAINT ENTIRE SPACE. GC TO TEST FOR SURFACE ADHESION AT EXISTING GLAZED MASONRY. INFORM ARCHITECT OF RESULTS.
- P13 GC TO PATCH AND PAINT UP ALL EXISTING TOILET CEILING AND STRUCTURE IN SPACE. PATCH AND PAINT CEILING WHERE WALLS HAVE BEEN DEMOLISHED. GC TO PAINT ALL EXPOSED PIPES, CONDUIT, DUCTWORK, CLOCKS AND SPEAKERS, TO MATCH ADJACENT SURFACE.
- P14 GC TO INSTALL GLAZED INSULATED METAL PANEL AT UPPER WINDOW SASHES OF DOUBLE HUNG WINDOWS. ARCHITECT TO SELECT FROM MANUFACTURERS FULL RANGE OF STANDARD AND CUSTOM COLORS. BOB MAPS RAINFALL PANELS. COORDINATE WITH ME AND THEIR LOUVER OPENING IN METAL PANEL. GC TO INSTALL WINDOW FILM WF-1 AT LOWER SASH GLAZING OF DOUBLE HUNG WINDOWS. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-439. GC TO FURR OUT WINDOWS AND GC TO INSTALL CASEWORK. SEE DETAIL ON 5/A-120 FOR MORE INFORMATION.
- P15 GC TO FURR OUT EXISTING FAN AND WALL MOUNTED CONTROLS ON ALL SIDES WITH F0C PARTITION. INSTALL PAINTED METAL 24" X 24" ACCESS DOOR SO EXISTING MOTOR AND CONTROLS ARE ACCESSIBLE. COORDINATE FINAL LOCATION WITH ARCHITECT.
- P16 GC TO INSTALL PAINTED METAL 12" X 12" ACCESS PANEL, BOTTOM OF ACCESS PANEL TO BE 7'-6" AFF. COORDINATE FINAL ACCESS PANEL NUMBER AND LOCATIONS WITH OTHER PRIME CONTRACTORS. REVIEW FINAL LOCATIONS WITH ARCHITECT IN THE FIELD.
- P17 GC TO INSTALL PAINTED METAL 18" X 36" ACCESS DOOR 18" ABOVE FINISH FLOOR IN CMU PARTITIONS. COORDINATE FINAL LOCATION WITH OTHER PRIME CONTRACTORS.
- P18 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR NON-CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P19 GC TO INSTALL AC-4 MIRROR, SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.
- P20 GC TO INSTALL NEW GLAZED FACE CMU PARTITION. ANCHOR NEW WALL INTO ADJACENT, EXISTING MASONRY WALLS. PATCH, REPAIR, AND FINISH DISTURBED ADJACENT WALL FINISHES. INSTALL SEALANT WHERE NEW WALL MEETS EXISTING WALL AND STRUCTURE ABOVE. GLAZED CMU BASE AND WALL COLOR TO BE DETERMINED BY ARCHITECT FROM DOCUMENTATION. CORNERS AND WALLS THAT DO NOT RETURN INSTALL BULLNOSE GLAZED FACE CMU. GC TO PATCH AROUND AND FIRST STOP PLUMBING, MECHANICAL, AND ELECTRICAL WORK THAT IS TO REMAIN. COORDINATE WITH ALL OTHER TRADES. COORDINATE INSTALLATION OF TOILET FIXTURE, CARRIERS, AND PLUMBING WITH PC & EC.
- P21 ON NON-RESTROOM SIDE OF NEW PARTITION, GC TO PAINT PARTITION TO MATCH ADJACENT WALLS. GC TO INSTALL CUSTOM TRIM AND INTEGRAL CONCRETE COVE BASE TO MATCH ADJACENT EXISTING ROOM TRIM AND BASE IN DIMENSION, DETAILING, & PAINT FINISH. PARTITION, INTEGRAL BASE, & TRIM PANEL COLOR TO BE CHOSEN FROM MANUFACTURERS FULL RANGE OF STANDARD AND CUSTOM COLORS. TRIM AND BASE TO EXTEND FULL LENGTH OF PARTITION AND HAVE A MITERED TRANSITION TO EXISTING TRIM AND BASE. PATCH, PAINT, AND FINISH ADJACENT FLOOR, WALL, TRIM, AND CEILING FINISHES DISTURBED DURING CONSTRUCTION. SEE G-300 FOR MORE INFORMATION.
- P22 NEW PC FLOOR SLAB PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR, TYPICAL. GC TO COORDINATE RESTROOM LAYOUTS WITH NEW PC FLOOR SLAB PENETRATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P23 DASHED LINES REPRESENT EXISTING CONCRETE JOIST AND BEAM FLOOR STRUCTURE BELOW. ALL NEW PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P24 GC TO INSTALL NEW WORK TACKBOARDS WITH CUSTOM HARDWOOD TRIM TO MATCH EXISTING CLASSROOM TACKBOARDS IN DIMENSION, DETAILING, AND PAINT FINISH. PATCH AND PAINT PARTITION TO MATCH EXISTING TACKBOARD LOCATIONS.
- P25 GC TO INSTALL WINDOW FILM WF-1 TO EXISTING DOUBLE HUNG WINDOWS. TYPICAL 2 GLAZING PANELS AT EACH DOUBLE HUNG WINDOW. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-439. ALL WINDOWS SHALL HAVE SOLID SURFACE SS-1 SILLS, JAMBES AND HEAD CONDITIONS.
- P26 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P27 GC TO INSTALL AC-11 URINAL PARTITION, SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.



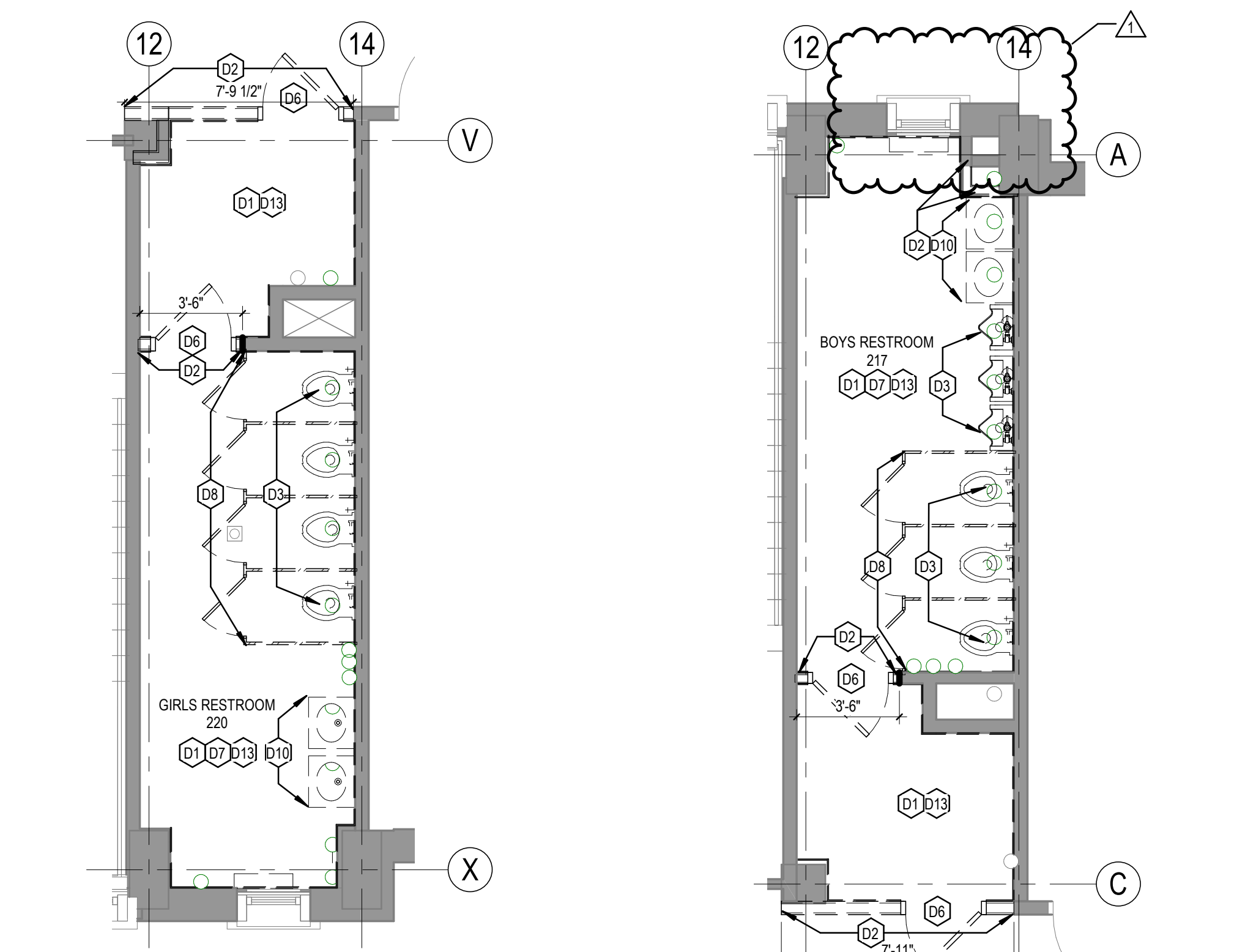
WOMENS RESTROOM 220 - NEW WORK CEILING PLAN

MENS RESTROOM 217 - NEW WORK CEILING PLAN



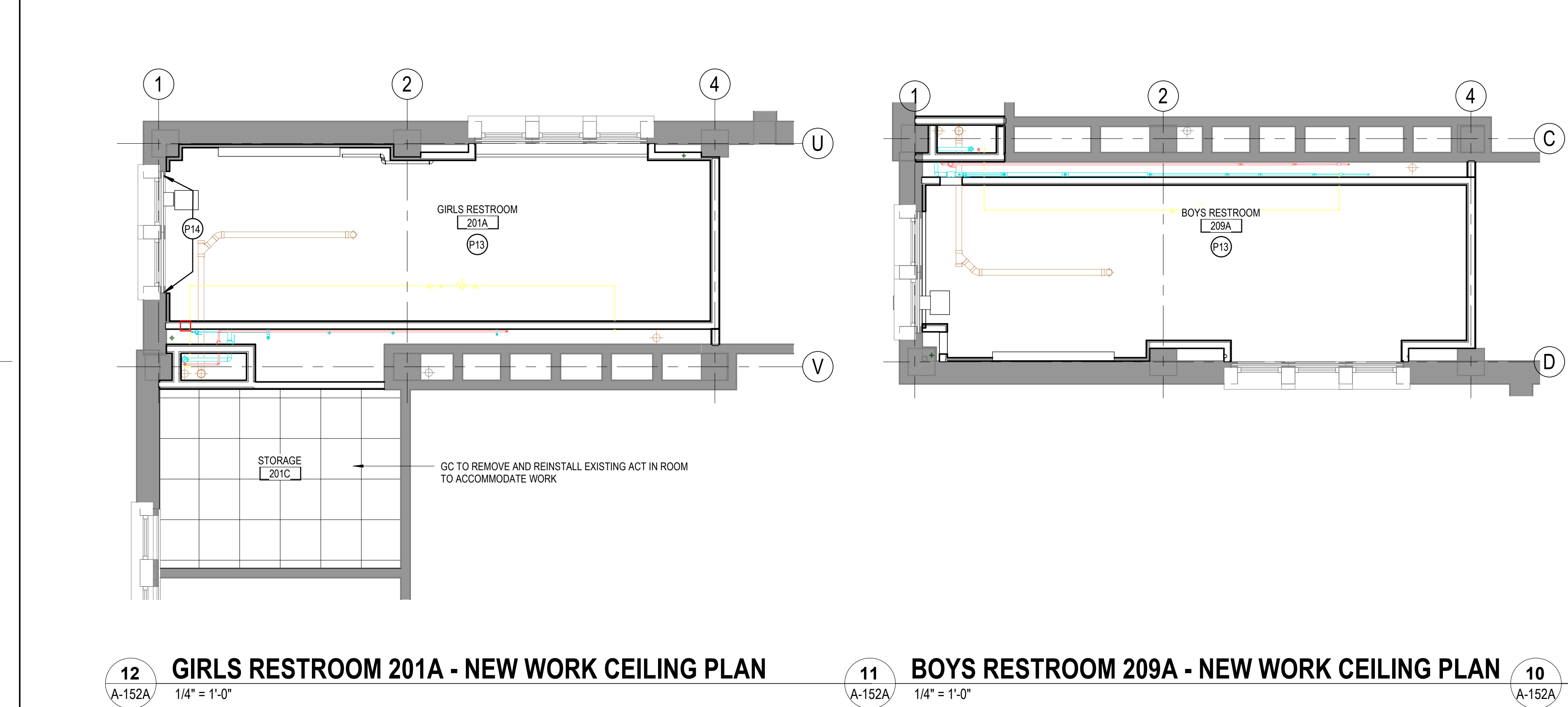
WOMENS RESTROOM 220 - NEW WORK PLAN

MENS RESTROOM 217 - NEW WORK PLAN



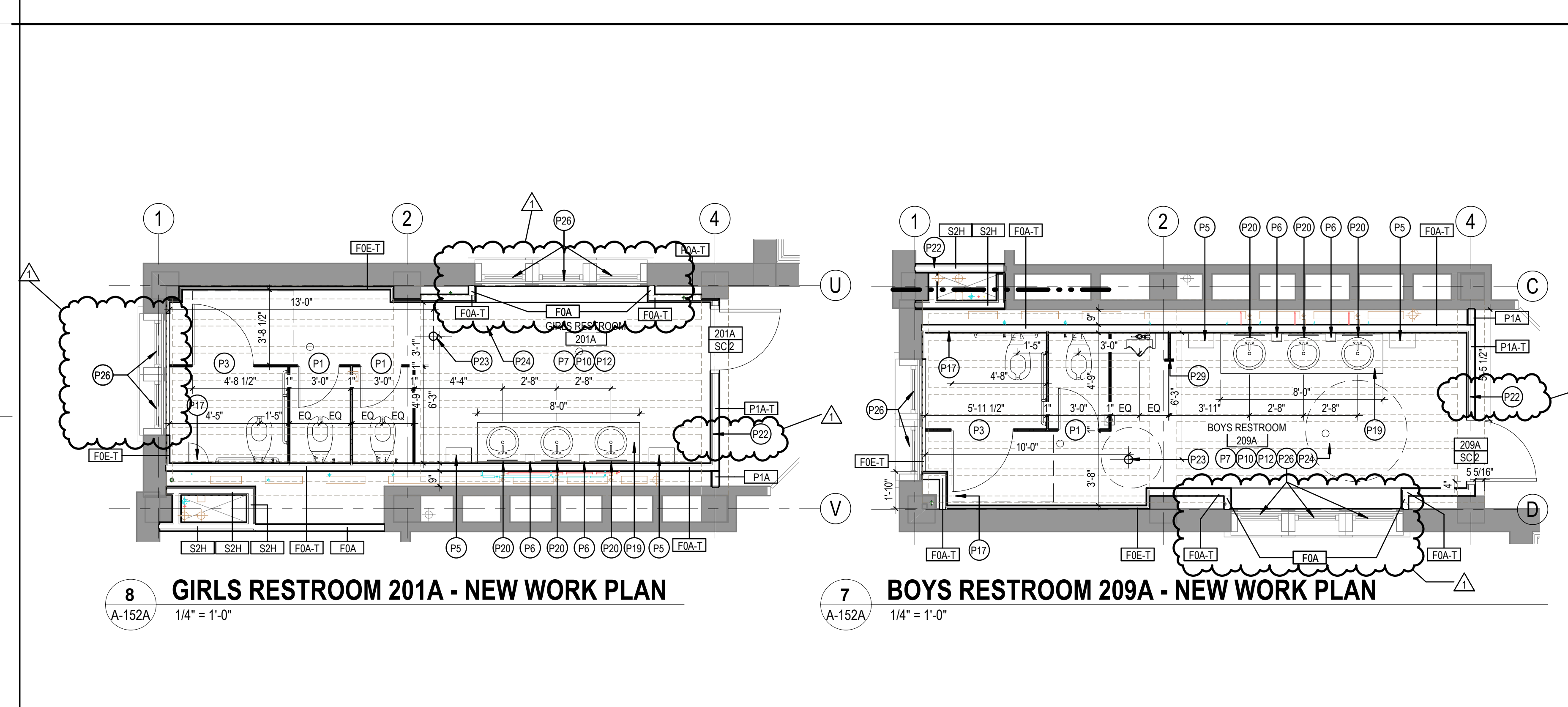
GIRLS RESTROOM 220 - DEMOLITION PLAN

BOYS RESTROOM 217 - DEMOLITION PLAN



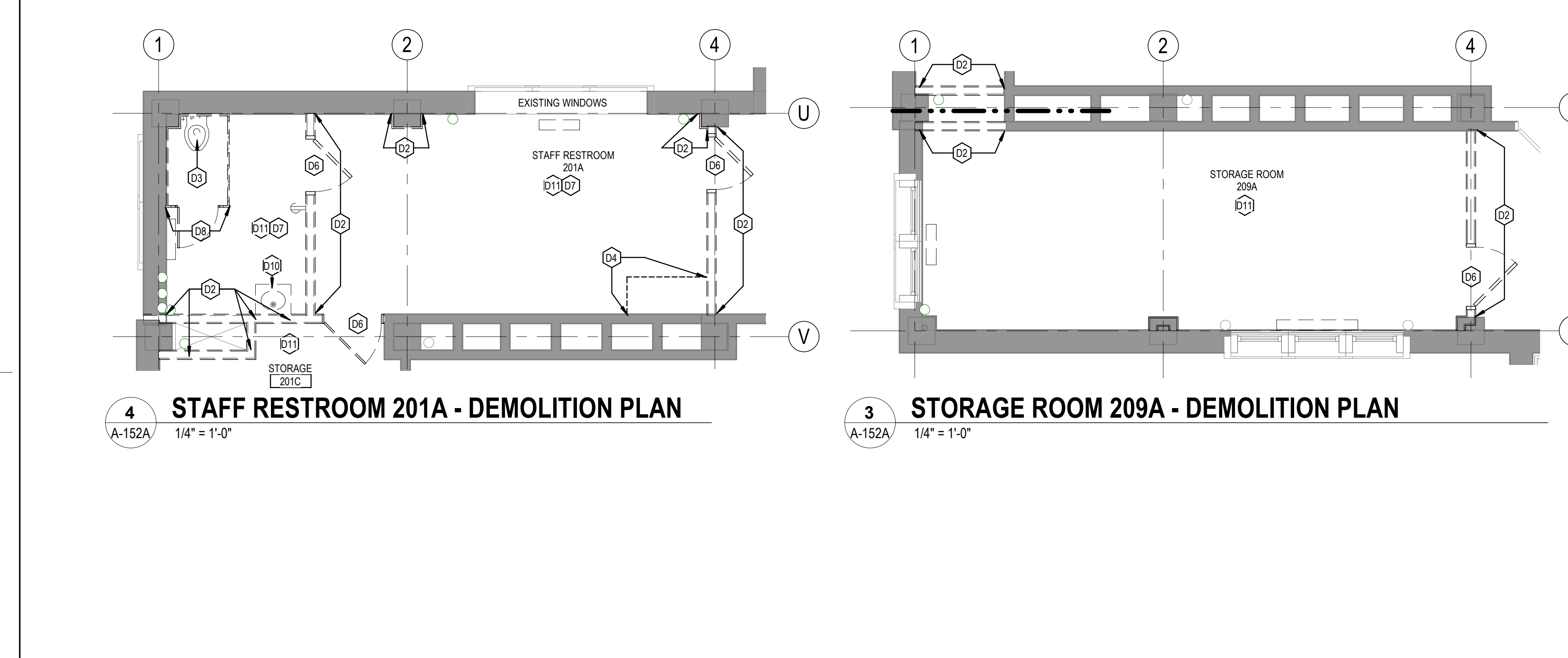
GIRLS RESTROOM 201A - NEW WORK CEILING PLAN

BOYS RESTROOM 209A - NEW WORK CEILING PLAN



GIRLS RESTROOM 201A - NEW WORK PLAN

BOYS RESTROOM 209A - NEW WORK PLAN



STAFF RESTROOM 201A - DEMOLITION PLAN

STORAGE ROOM 209A - DEMOLITION PLAN



GIRLS RESTROOM 220 - DEMOLITION PLAN

BOYS RESTROOM 217 - DEMOLITION PLAN

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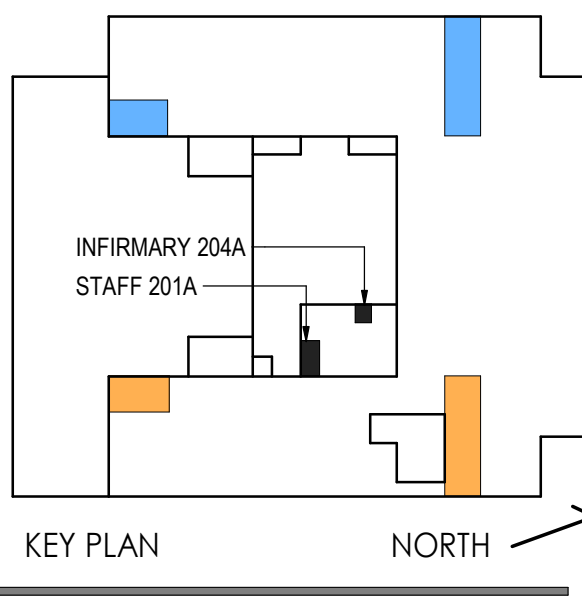
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P: 215-645-7035

GENERAL NOTES

- REFER TO SHEET G-002, P-001, M-001, & E-001 FOR STANDARD ABBREVIATIONS, SYMBOL LEGENDS, DRAWING LEGS, AND GENERAL NOTES.
- REFER TO G SERIES OCCUPANCY PLANS FOR EXISTING WALL FIVE FINISHES.
- REFER TO SHEET A-120 AND A-121 FOR FINISH LEGEND, GENERAL FINISH NOTES, & RESTROOM DETAILS.
- REFER TO THE A-300 SERIES DRAWINGS FOR RESTROOM FINISHES & ELEVATIONS.
- PLAN DIMENSIONS ARE TO FINISH FACE OF PARTITION, WHERE APPLICABLE THIS INCLUDES FINISH FACE OF TILE. NOTIFY ARCHITECT IF THERE ARE CONFLICTS AND DISCREPANCIES IN THE FIELD.
- ALL DRAWINGS MUST BE **MUST BE PRINTED IN COLOR** TO ASCERTAIN ALL INFORMATION. BLACK AND WHITE PRINTS, REPRODUCTIONS MAY NOT CLEARLY SHOW ALL INFORMATION.
- FINISH FACE OF ABUTTING, EXISTING AND NEW PARTITIONS TO ALIGN. TYPICAL.
- SEE SHEETS G-200 & G-300 FOR PHOTOGRAPHS OF EXISTING CONDITIONS AND CONTRACTOR COORDINATION.



BID SET
AUGUST 13, 2021

NO.	DATE	DESCRIPTION
10/01/2021	10/01/2021	ADDENDUM # 1

SCHOOL & LOCATION

School District of Philadelphia
1700 Lindley Avenue, Philadelphia, PA 19141
(500N 17th St)

PROJECT TITLE

James Logan Elementary School
Toilet Room Renovations

DRAWING TITLE

ENLARGED PLANS - 2ND FLOOR
TOILET ROOMS

LOCATION NO.	FILE NO.
	177902814
DRAWN BY Author	CHECKED BY Checker
8-001C	OF 2021 / 22
8-002C	OF 2021 / 22
8-003C	OF 2021 / 22
8-004C	OF 2021 / 22

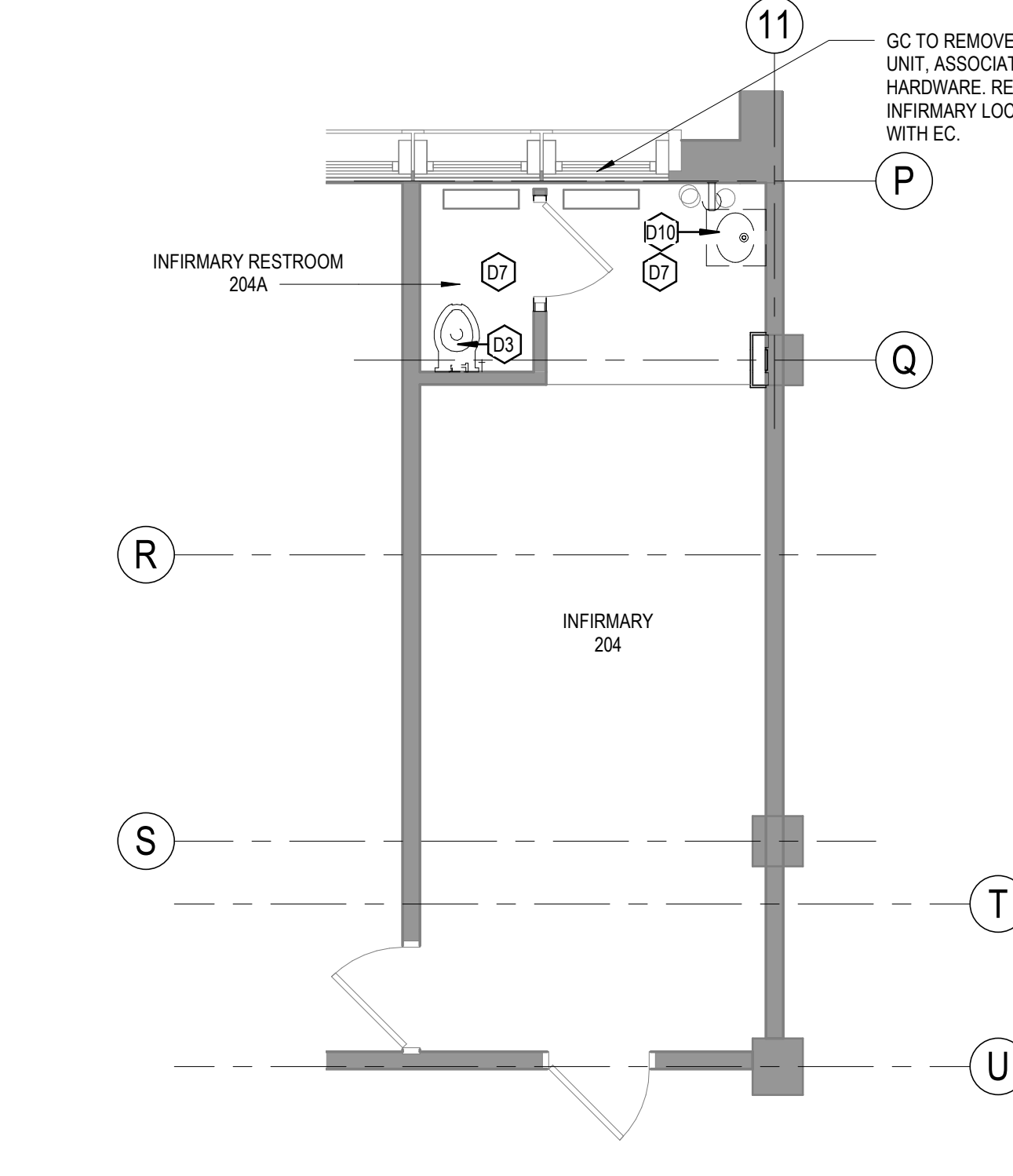
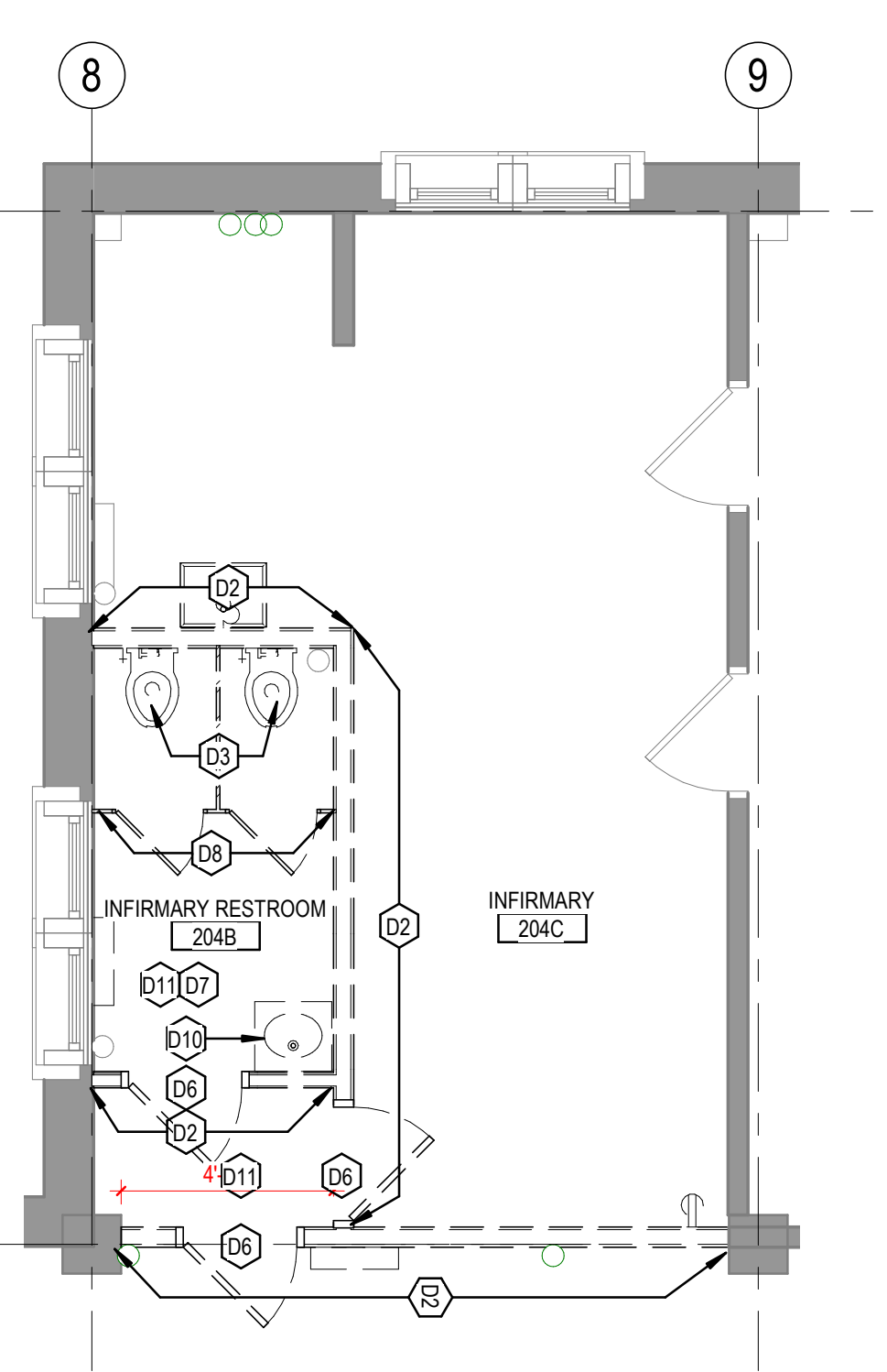
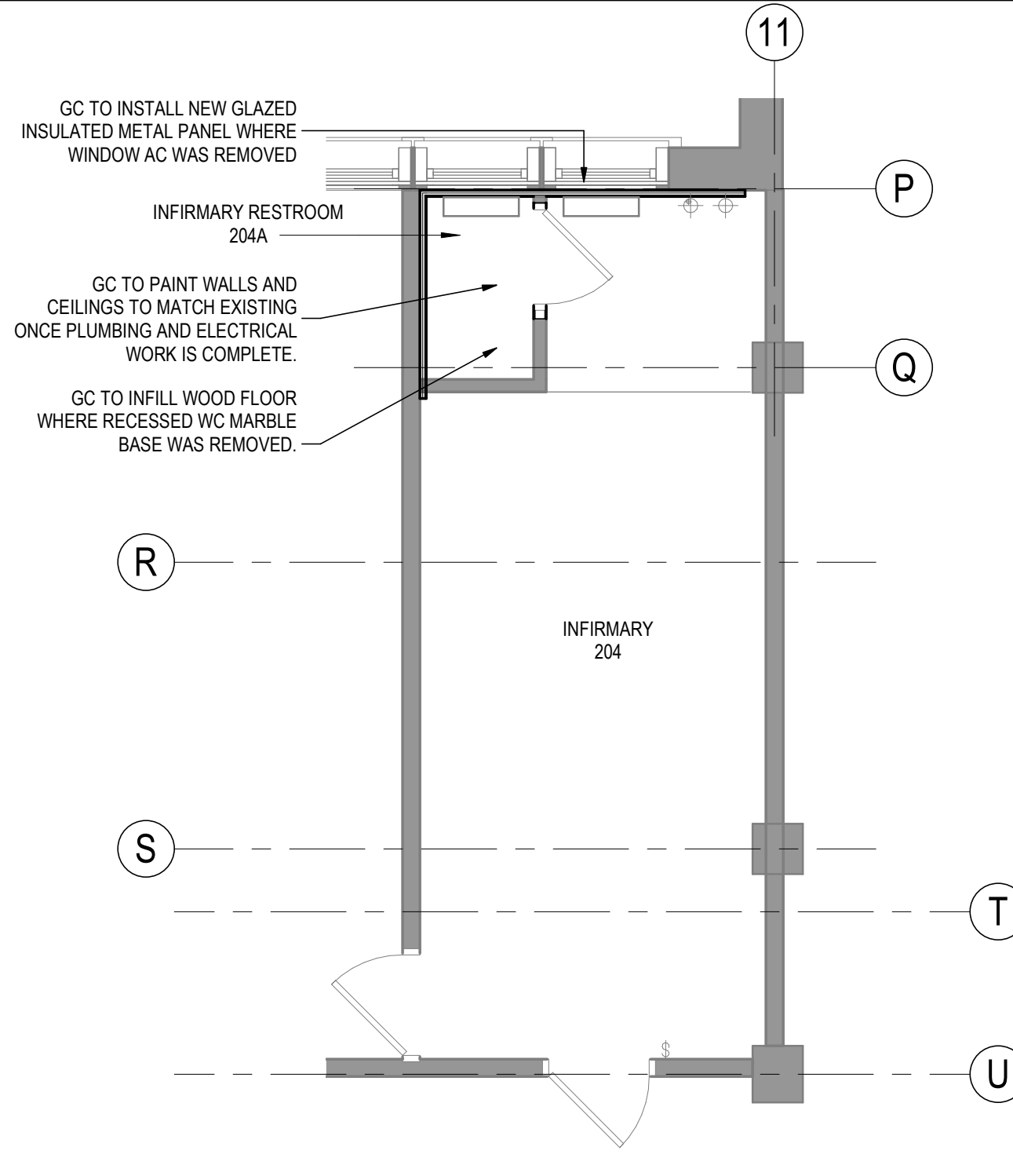
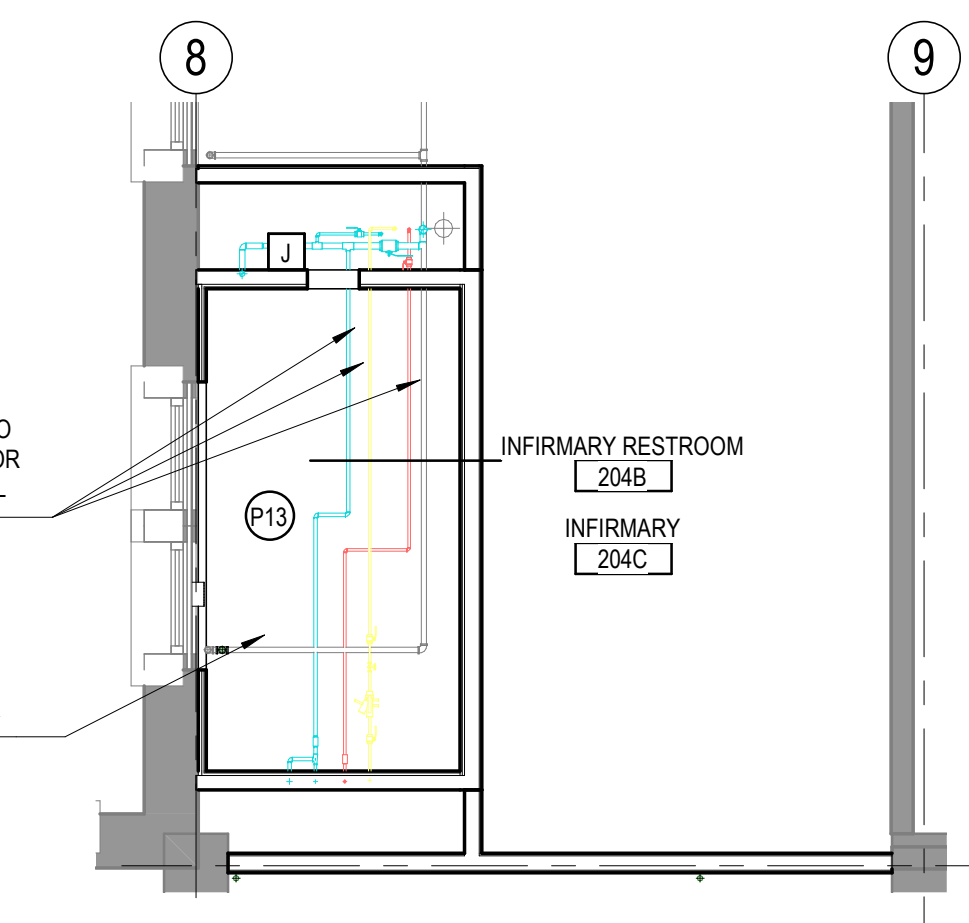
DRAWING NO.
A-152B

NEW WORK KEY NOTES

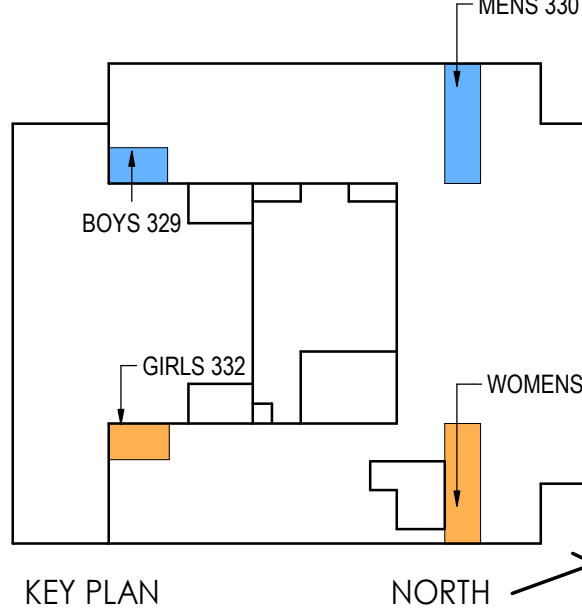
- P1 GC TO INSTALL WATER CLOSET TYPE 1 - STANDARD STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P2 GC TO INSTALL WATER CLOSET TYPE 2 - AMBULATORY STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P3 GC TO INSTALL WATER CLOSET TYPE 3 - ADA STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P4 GC TO INSTALL WATER CLOSET TYPE 4 - CHILD ADA STALL. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL LAYOUT WITH EXISTING CONDITIONS, OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF MODIFICATIONS BEFORE PROCEEDING. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P5 GC TO INSTALL AC-5 PAPER TOWEL DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P6 GC TO INSTALL SOAP DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P7 UNLESS OTHERWISE NOTED, GC TO INSTALL FOG-T PARTITION OVER ALL EXISTING TOILET PARTITIONS IN ROOM. INSTALL TILE UP TO 7'-0" AFF. PAINT ABOVE TILE. INSTALL SCHLUTER TRIM AT OUTSIDE WALL CORNERS. SEE INTERIOR ELEVATIONS, TYPICAL DETAILS ON SHEETS A-120 AND SECTION 10A-530 FOR MORE INFORMATION.
- P8 GC TO INSTALL NEW CMU WALL AT DEMOLISHED DOOR LOCATION. ANCHOR NEW WALL INTO ADJACENT CMU WALLS. PATCH AND REPAIR DISTURBED FLOORING AND ADJACENT WALL AND CEILING FINISHES. BOTTOM CMU COURSE TO HAVE COVE BASE. PAINT TO MATCH EXISTING WALL FINISH.
- P9 GC TO INSTALL NEW DOOR, FRAME, AND HARDWARE IN EXISTING PARTITION. SEE DOOR SCHEDULE FOR MORE INFORMATION. GC TO CAREFULLY REMOVE EXISTING CMU AND INTEGRAL CONCRETE BASE TO INSTALL NEW DOOR FRAME. TOOTH IN NEW CMU AT OPENING PERIMETER. PATCH AND PAINT FINISHES TO MATCH ADJACENT.
- P10 GC TO INSTALL AC-7 TOILET TISSUE DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P11 INSTALL GEMETITIOUS LEVELING COMPOUND AND FLOOR ASSEMBLY SEEN ON SHEET A-610 THROUGHOUT ENTIRE ROOM. SO NEW TILE IS LEVEL IN ROOM AND LEVEL WITH EXISTING CORRIDOR AND/OR CLASSROOM FINISHES. FLOORING SHALL SLOPE 1/4" PER 1'-0" TOWARDS FLOOR DRAIN, STARTING 2'-0" OUT FROM CENTERLINE OF FLOOR DRAIN. FLOOR DRAIN SHALL AVOID STRUCTURE AND IN SLAB REBAR. COORDINATE DRAIN LOCATION WITH PC. SEE SHEET A-120 FOR MORE INFORMATION.
- P12 WHERE NEW WALL TILE IS NOT CALLED FOR, GC TO PATCH, PREP, AND PAINT ALL EXISTING TO REMAIN WALLS AND SURFACES THROUGHOUT THE ENTIRE SPACE. GC TO PAINT ALL EXPOSED PIPES, CONDUIT, DUCTWORK, CLOCKS AND SPEAKERS. TO MATCH ADJACENT SURFACE. COORDINATE FINAL LOCATION WITH PRIME CONTRACTORS.
- P13 GC TO PATCH AND PAINT UP-1 ALL EXISTING TO REMAIN CEILING AND STRUCTURE IN SPACE. PATCH & PAINT CEILING WHERE WALLS HAVE BEEN DEMOLISHED. GC TO PAINT ALL EXPOSED PIPES, CONDUIT, DUCTWORK, CLOCKS AND SPEAKERS. TO MATCH ADJACENT SURFACE. COORDINATE FINAL LOCATION WITH PRIME CONTRACTORS.
- P14 GC TO INSTALL GLAZED INSULATED METAL PANEL AT UPPER WINDOW SASHES OF DOUBLE HUNG WINDOWS. ARCHITECT TO SELECT FROM MANUFACTURER'S FULL RANGE OF STANDARD AND CUSTOM COLORS, BODY MATERIAL PANELS. COORDINATE WITH MC AND THEIR LOWER OPENING IN METAL PANEL. GC TO INSTALL WINDOW FILM WF-1 AT LOWER SASH GLAZING OF DOUBLE HUNG WINDOWS. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 10A-530. ALL WINDOWS SHALL HAVE INSTALL SS-1 SILLS, JAMBS & HEAD CONDITIONS.
- P15 GC TO INSTALL CASEWORK. SEE DETAIL ON 09-120 FOR MORE INFORMATION.
- P16 GC TO FURR OUT EXISTING FAN AND WALL MOUNTED CONTROLS ON ALL SIDES WITH FOC PARTITION. INSTALL PAINTED METAL 24" X 24" ACCESS DOOR SO EXISTING MOTOR AND CONTROLS ARE ACCESSIBLE. COORDINATE FINAL LOCATION WITH ARCHITECT.
- P17 GC TO INSTALL PAINTED METAL 12" X 12" ACCESS PANEL, BOTTOM OF ACCESS PANEL TO BE 7'-0" AFF. COORDINATE FINAL ACCESS PANEL NUMBER AND LOCATIONS WITH OTHER PRIME CONTRACTORS. REVEAL FINAL LOCATIONS WITH ARCHITECT IN THE FIELD.
- P18 GC TO INSTALL PAINTED METAL 18" X 36" ACCESS DOOR 16" ABOVE FINISH FLOOR IN CMU PARTITIONS. COORDINATE FINAL LOCATION WITH OTHER PRIME CONTRACTORS.
- P19 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR NON CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P20 GC TO INSTALL AC-4 MIRROR. SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.
- P21 GC TO INSTALL NEW GLAZED FACE CMU PARTITION. ANCHOR NEW WALL INTO ADJACENT, EXISTING MASONRY WALLS. PATCH, REPAIR, AND FINISH DISTURBED ADJACENT WALL FINISHES. INSTALL SEALANT WHERE NEW WALL AND STRUCTURE ABOVE. GLAZED FACE CMU BASE AND WALL COLOR TO BE DETERMINED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF CUSTOM COLORS. GC TO INSTALL MASONRY LINTELS ABOVE MC INSTALLED GRILLS AND DUCTWORK, EXISTING TO REMAIN DUCTWORK, AND GC INSTALLED DOORS. SEE MECHANICAL DRAWINGS FOR MC INSTALLED GRILLS AND DUCTWORK AT ALL OUTSIDE CORNERS AND WALLS THAT DO NOT RETURN. INSTALL BULLNOSE GLAZED FACE CMU. GC TO PATCH AROUND AND FIRESTOP PLUMBING, MECHANICAL, AND ELECTRICAL WORK THAT IS TO REMAIN. COORDINATE WALL PENETRATIONS WITH OTHER PRIMES. COORDINATE INSTALLATION OF TOILET FIXTURE, CARRIERS, AND PLUMBING WITH PC & EC.
- P22 ON NON-RESTROOM SIDE OF NEW PARTITION, GC TO PARTITION TO MATCH ADJACENT WALLS. GC TO INSTALL CUSTOM WOOD TRIM AND INTEGRAL BASE TO MATCH ADJACENT EXISTING ROOM TRIM AND BASE IN DIMENSION, DETAILING, & PAINT FINISH. PARTITION, INTEGRAL BASE, & TRIM PAINT COLOR TO BE CHOSEN FROM MANUFACTURER'S FULL RANGE OF STANDARD AND CUSTOM COORDINATE TRIM AND BASE TO EXTEND FULL LENGTH OF PARTITION AND HAVE A MITERED TRANSITION TO EXISTING TRIM AND BASE. PATCH, PAINT, AND FINISH ADJACENT FLOOR, WALL, TRIM, AND CEILING FINISHES DISTURBED DURING CONSTRUCTION. SEE G-300 FOR MORE INFORMATION.
- P23 NEW PC FLOOR SLAB PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. TYPICAL. GC TO COORDINATE RESTROOM LAYOUTS WITH NEW PC FLOOR SLAB PENETRATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P24 DASHED LINES REPRESENT EXISTING CONCRETE JOIST AND BEAM FLOOR STRUCTURE BELOW. ALL NEW PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P25 ACROSS ENTIRE PARTITION, GC TO INSTALL NEW CORK TACKBOARDS WITH CUSTOM HARDWOOD TRIM TO MATCH EXISTING CLASSROOM TACKBOARDS IN DIMENSION, DETAILING, AND PAINT FINISH. PATCH AND PAINT PARTITION AT DEMOLISHED TACKBOARD LOCATION. TACKBOARD GRIDS TO BE INSTALLED TO MATCH EXISTING TACKBOARD INFORMATION.
- P26 GC TO INSTALL WINDOW FILM WF-1 TO EXISTING DOUBLE HUNG WINDOWS. TYPICAL 2 GLAZING PANELS AT EACH DOUBLE HUNG WINDOW. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 10A-530. ALL WINDOWS SHALL HAVE SOLID SURFACE SS-1 SILLS, JAMBS AND HEAD CONDITIONS.
- P27 GC TO REMOVE EXISTING AC WINDOW UNIT, ASSOCIATED BRACKETS, AND HARDWARE. REINSTALL AT NEW INFIRMARY LOCATION. COORDINATE WITH EC.
- P28 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR NON CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P29 GC TO INSTALL AC-11 URINAL PARTITION. SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.

DEMOLITION KEY NOTES

- D1 GC TO REMOVE 1" TO 1-1/2" CINDER CONCRETE FILL SLAB AND INTEGRAL COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. ALERT ARCHITECT IF INFELD CONDITIONS DIFFER FROM DOCUMENTATION.
- D2 GC TO DEMOLISH WALL FROM FLOOR TO STRUCTURE ABOVE. IN PREPARATION OF NEW WORK, DEMOLITION SHALL INCLUDE BUT NOT LIMITED TO EXISTING WALL GRILLS, SECURITY GRILLS, ACCESS PANELS, WINDOWS, INTEGRAL CONCRETE COVE BASE, WOOD TRIM, TACK BOARDS, AND WALL MOUNTED COAT HOOKS. PATCH AND FINISH ADJACENT WALLS WHICH HAVE BEEN DISTURBED TO MATCH ADJACENT CONSTRUCTION. PATCH FLOOR FINISHES ALONG WITH PLASTER, GWS, AND CONCRETE CEILING FINISHES WHICH HAVE BEEN DISTURBED. COORDINATE DEMOLITION WITH OTHER TRADES. GC TO TEMPORARILY SUPPORT AND PROTECT DUCTWORK, PIPES, AND CONDUIT THAT ARE TO REMAIN. GC SHALL BE BACK CHARGED BY OWNER FOR ANY EXISTING TO REMAIN MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS THAT ARE DAMAGED THROUGH GC DEMOLITION WORK.
- D3 GC TO DEMOLISH ALL EXISTING WATER CLOSETS AND URINALS IN THEIR ENTIRETY.
- D4 REMOVE WOOD SHELVING / CASEWORK AND TURN OVER TO OWNER.
- D5 GC TO DEMOLISH DOOR AND FRAME IN THEIR ENTIRETY. WHERE THERE IS ROOM SIGNAGE ON OR NEXT TO DOOR TURN OVER TO OWNER.
- D6 GC TO DEMOLISH ALL TOILET ROOM ACCESSORIES AND RELATED APPURTENANCES IN SPACE. TOILET ROOM ACCESSORIES INCLUDE BUT ARE NOT LIMITED TO, TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, SANITARY NAPKIN DISPENSERS, MIRRORS, AND SHELVES. REMOVE ALL ASSOCIATED ANCHORS AND FASTENERS FROM EXISTING TO REMAIN WALLS. PATCH AND PAINT EXISTING TO REMAIN WALLS.
- D7 GC TO DEMOLISH ALL EXISTING TOILET STALL PARTITIONS IN THEIR ENTIRETY THROUGHOUT THE ROOM. PARTITIONS ARE EMBEDDED IN TOPPING SLAB AND MUST BE FULLY REMOVED CAREFULLY DEMOLISH ALL MARBLE AND FIRM WALL COVERINGS AT TOILET PARTITIONS. PATCH AND FINISH HOLES LEFT IN ALL EXISTING TO REMAIN FINISHES INCLUDING BUT NOT LIMITED TO CONCRETE, TERRAZZO, CERAMIC FLOOR TILE, CMU, PLASTER.
- D8 GC TO DEMOLISH ALL EXISTING LAVATORIES IN THEIR ENTIRETY.
- D9 GC TO REMOVE WOOD FLOOR OR VCT, ASSOCIATED WOOD SUBSTRATE, 1" OF CINDER CONCRETE FILL SLAB, & INTEGRAL CONCRETE COVE BASE IN PREPARATION FOR HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL & FIRM SUBSTRATE FOR NEW FURRING WALLS. ALERT ARCHITECT IF INFELD CONDITIONS DIFFER FROM DOCUMENTATION. REMOVE ALL.
- D10 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL & FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D11 GC TO CAREFULLY REMOVE EXISTING WALL TILE FROM ALL WALLS IN ROOM. EXISTING TILE IS FROM INTEGRAL COVE BASE TO 7'-0" AFF. WITH PLASTER FINISH FROM 7'-0" AFF TO PLASTER CEILING ABOVE. TYPICAL ALL WALLS IN ROOM. ONCE EXISTING WALL TILE REMOVED PATCH PLASTER WALLS TO FORM A LEVEL & FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D12 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO FORM A LEVEL & FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D13 NOT USED
- D14 NOT USED



- REFER TO SHEET G-002, P-001, M-001, & E-001 FOR STANDARD ABBREVIATIONS, SYMBOL LEGENDS, DRAWING LISTS, AND GENERAL NOTES.
- REFER TO G SERIES OCCUPANCY PLANS FOR EXISTING WALL FIRE RATINGS.
- REFER TO SHEET A-120 AND A-121 FOR FINISH LEGEND, GENERAL FINISH SERIES, & RESTROOM DETAILS.
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- PLAN DIMENSIONS ARE TO FINISH FACE OF PARTITION, WHERE APPLICABLE THIS INCLUDES FINISH FACE OF TILE. NOTIFY ARCHITECT IF THERE ARE CONFLICTS AND DISCREPANCIES IN THE FIELD.
- ALL DRAWINGS MUST BE **MUST BE PRINTED IN COLOR** TO ASCERTAIN ALL INFORMATION. BLACK AND WHITE PRINTS, REPRODUCTIONS MAY NOT CLEARLY SHOW ALL INFORMATION.
- FINISH FACE OF ABUTTING, EXISTING AND NEW PARTITIONS IS USUALLY TYPICAL.
- SEE SHEETS G-200 & G-300 FOR PHOTOGRAPHS OF EXISTING CONDITIONS AND CONTRACTOR COORDINATION.



KEY PLAN NORTH

BID SET AUGUST 13, 2021

NO.	DATE	ADDENDUM #	REVISION
10/01/2021		ADDENDUM 4	

SCHOOL & LOCATION

School District of Philadelphia
1700 Lindley Avenue, Philadelphia, PA 19141
(5000N 17th St)

PROJECT TITLE

James Logan Elementary School
Toilet Room Renovations

DRAWING TITLE

ENLARGED PLANS - 3RD FLOOR
TOILET ROOMS

LOCATION NO.	FILE NO.
	177902814
DRAWN BY Author	CHECKED BY Checker
8-001C	OF 2021 / 22
8-002C	OF 2021 / 22
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DRAWING NO.

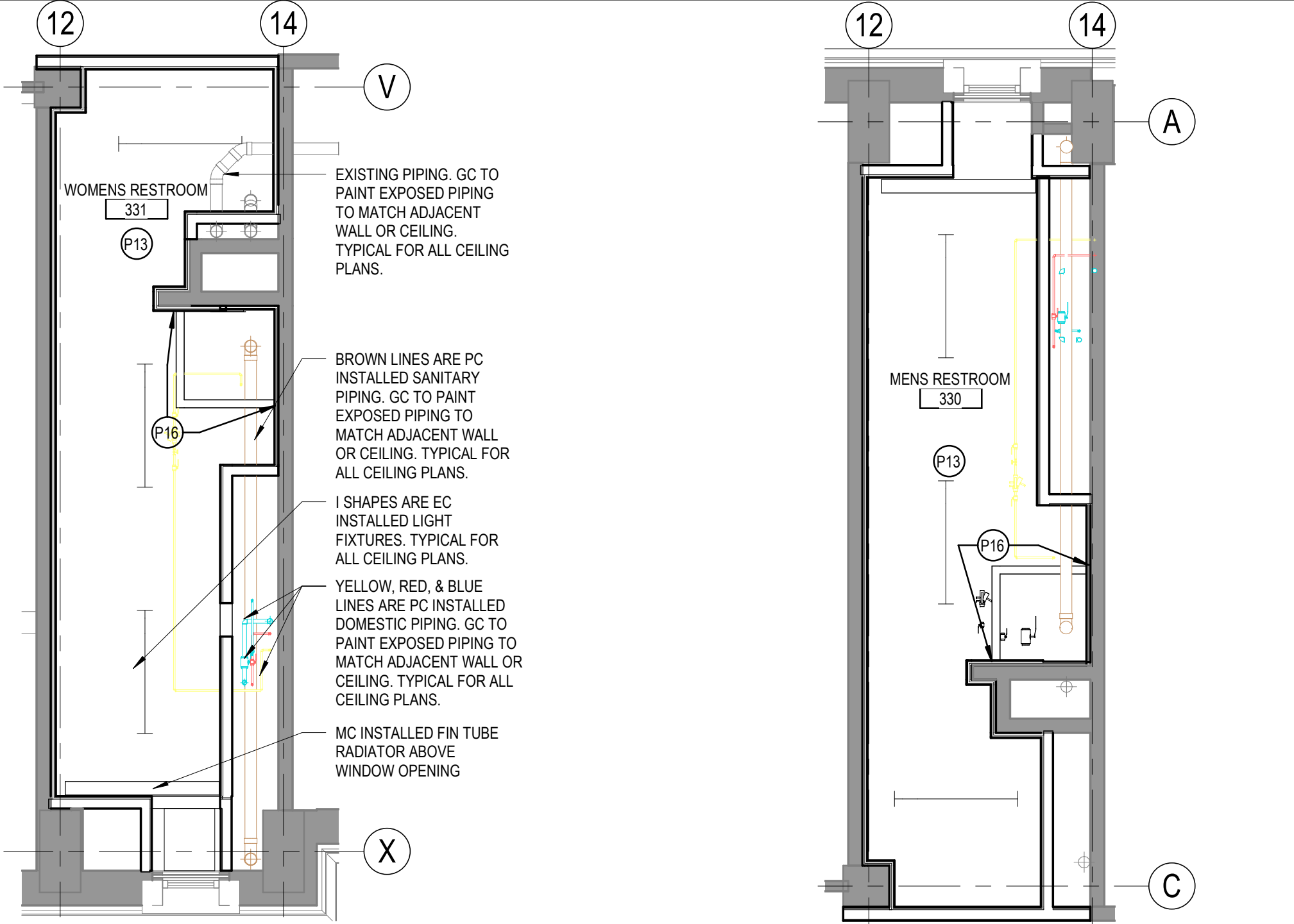
A-153

NEW WORK KEY NOTES

- P1 GC TO INSTALL WATER CLOSET TYPE 1 - STANDARD STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P2 GC TO INSTALL WATER CLOSET TYPE 2 - AMBULATORY STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P3 GC TO INSTALL WATER CLOSET TYPE 3 - ADA STALL, AC-10 TOILET PARTITIONS. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET PARTITION HEIGHTS AND TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL PARTITION HEIGHTS AND LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P4 GC TO INSTALL WATER CLOSET TYPE 4 - CHILD ADA STALL. SEE DRAWING SHEETS A-120 & A-121 FOR TOILET ROOM ACCESSORY SCOPE AND PLACEMENT. COORDINATE FINAL LAYOUT WITH EXISTING CONDITIONS. OTHER TRADES, AND MEP ITEMS INSTALLED IN VICINITY. NOTIFY ARCHITECT OF MODIFICATIONS BEFORE PROCEEDING. NOTIFY ARCHITECT OF FIELD CONDITIONS THAT CONFLICT WITH DRAWINGS.
- P5 GC TO INSTALL AC-5 PAPER TOWEL DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P6 GC TO INSTALL SOAP DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P7 UNLESS OTHERWISE NOTED, GC TO INSTALL FOE-T PARTITION OVER ALL EXISTING TOILET PARTITIONS IN ROOM. INSTALL TILE UP TO 7'-0" AFF. PAINT ABOVE TILE. INSTALL SCHLUTER TRIM AT OUTSIDE WALL CORNERS. SEE INTERIOR ELEVATIONS, TYPICAL DETAILS ON SHEETS A-120 AND SECTION A-100 FOR MORE INFORMATION.
- P8 GC TO INSTALL NEW CMU WALL AT DEMOLISHED DOOR LOCATION. ANCHOR NEW WALL INTO ADJACENT CMU WALLS. PATCH AND REPAIR DISTURBED FLOORING AND ADJACENT WALL AND CEILING FINISHES. BOTTOM CMU COURSE TO HAVE COVE BASE. PAINT TO MATCH EXISTING WALL FINISH.
- P9 GC TO INSTALL NEW DOOR, FRAME, AND HARDWARE IN EXISTING PARTITION. SEE DOOR SCHEDULE FOR MORE INFORMATION. GC TO CAREFULLY REMOVE EXISTING CMU AND INTEGRAL CONCRETE BASE. INSTALL NEW DOOR FRAME, TIGHT IN NEW CMU AT OPENING PERIMETER. PATCH AND PAINT FINISHES TO MATCH ADJACENT.
- P10 GC TO INSTALL AC-7 TOILET TISSUE DISPENSER. SEE TOILET ROOM ACCESSORIES ON SHEET A-120 & A-121 FOR MORE INFORMATION.
- P11 INSTALL GEMENTIOUS LEVELING COMPOUND AND FLOOR ASSEMBLY SEEN ON SHEET A-610 THROUGHOUT ENTIRE ROOM. SO NEW TILE IS LEVEL IN ROOM AND LEVEL WITH EXISTING CORRIDOR AND/OR CLASSROOM FINISHES. FLOORING SHALL SLOPE 1/4" PER 1'-0" TOWARDS FLOOR DRAIN, STARTING 2'-0" OUT FROM CENTERLINE OF FLOOR DRAIN. FLOOR DRAIN SHALL ALSO STRUCTURE AND FINISHES TO MATCH ADJACENT.
- P12 WHERE NEW WALL TILE IS NOT CALLED FOR, GC TO PATCH, PREP, AND PAINT ALL EXISTING TOILET PARTITION WALLS TO MATCH ADJACENT SURFACE. GC TO COMPLETE IN-PLACE MOCKUP FOR ARCHITECT TO REVIEW BEFORE PROCEEDING TO PAINT ENTIRE SPACE. GC TO TEST FOR SURFACE ADHESION AT EXISTING GLAZED MASONRY. INFORM ARCHITECT OF RESULTS.
- P13 GC TO PATCH AND PAINT ALL EXISTING TOILET CEILING AND STRUCTURE IN SPACE. GC TO PATCH AND PAINT ALL EXISTING WALLS WHERE DEMOLISHED. GC TO PAINT ALL EXPOSED PIPES, CONDUIT, DUCTWORK TO MATCH ADJACENT SURFACE. GC TO COMPLETE IN-PLACE MOCKUP FOR ARCHITECT TO REVIEW BEFORE PROCEEDING TO PAINT ENTIRE SPACE. GC TO TEST FOR SURFACE ADHESION AT EXISTING GLAZED MASONRY. INFORM ARCHITECT OF RESULTS.
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- P16 GC TO INSTALL PAINTED METAL 12" X 12" ACCESS PANEL, BOTTOM OF ACCESS PANEL TO BE 7'-6" AFF. COORDINATE FINAL ACCESS PANEL NUMBER AND LOCATIONS WITH OTHER PRIME CONTRACTORS. REVIEW FINAL LOCATIONS WITH ARCHITECT IN THE FIELD.
- P17 GC TO INSTALL PAINTED METAL 18" X 36" ACCESS DOOR 18" ABOVE FINISH FLOOR IN CMU PARTITIONS. COORDINATE FINAL LOCATION WITH OTHER PRIME CONTRACTORS.
- P18 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR NON-CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P19 GC TO INSTALL AC-4 MIRROR. SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.
- P20 GC TO INSTALL NEW GLAZED FACE CMU PARTITION. ANCHOR NEW WALL INTO ADJACENT EXISTING MASONRY WALLS. PATCH, REPAIR, AND FINISH DISTURBED ADJACENT WALL FINISHES. INSTALL SEALANT WHERE NEW WALL MEETS EXISTING WALL AND STRUCTURE ABOVE. GLAZED CMU BASE AND WALL COVERINGS TO BE DETERMINED BY ARCHITECT. VERIFY ALL CONDITIONS, CORNERS AND WALLS THAT DO NOT RETURN INSTALL BULLNOSE GLAZED FACE CMU. GC TO PATCH AROUND AND FIRST STOP PLUMBING, MECHANICAL, AND ELECTRICAL WORK THAT IS TO REMAIN. COORDINATE WITH OTHER PRIME CONTRACTORS. COORDINATE INSTALLATION OF TOILET FIXTURE, CARRIERS, AND PLUMBING WITH PC & EC.
- P21 ON NON-RESTROOM SIDE OF NEW PARTITION, GC TO PAINT PARTITION TO MATCH ADJACENT WALLS. GC TO INSTALL TRIM AND BASE IN DIMENSION, DETAILING, & PAINT FINISH PARTITION. INTEGRAL BASE, & TRIM PAINT COLOR TO BE CHOSEN FROM MANUFACTURER'S FULL RANGE OF STANDARD AND CUSTOM COLOR TRIM AND BASE TO EXTEND FULL LENGTH OF PARTITION AND HAVE A MITERED TRANSITION TO EXISTING TRIM AND BASE. PATCH, PAINT, AND FINISH ADJACENT FLOOR, WALL, TRIM, AND CEILING FINISHES DISTURBED DURING CONSTRUCTION. SEE G-300 FOR MORE INFORMATION.
- P22 NEW PC FLOOR SLAB PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. TYPICAL. GC TO COORDINATE RESTROOM LAYOUTS WITH NEW PC FLOOR SLAB PENETRATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P23 DASHED LINES REPRESENT EXISTING CONCRETE JOIST AND BEAM FLOOR STRUCTURE BELOW. ALL NEW PENETRATIONS TO AVOID STRUCTURE AND IN SLAB REBAR. NOTIFY ARCHITECT OF ANY DISCREPANCIES OBSERVED IN THE FIELD.
- P24 ACROSS ENTIRE PARTITION, GC TO INSTALL NEW CORK TACKBOARDS WITH CUSTOM HARDWOOD TRIM TO MATCH EXISTING CLASSROOM TACKBOARDS IN DIMENSION, DETAILING, AND PAINT FINISH. PATCH AND FINISH PARTITION AND REBAR TACKBOARDS LOCATIONS. PATCH AND FINISH EXISTING CLASSROOM TACKBOARDS TO MATCH EXISTING HARDWOOD TRIM. GC TO INSTALL WINDOW FILM WF-1 TO EXISTING DOUBLE HUNG WINDOWS. TYPICAL 2 GLAZING PANELS AT EACH DOUBLE HUNG WINDOW. VERIFY ALL CONDITIONS AND MEASUREMENTS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES. SEE DETAIL 1A-439. ALL WINDOWS SHALL HAVE SOLID SURFACE SS-1 SILLS, JAMBES AND HEAD CONDITIONS.
- P25 GC TO INSTALL SOLID SURFACE COUNTER TOP AND INTEGRAL SINK WITH 3/4" THICK, MARINE GRADE CASEWORK FOR CHILD USE. SEE DRAWING SHEET 10A-120 FOR DETAILS. COORDINATE INSTALLATION OF UNDERMOUNT SINKS WITH PC & EC.
- P26 GC TO INSTALL AC-11 URINAL PARTITION. SEE TOILET ROOM ACCESSORIES ON SHEET A-121 FOR MORE INFORMATION.

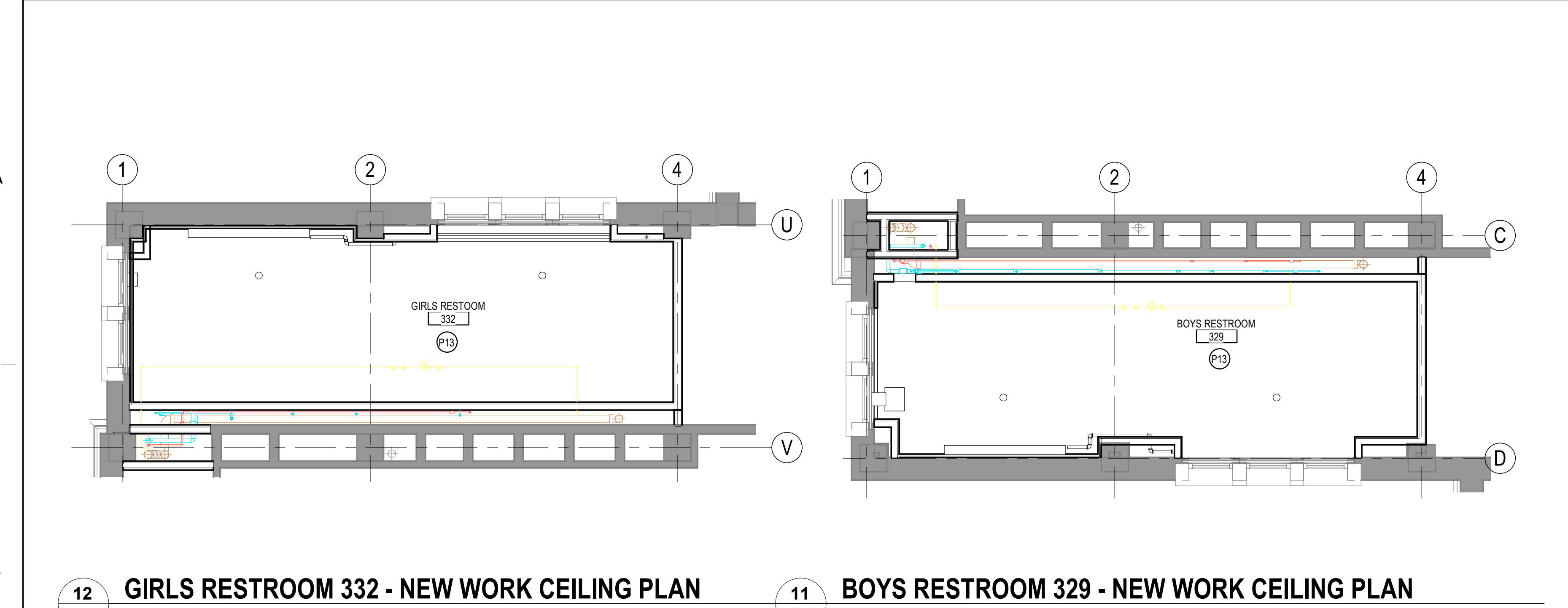
DEMOLITION KEY NOTES

- D1 GC TO REMOVE 1" TO 1-1/2" CINDER CONCRETE FILL SLAB AND INTEGRAL COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. ALERT ARCHITECT IF INFIELD CONDITIONS DIFFER FROM DOCUMENTATION.
- D2 GC TO DEMOLISH WALL FROM FLOOR TO STRUCTURE ABOVE, IN PREPARATION OF NEW WORK. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO EXISTING WALL GRILLS, SECURITY GRILLS, ACCESS PANELS, WINDOWS, INTEGRAL CONCRETE COVE BASE, WOOD TRIM, TACK BOARDS, AND WALL MOUNTED COAT HOOKS, PATCH AND FINISH ADJACENT WALLS WHICH HAVE BEEN DISTURBED TO MATCH ADJACENT CONSTRUCTION. PATCH FLOOR FINISHES ALONG WITH PLASTER, GWS, AND CONCRETE CEILING FINISHES WHICH HAVE BEEN DISTURBED. COORDINATE DEMOLITION WITH OTHER TRADES. GC TO TEMPORARILY SUPPORT AND PROTECT DUCTWORK, PIPES, AND CONDUIT THAT ARE TO REMAIN. GC SHALL BE BACK CHARGED BY OWNER FOR ANY EXISTING TO REMAIN MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS THAT ARE DAMAGED THROUGH GC DEMOLITION WORK.
- D3 GC TO DEMOLISH DOOR AND FRAME IN THEIR ENTIRETY, WHERE THERE IS ROOM SIGNAGE ON OR NEXT TO DOOR TURN OVER TO OWNER.
- D4 GC TO DEMOLISH ALL TOILET ROOM ACCESSORIES AND RELATED APPURTENANCES IN SPACE. TOILET ROOM ACCESSORIES INCLUDE BUT ARE NOT LIMITED TO, TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, SANITARY NAPKIN DISPENSERS, MIRRORS, AND SHELVES. REMOVE ALL ASSOCIATED ANCHORS AND FASTENERS FROM EXISTING TO REMAIN WALLS. PATCH AND PAINT EXISTING TO REMAIN WALLS.
- D5 GC TO DEMOLISH ALL EXISTING TOILET STALL PARTITIONS IN THEIR ENTIRETY THROUGHOUT THE ROOM. PARTITIONS ARE EMBEDDED IN TOPPING SLAB AND MUST BE FULLY REMOVED. CAREFULLY DEMOLISH ALL MARBLE AND TRIP WALL COVERINGS AT TOILET PARTITIONS. PATCH AND FINISH HOLES LEFT IN ALL EXISTING TO REMAIN FINISHES INCLUDING BUT NOT LIMITED TO CONCRETE, TERRAZZO, CERAMIC FLOOR TILE, CMU, PLASTER.
- D6 GC TO DEMOLISH ALL EXISTING LAVATORIES IN THEIR ENTIRETY.
- D7 GC TO REMOVE WOOD FLOOR OR VCT, ASSOCIATED WOOD SUBSTRATE, 1" OF CINDER CONCRETE FILL SLAB, & INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO CORN A LEVEL, AND FURR SUBSTRATE FOR NEW FURRING WALLS. ALERT ARCHITECT IF INFIELD CONDITIONS DIFFER FROM DOCUMENTATION. REMOVE ALL.
- D8 GC TO REMOVE WOOD FLOOR, ASSOCIATED WOOD SUBSTRATE, 7" TO 7-1/2" OF CINDER CONCRETE FILL SLAB, AND INTEGRAL CONCRETE COVE BASE THROUGHOUT ENTIRE ROOM IN PREPARATION FOR NEW HYDRAULIC CEMENT UNDERLAYMENT. COORDINATE EFFORT WITH OTHER PRIME CONTRACTORS SO THAT NO ITEMS ARE PROTRUDING FROM THE EXISTING TO REMAIN FILL SLAB. CONTRACTOR SHALL NOT DISTURB STRUCTURAL SLAB. SEE THRESHOLD DETAILS ON SHEET A-610 FOR MORE INFORMATION. WALLS THROUGHOUT ROOM ARE EXISTING TO REMAIN PLASTER. ALL WOOD TRIM MOUNTED TO PLASTER WALLS SHALL BE REMOVED. PLASTER WALLS SHALL BE PATCHED TO CORN A LEVEL, AND FIRM SUBSTRATE FOR NEW FURRING WALLS. ALERT ARCHITECT IF INFIELD CONDITIONS DIFFER FROM DOCUMENTATION.
- D9 GC TO CAREFULLY REMOVE EXISTING WALL TILE FROM ALL WALLS IN ROOM. EXISTING TILE IS FROM INTEGRAL COVE BASE TO 7'-0" AFF. WITH PLASTER FINISH FROM 7'-0" AFF TO PLASTER CEILING ABOVE. TYPICAL ALL WALLS IN ROOM. ONCE EXISTING WALL TILE REMOVED PATCH PLASTER WALLS TO FORM A LEVEL & FIRM SUBSTRATE FOR NEW FURRING WALLS. PATCH AND PAINT ANY FINISHES OF ADJACENT ROOMS DAMAGED DURING DEMOLITION.
- D10 NOT USED



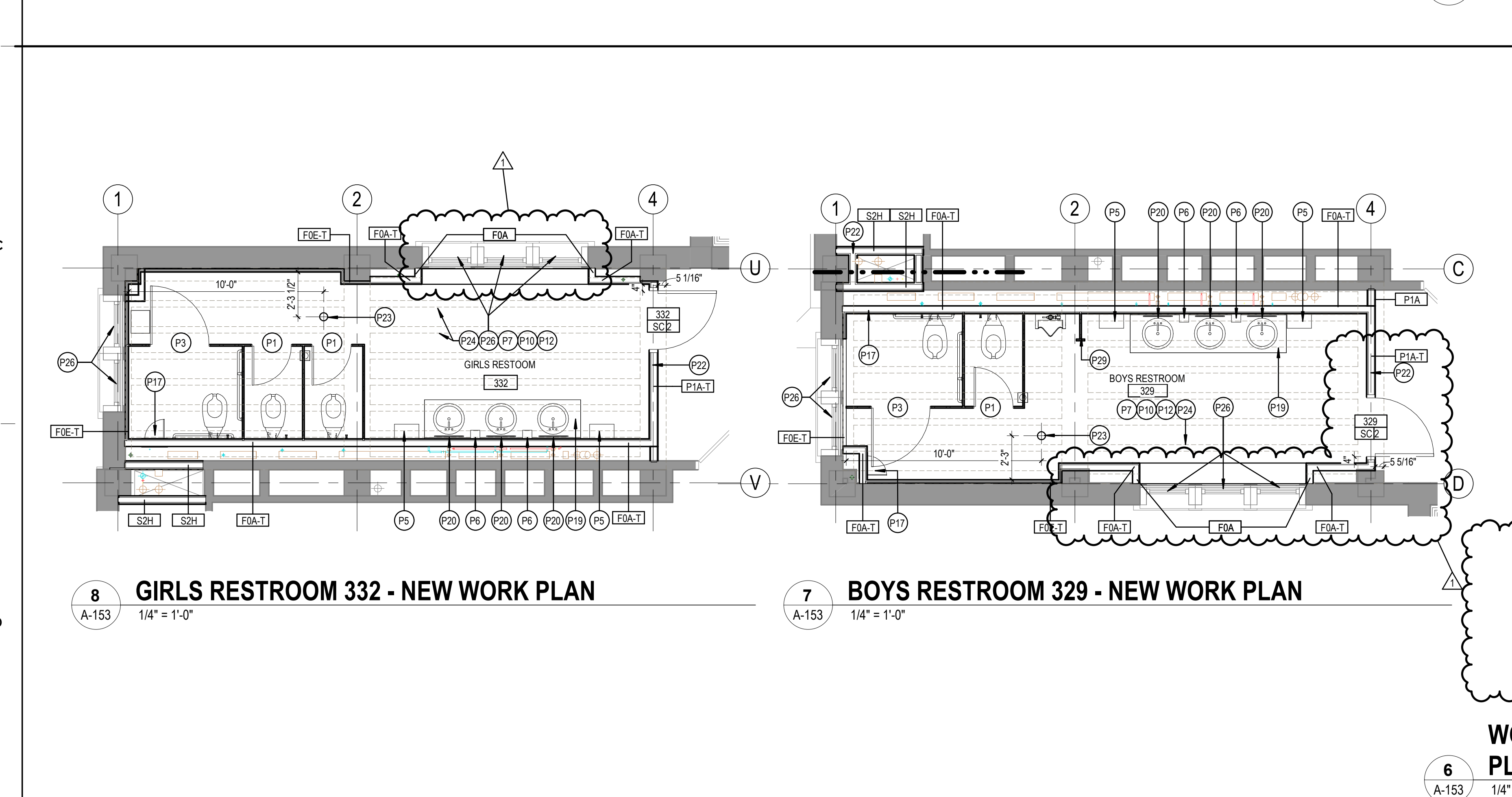
10 A-153 1/4" = 1'-0" WOMENS RESTROOM 331 - NEW WORK CEILING PLAN

9 A-153 1/4" = 1'-0" MENS RESTROOM 330 - NEW WORK CEILING PLAN



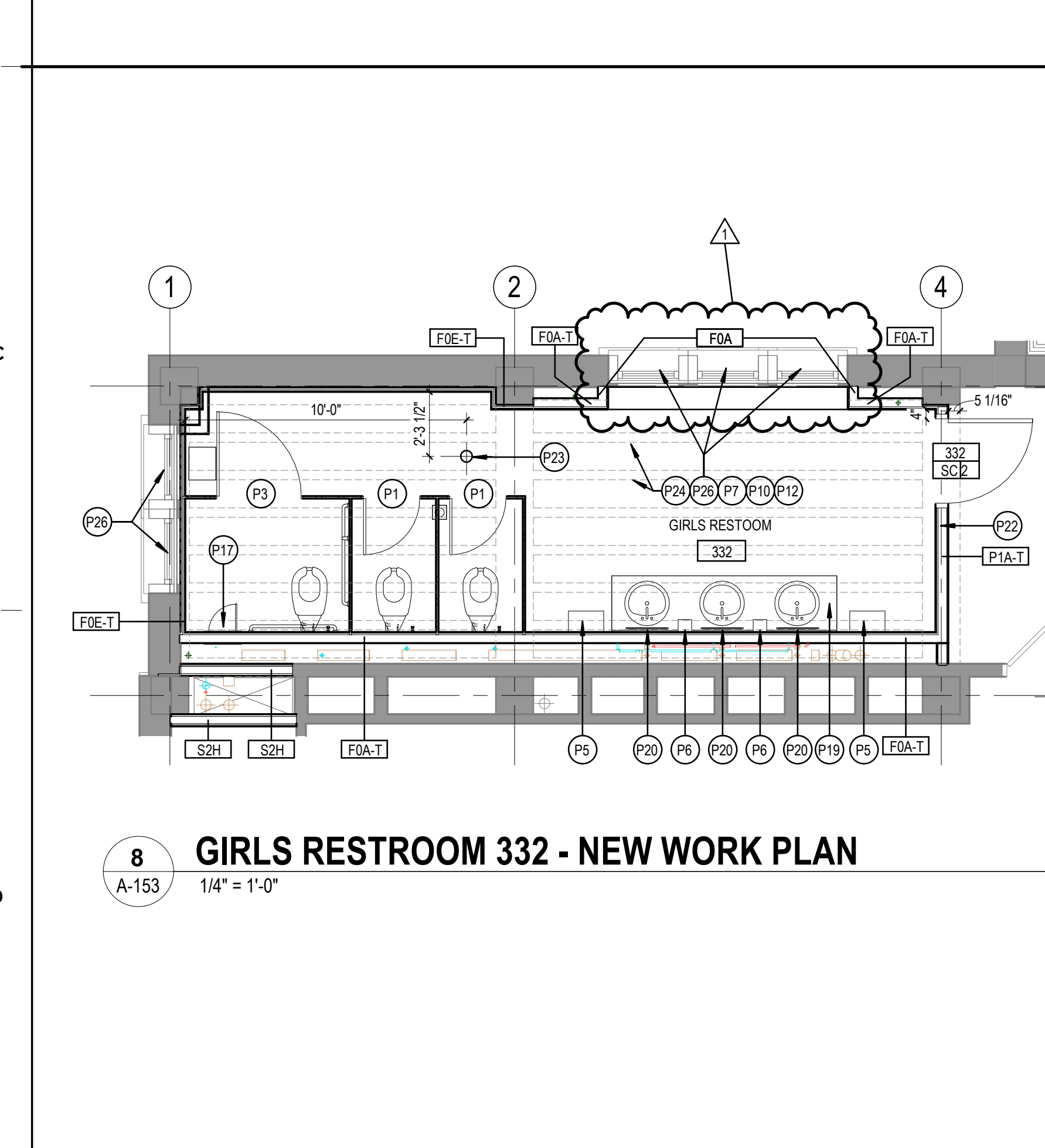
12 A-153 1/4" = 1'-0" GIRLS RESTROOM 332 - NEW WORK CEILING PLAN

11 A-153 1/4" = 1'-0" BOYS RESTROOM 329 - NEW WORK CEILING PLAN



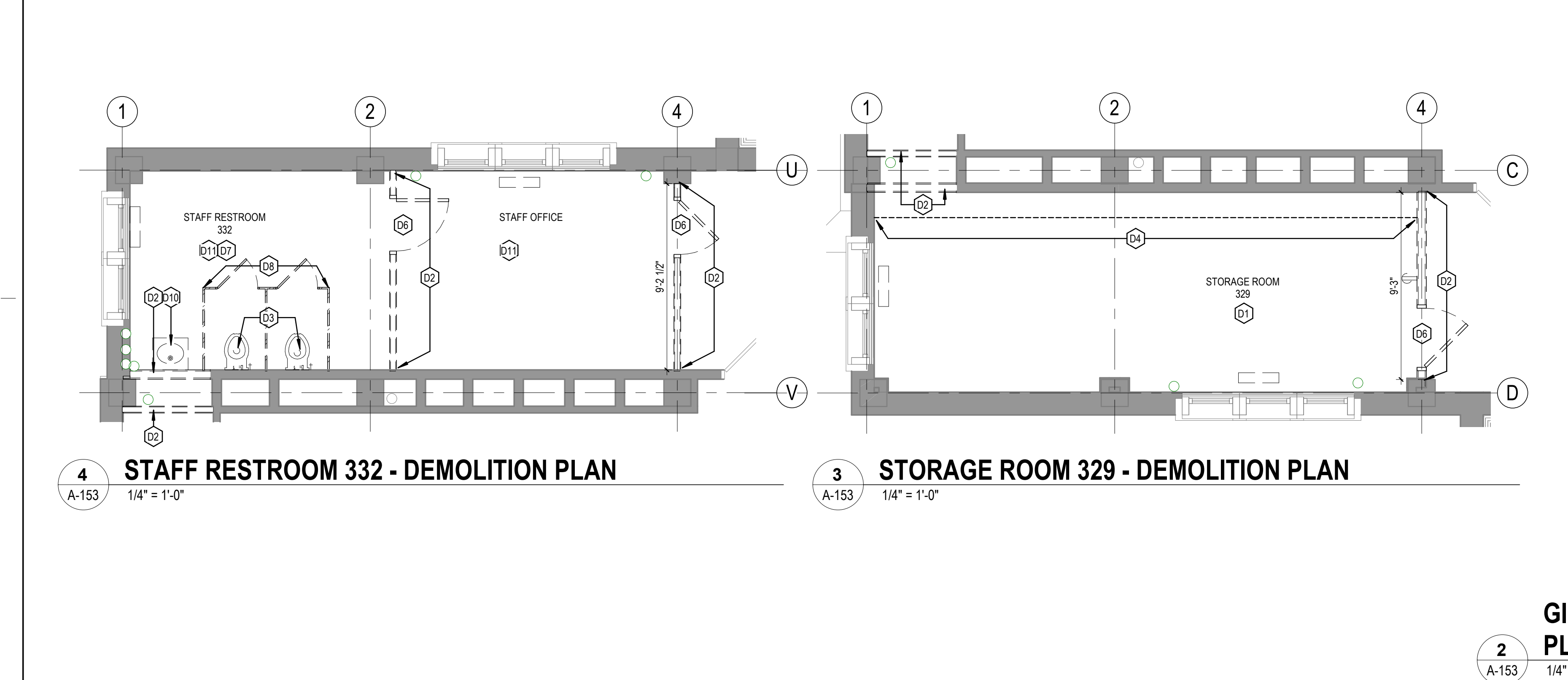
6 A-153 1/4" = 1'-0" WOMENS RESTROOM 331 - NEW WORK PLAN

5 A-153 1/4" = 1'-0" MENS RESTROOM 330 - NEW WORK PLAN



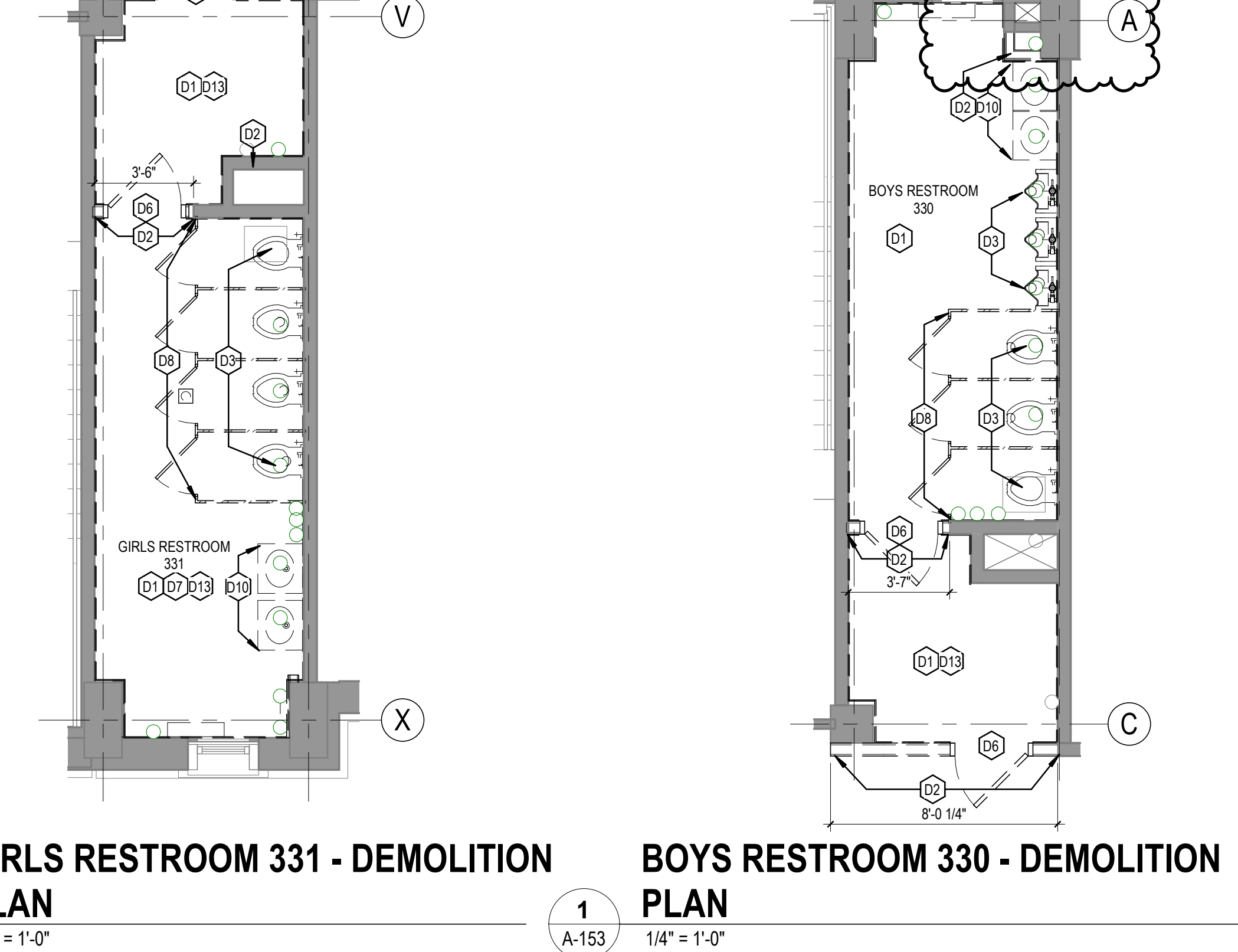
8 A-153 1/4" = 1'-0" GIRLS RESTROOM 332 - NEW WORK PLAN

7 A-153 1/4" = 1'-0" BOYS RESTROOM 329 - NEW WORK PLAN



4 A-153 1/4" = 1'-0" STAFF RESTROOM 332 - DEMOLITION PLAN

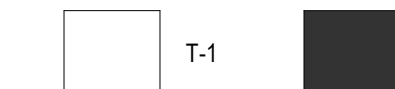
3 A-153 1/4" = 1'-0" STORAGE ROOM 329 - DEMOLITION PLAN



2 A-153 1/4" = 1'-0" GIRLS RESTROOM 331 - DEMOLITION PLAN

1 A-153 1/4" = 1'-0" BOYS RESTROOM 330 - DEMOLITION PLAN

FINISH KEY



*** - MULTIPLE FINISHES, REFER TO ELEVATIONS FOR FINISH LOCATIONS

GENERAL FINISH NOTES

1. REFER TO SHEET A-121 FOR TOILET ACCESSORIES INFORMATION.
2. REFER TO SHEET A-120 FOR TYPICAL FINISH DETAILS.
3. REFER TO SHEET A-150 SERIES FOR ADDITIONAL RESTROOM SCOPE.
4. TILE WALL IS CONTINUOUS BEHIND TOILET PARTITIONS.

RONALD SCOTT SULLIVAN DATE: 04/02/2023
DRAWN BY: MARK NARDY

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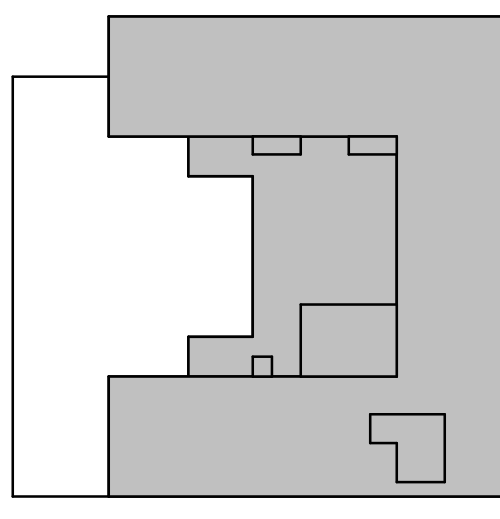
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GENERAL NOTES

1. REFER TO SHEET G-002, P-001, M-001, & E-001 FOR STANDARD ABBREVIATIONS, SYMBOL LEGENDS, DRAWING LISTS, AND GENERAL NOTES.
2. REFER TO G-SERIES OCCUPANCY PLANS FOR EXISTING WALL FIRE RATINGS.
3. REFER TO SHEET A-120 AND A-121 FOR FINISH LEGEND, GENERAL FINISH NOTES, & RESTROOM DETAILS.
4. REFER TO THE A-500 SERIES DRAWINGS FOR RESTROOM FINISHES & ELEVATIONS.
5. PLAN DIMENSIONS ARE TO FINISH FACE OF PARTITION, WHERE APPLICABLE THIS INCLUDES FINISH FACE OF TILE. NOTIFY ARCHITECT IF THERE ARE CONFLICTS AND DISCREPANCIES IN THE FIELD.
6. ALL DRAWINGS MUST BE PRINTED IN COLOR TO ASCERTAIN ALL INFORMATION. BLACK AND WHITE PRINTS/REPRODUCTIONS MAY NOT CLEARLY SHOW ALL INFORMATION.
7. FINISH FACE OF ABUTTING, EXISTING AND NEW PARTITIONS TO ALIGN, TYPICAL.
8. SEE SHEETS G-200 & G-300 FOR PHOTOGRAPHS OF EXISTING CONDITIONS AND CONTRACTOR COORDINATION.



KEY PLAN NORTH

BID SET
AUGUST 13, 2021

NO.	DATE	REVISION
10/01/2021		ADDENDUM 4

SCHOOL & LOCATION

School District of Philadelphia
1700 Lindley Avenue, Philadelphia, PA 19141
(5000N 17th St)

PROJECT TITLE

James Logan Elementary School
Toilet Room Renovations

DRAWING TITLE

INTERIOR ELEVATIONS - STAFF
TOILET ROOMS

LOCATION NO.	FILE NO.
	177902814

DRAWN BY	CHECKED BY
Author	Checker

	OF	DATE
8-001C	OF	2021 / 22
8-002C	OF	2021 / 22
8-003C	OF	2021 / 22
8-004C	OF	2021 / 22

DRAWING NO.
A-500

29 A-500 1/4" = 1'-0"

PRINCIPALS TLT RM 115A - NORTH

28 A-500 1/4" = 1'-0"

PRINCIPALS TLT RM 115A - EAST

27 A-500 1/4" = 1'-0"

PRINCIPALS TLT RM 115A - SOUTH

26 A-500 1/4" = 1'-0"

PRINCIPALS TLT RM 115A - WEST

25 A-500 1/4" = 1'-0"

PRINCIPALS RESTROOM 115A - FINISH PLAN

24 A-500 1/4" = 1'-0"

HEADSTART 106A - EAST

TYPICAL OF THE FOLLOWING RESTROOMS: 103C

23 A-500 1/4" = 1'-0"

HEADSTART 106A - SOUTH

TYPICAL OF THE FOLLOWING RESTROOMS: 103C

22 A-500 1/4" = 1'-0"

HEADSTART 106A - WEST

TYPICAL OF THE FOLLOWING RESTROOMS: 103C

21 A-500 1/4" = 1'-0"

HEADSTART RESTROOM 106A - FINISH PLAN

TYPICAL OF THE FOLLOWING RESTROOMS: 103C

20 A-500 1/4" = 1'-0"

JC TOILET ROOM 014 - NORTH

19 A-500 1/4" = 1'-0"

JC TOILET ROOM 014 - EAST

18 A-500 1/4" = 1'-0"

JC TOILET ROOM 014 - SOUTH

17 A-500 1/4" = 1'-0"

JC TOILET ROOM 014 - WEST

16 A-500 1/4" = 1'-0"

JC TOILET ROOM 014 - FINISH PLAN

15 A-500 1/4" = 1'-0"

HEADSTART 001A - NORTH

14 A-500 1/4" = 1'-0"

HEADSTART 001A - EAST

13 A-500 1/4" = 1'-0"

HEADSTART 001A - SOUTH

12 A-500 1/4" = 1'-0"

HEADSTART 001A - WEST

11 A-500 1/4" = 1'-0"

HEADSTART RESTROOM 001A - FINISH PLAN

10 A-500 1/4" = 1'-0"

INFIRMARY TLT RM 204B - NORTH

9 A-500 1/4" = 1'-0"

INFIRMARY TLT RM 204B - EAST

8 A-500 1/4" = 1'-0"

INFIRMARY TLT RM 204B - SOUTH

7 A-500 1/4" = 1'-0"

INFIRMARY TLT RM 204B - WEST

6 A-500 1/4" = 1'-0"

INFIRMARY RESTROOM 204B - FINISH PLAN

5 A-500 1/4" = 1'-0"

TYPICAL MENS & WOMENS TLT ROOM

TYPICAL OF THE FOLLOWING RESTROOMS: 105A, 114, 217, 220, 330, 331

4 A-500 1/4" = 1'-0"

TYPICAL MENS & WOMENS TLT ROOM

TYPICAL OF THE FOLLOWING RESTROOMS: 105A, 114, 217, 220, 330, 331

3 A-500 1/4" = 1'-0"

TYPICAL MENS & WOMENS TLT ROOM

TYPICAL OF THE FOLLOWING RESTROOMS: 105A, 114, 217, 220, 330, 331

2 A-500 1/4" = 1'-0"

TYPICAL MENS & WOMENS TLT ROOM

TYPICAL OF THE FOLLOWING RESTROOMS: 105A, 114, 217, 220, 330, 331

1 A-500 1/4" = 1'-0"

TYPICAL MENS & WOMENS TLT ROOM - FINISH PLAN

TYPICAL OF THE FOLLOWING RESTROOMS: 105A, 114, 217, 220, 330, 331

